

Interstate 75/SR 93A

**Project Development & Environment (PD&E)
Study**

**From South of US 301/SR 43
To North of Bruce B. Downs Boulevard**

**Draft Contamination Screening Evaluation
Report Addendum**

Work Program Item Segment No. 419235-3

Hillsborough County, Florida

Prepared for:



Florida Department of Transportation

District Seven

December 2021

EXECUTIVE SUMMARY

The Florida Department of Transportation (FDOT), District Seven, is conducting a Project Development and Environment (PD&E) Study along Interstate 75 (I-75)/State Road (SR) 93A from south of US 301/SR 43 to north of County Road (CR) 581/Bruce B. Downs Boulevard including the southwest quadrant of the I-75 and Interstate 4 (I-4) interchange from the Tampa Bypass Canal east to the I-4/I-75 interchange in Hillsborough County, Florida. This PD&E Study is being conducted concurrently with the PD&E Study for the portion of I-75 that extends from Moccasin Wallow Road in Manatee County to south of US 301/SR 43 in Hillsborough County (WPI Segment No. 419235-2).

The study will focus on widening I-75 to include two express lanes in each direction within the median from south of US 301 to north of Bruce B. Downs Boulevard including operational improvements at the interchanges. The study will also evaluate issues related to corridor capacity, congestion, and safety. The project will improve capacity and safety along this segment of I-75, an important regional transportation corridor.

The objective of the PD&E Study is to assist the FDOT Office of Environmental Management (OEM) in reaching a decision on the type, location, and conceptual design of the necessary improvements for I-75 to safely and efficiently accommodate future travel demand while minimizing impacts to the environment, consider agency and public comments, and ensure project compliance with all applicable federal and state laws. A Type 2 Categorical Exclusion is being prepared as part of this study. This PD&E Study will document the need for the improvements as well as the procedures utilized to develop and evaluate various improvement alternatives including elements such as proposed typical sections, special designation of travel lanes, preliminary horizontal alignments, and interchange enhancement alternatives. The PD&E study satisfies all applicable requirements, including the National Environmental Policy Act (NEPA), to qualify for federal-aid funding of subsequent development phases (design, right of way acquisition, and construction).

This Contamination Screening Report (CSER) Addendum has been prepared as part of this PD&E Study.

The screening included a review of the Environmental Technical Advisory Team summaries included in the FDOT ETDM Summary Report, an environmental database search, data collection, document and file reviews, property ownership reviews, a review of previous studies, and field visits. The data collection effort involved all potential contamination sites within the vicinity of the proposed project pond sites.

Within the project limits, a total of 47 potential stormwater management facilities (SMF), 11 potential floodplain compensation (FPC) sites, including nine potential easement areas were evaluated. Of the potential SMF and FPC sites evaluated, 26 sites were rated NO, 20 sites were rated LOW, 12 sites were rated MEDIUM, and no sites were rated HIGH.

In addition to the SMFs and FPCs, the entire project limits were reassessed for sites not found in the 2010 CSER, and the extended project limits from north of Fletcher Avenue to north of Bruce B. Downs

Boulevard were evaluated. The southwest quadrant of the I-75 and I-4 interchange from the Tampa Bypass Canal east to the I-4 ramps was also reviewed for contamination.

The northern project limits from north of Fletcher to north of Bruce B. Downs Boulevard identified a total of 23 potentially contaminated properties not previously identified. Of the 23 sites, 17 sites were rated LOW, no sites were rated MEDIUM, no sites were rated HIGH. Six sites were rated NO.

The southwest quadrant of the I-75 and I-4 interchange identified 26 potentially contaminated properties. Of these 26 sites, 8 were rated LOW, 5 were rated MEDIUM, no sites were rated HIGH, and 13 sites rated NO.

DRAFT

TABLE OF CONTENTS

1.0	INTRODUCTION	1
1.2.1	Purpose	1
1.2.2	Need	1
1.4.1	Existing Facility	2
1.4.2	Proposed Improvements	4
2.0	METHODOLOGY	7
3.0	POTENTIAL CONTAMINATION SITES	8
3.1	2010 CSER Summary	8
3.2	2021 CSER Findings	8
4.0	SUMMARY OF FINDINGS AND RECOMMENDATIONS	92

LIST OF FIGURES

Figure 1.	419235-3 Project Location Map	3
Figure 2.	419235-3 Existing Typical Section	4
Figure 3.	419235-3 Preferred Build Typical Section	6
Figure 4.	Proposed SMF 1A	9
Figure 6.	Proposed Site SMF 1C	10
Figure 5.	Proposed SMF 1B	10
Figure 7.	Proposed Site SMF 2/3	11
Figure 8.	Proposed Site SMF 4/5	12
Figure 9.	Proposed SMF 6A	13
Figure 10.	Proposed SMF 6B	14
Figure 11.	Proposed FPC 7	15
Figure 12.	Proposed FPC 6R	15
Figure 13.	Proposed SMF Site 7A	16
Figure 14.	Proposed SMF 7B	17
Figure 15.	Proposed SMF 7C	18
Figure 17.	Proposed SMF 8A	19
Figure 16.	Proposed SMF 7/8	19
Figure 18.	Proposed SMF 8B	20

Figure 19. Proposed SMF 9	21
Figure 20. Proposed SMF 10A	22
Figure 21. Proposed Site SMF 10B	23
Figure 22. Proposed SMF 10C	24
Figure 23. Proposed SMF 11A	25
Figure 24. Proposed SMF 11B	26
Figure 25. Proposed SMF 12/13A	27
Figure 26. Proposed SMF 12/13B	28
Figure 27. Proposed SMF 12/13C	29
Figure 28. Proposed FPC 12/13L	29
Figure 29. Proposed FPC 12/13R	30
Figure 30. Proposed FPC 14A	31
Figure 31. Proposed SMF 14A	32
Figure 32. Proposed SMF 14B	32
Figure 33. Proposed SMF 15/16	33
Figure 34. Proposed SMF 17A	34
Figure 35. Proposed FPC 17/18	35
Figure 36. Proposed SMF 17B	35
Figure 37. Proposed SMF 18A	36
Figure 38. Proposed SMF 18B	37
Figure 39. Proposed FPC 19A	38
Figure 40. Proposed SFM 19A	39
Figure 41. Proposed FPC 19B	39
Figure 42. Proposed SMF 19B	40
Figure 43. Proposed SMF 19C	41
Figure 44. Proposed SMF 19D	42
Figure 45. Proposed FPC 20	44
Figure 46. Proposed SMF 20A	44
Figure 47. Proposed SMF 20B	45
Figure 48. Proposed SMF 21A	46
Figure 49. Proposed SMF 21B	47
Figure 50. Proposed FPC 21A	48
Figure 51. Proposed FPC 21B	49

Figure 53. Proposed SMF 22A-----	50
Figure 52. Proposed SMF 22/23-----	50
Figure 54. Proposed SMF 23A-----	51
Figure 55. Proposed SMF 23B-----	52
Figure 56. Proposed SMF 24A-----	53
Figure 57. Proposed SMF 24B-----	54
Figure 58. Proposed SMF 25A-----	55
Figure 59. Proposed SMF 25B-----	56
Figure 60. Proposed SMF 25C-1-----	57
Figure 61. Proposed SMF 25C-2-----	58

LIST OF TABLES

Table 1. Summary of Findings – SMF Sites-----	59
Table 2. Summary of Findings - FPC Sites-----	64
Table 3. Summary of Findings – Newly identified Potential Contaminated Properties on I-75-----	75
Table 4. 2021 Newly Identified Potentially Contaminated Properties in the I-75/I-4 Interchange Southwest Quadrant-----	88

APPENDICES

APPENDIX A	419235-3 Concept Plans
APPENDIX B	SMF and FPC Sites Information
APPENDIX C	New Potential Contamination Sites Information I-75 and the I-75/I-4 Southwest Quadrant

1.0 INTRODUCTION

1.1 PD&E STUDY PURPOSE

The objective of the PD&E Study is to assist the FDOT and the OEM in determining the type, location, and conceptual design of the proposed improvements for I-75 to safely and efficiently accommodate future travel demand. This study documents the need for the improvements as well as the procedures utilized to develop and evaluate various improvements, including elements such as proposed typical sections, preliminary horizontal alignments, and intersection enhancement alternatives.

The PD&E study satisfies all applicable requirements, including NEPA, to qualify for federal-aid funding of subsequent development phases (design, right-of-way acquisition, and construction).

This project was screened through the FDOT's Efficient Transportation Decision Making (ETDM) process as ETDM Project Nos. 8002 and 14267. ETDM Project No. 14267 includes project limits from Moccasin Wallow Road in Manatee County to north of Bruce B. Downs in Hillsborough County. An updated Advance Notification package was sent on February 29, 2016. An ETDM Programming Screen Summary Report was published on March 29, 2007, containing comments from the Environmental Technical Advisory Team (ETAT) on the project's effects on various natural, physical, and social resources. Based on the ETAT comments, the Federal Highway Administration (FHWA) determined that this project qualified as a Type 2 Categorical Exclusion.

1.2 PROJECT PURPOSE AND NEED

1.2.1 Purpose

The purpose of the project is to evaluate alternatives to address the corridor's capacity and relieve congestion. These improvements are expected to enhance the overall safety and improve the operating conditions of the facility within the project limits.

1.2.2 Need

I-75 is a south-north interstate highway that is a major trade and tourism corridor. I-75 is part of the highway network that provides access to regional intermodal facilities such as several general aviation airports, MacDill Air Force Base, several seaports, transit stations, cruise ship terminals and major CSX intermodal rail facilities. It is part of the SIS and is a vital link in the transportation network that connects the Tampa Bay region to the remainder of the state and the nation.

I-75 is a critical evacuation route as shown on the Florida Division of Emergency Management's evacuation route network. Improvements to I-75 will improve evacuation efforts, when needed, will enhance access to activity centers in the area, and movement of goods and freight in the greater Tampa Bay region. Statewide and regional transportation plans and studies by FDOT and the Hillsborough County Transportation Planning Organization (TPO) identify the need for interstate improvements.

1.3 PROJECT DESCRIPTION

The Florida Department of Transportation (FDOT), District Seven, is conducting a PD&E study to evaluate improvements along approximately 18 miles of I-75 from south of US 301/SR 43 to north of County Road (CR) 581/Bruce B. Downs Boulevard including the southwest quadrant of the I-75 and Interstate 4 (I-4) interchange from the Tampa Bypass Canal east to the I-4/I-75 interchange in Hillsborough County, Florida. The design year for the improvements is 2045. This PD&E study is being conducted concurrently with the PD&E study for the section of I-75 that extends from Moccasin Wallow Road in Manatee County to south of US 301 in Hillsborough County (WPI Segment No. 419235-2). The project location map is shown on Figure 1.

The proposed project consists of widening I-75 within the existing median to include two express lanes in each direction within the project limits. Operational improvements will occur at the interchanges to accommodate the widening. Right-of-way will be needed for some of the interchange improvements, stormwater management facilities, and floodplain compensation sites.

1.4 EXISTING FACILITY AND PROPOSED IMPROVEMENTS

1.4.1 Existing Facility

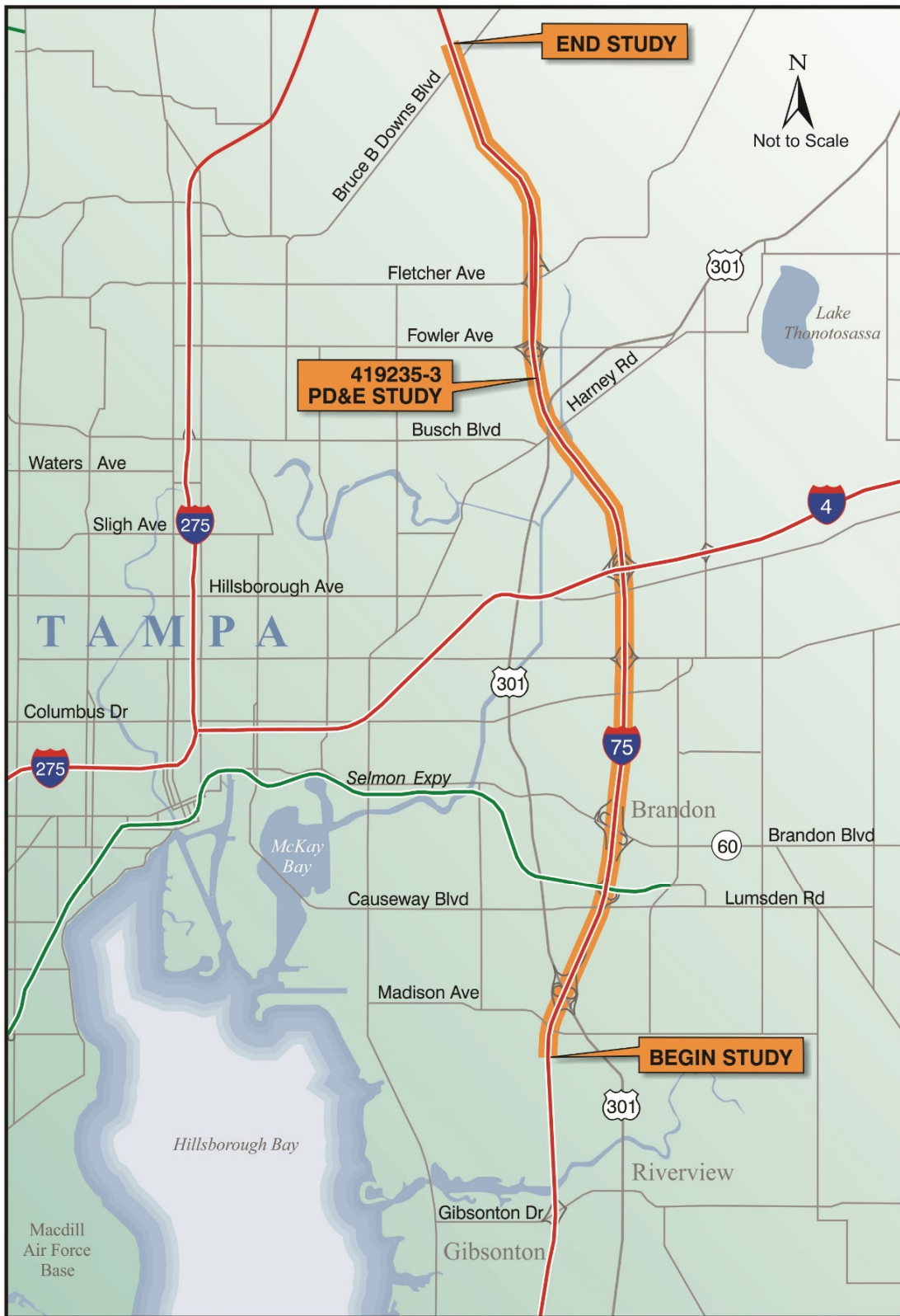
I-75 is a limited access freeway that travels in a generally south-north direction from a southern terminus at SR 826 (Palmetto Expressway) in Hialeah, Florida, to a northern terminus in Sault Sainte Marie, Michigan, near the border with Canada. In Florida, I-75 is included in the State Highway System (SHS), designated as SR 93A; the Strategic Intermodal System (SIS); and the Federal Aid Interstate System. I-75 serves as a major evacuation route throughout the state.

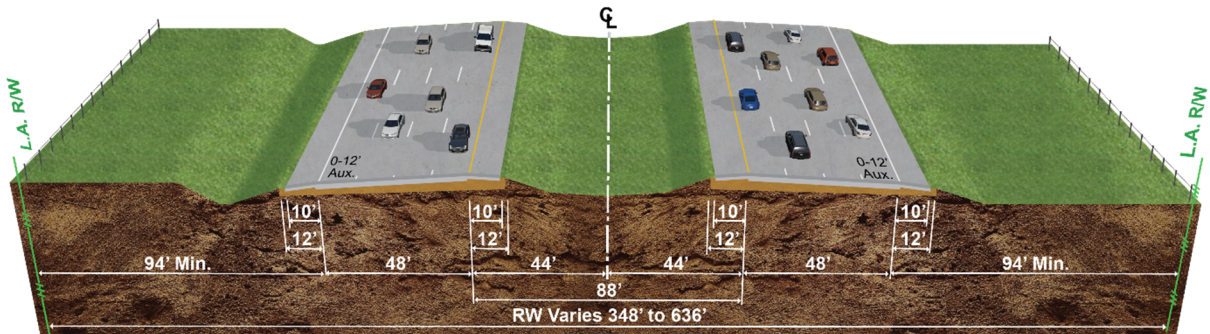
Within the project limits I-75 consists of a six-lane, divided, limited access facility functionally classified as a Principal Arterial – Interstate Rural. The roadway is generally three lanes in each direction, with auxiliary lanes in each direction, at various locations. All travel lanes are 12-foot wide with 12-foot outside shoulders, 10-feet being paved, and an 88-foot grassed median separating the two directions of travel. The section from south of US 301 to SR 60 also contains a two 12-foot lane collector-distributor system in each direction, with 6-foot inside and 8-foot outside shoulders. Refer to Figure 2 for the existing I-75 mainline typical section.

The existing limited access right of way (ROW) varies throughout the study limits; however, in most areas, the minimum ROW width is 348 feet. The posted speed limit is 70 miles per hour (mph).

There are eight interchanges along I-75 within the project limits. They are located at US 301, Selmon Expressway, SR 60, Dr. Martin Luther King, Jr. Boulevard, I-4, Fowler Avenue, Fletcher Avenue, and Bruce B. Downs Boulevard. The study area includes 67 bridges, including crossings over the Hillsborough River, Memorial Gardens Slough, Mango Lake Drainage Canal, Harney Flats Canal, Tampa Bypass Canal, and Cowhouse Creek.

Figure 1. 419235-3 Project Location Map





Typical section includes collector-distributor roads from US 301 to SR 60.

Figure 2. 419235-3 Existing Typical Section

1.4.2 Proposed Improvements

All alternatives have been evaluated with regard to costs, operational factors, and environmental impacts. Based on these evaluations, a Preferred Build Alternative utilizing one typical section was identified for the I-75 mainline within the study area.

The Preferred Build Alternative Typical Section includes the existing mainline lanes to be designated as General Use Lanes (GULs). The three 12-foot lanes in each direction will remain from south of US 301 to north of Bruce B. Downs Boulevard and the auxiliary lane will remain from US 301 to SR 60. Outside shoulders will remain at 12-feet wide. Adjacent to the GULs, within the median, two 12-foot Express Lanes (ELs) with 12 to 15-foot inside shoulders will be added in each direction. The inside shoulders will be 15-feet wide where median barrier is proposed and 12-feet wide (10-foot paved) in bifurcated areas. The ELs will be separated from the GULs by a 4-foot painted and delineated buffer. The Preferred Build Typical Section can be found in Figure 1-3.

Ingress and egress connections between the ELs and GULs will be located within the limits of the project in each direction. The ELs are proposed to be managed by limiting direct access for traffic to/from existing interchanges, collection of tolls, vehicle occupancy and/or vehicle type.

As previously stated, there are eight interchanges along I-75 within the project limits. They are located at US 301, Selmon Expressway, SR 60, Dr. Martin Luther King, Jr. Boulevard, I-4, Fowler Avenue, Fletcher Avenue, and Bruce B. Downs Boulevard. Right-of-way will be needed for some of the interchange improvements. The Dr. Martin Luther King, Jr. Boulevard interchange improvements are currently being constructed as part of a separate design-build project (WPI Segment No. 429251-1) and considered as an existing condition for this project. No improvements are proposed at the Bruce B. Downs Boulevard interchange under this study.

The proposed improvements will include construction of 22 Stormwater Management Facilities (SMF) and 11 Floodplain Compensation (FPC) sites. A number of these SMF and FPC sites within common drainage basins are combined at a single location, and several of the SMFs are located at existing interchange locations within the existing ROW. Additional ROW may be required at some SMF and FPC locations for constructing the offsite SMF and FPC sites.

1.5 REPORT PURPOSE

This CSER Addendum is one of several documents that will be prepared as part of this PD&E Study. This CSER is being prepared as part of the I-75 PD&E Study to determine if potential contamination conditions exist that may have adverse environmental impacts, and thus create environmental conditions that would require additional investigation along the I-75 project corridor. This report builds on the 2010 CSER prepared for the project corridor from US 301 to north of Fletcher Avenue. For this 2021 report, I-75 from south of US 301 to north of Fletcher Avenue was reviewed for the addition of new sites, and the corridor from north of Fletcher Avenue to north of Bruce B. Downs Boulevard evaluated including all potential Stormwater Management Facilities (SMF), Floodplain Compensation Sites (FPC), and the I-4 southwest quadrant. This report identifies new, known or potential contamination impacts, presents recommendations, and discusses possible impacts to the proposed project.

By identifying contaminated areas early in the project development process, those sites can be avoided, or remediation costs established. In addition, this will help prevent delays in construction. This evaluation was prepared in general accordance with FHWA's (Technical Advisory 26640.8a,) dated October 30, 1987, and with the FDOT PD&E Manual Part 2, Chapter 20, Contamination, effective date: July 1, 2020).

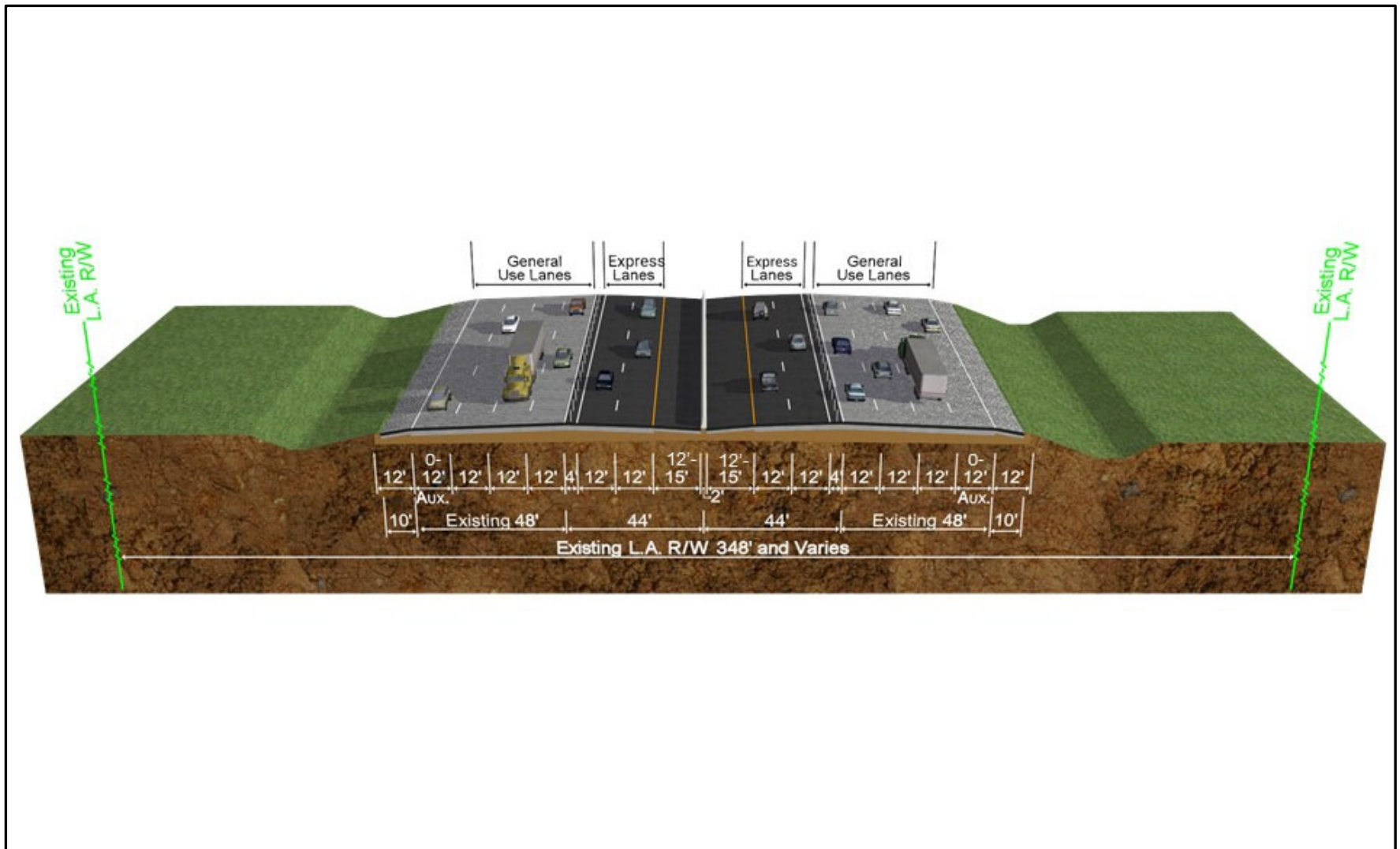


Figure 3. 419235-3 Preferred Build Typical Section

2.0 METHODOLOGY

In conjunction with this Level I evaluation, a contamination screening desktop analysis was performed in November 2019 and December 2021 for the project corridor from south of US 301 to north of Bruce B. Downs Boulevard including the I-75 and I-4 interchange southwest quadrant from the Tampa Bypass Canal to I-4. The review included proposed SMF, FPC, and easement areas. The analysis included a regulatory document review within ¼-mile (or 1-mile for superfund sites, brownfields, and landfills) using the Florida Department of Environmental Protection (FDEP) Map Direct data layers. Field reviews were completed November 2019 and December 2021.

Presented below is an evaluation for the proposed pond sites which summarizes the findings and conclusions based on the November 2019 and December 2021 preliminary screenings and field reviews. Potential contamination sites near the project corridor are discussed in the CSER for the Preferred Build Alternative.

A hazardous material ranking system that expresses the degree of concern for potential contamination problems was used to rank the sites. The rankings are NO, LOW, MEDIUM, and HIGH and are generally defined as follows:

NO - A review of available information on the property and a review of the conceptual or design plans indicates there is no potential contamination impact to the project. It is possible that contaminants have been handled on the property. However, findings from the Level I evaluation indicate that contamination impacts are not expected.

LOW - A review of available information indicates that past or current activities on the property have an ongoing contamination issue; the site has a hazardous waste generator identification (ID) number, or the site stores, handles, or manufactures hazardous materials. However, based on the review of conceptual or design plans and/or findings from the Level I evaluation, it is not likely that there would be any contamination impacts to the project.

MEDIUM - After a review of conceptual or design plans and findings from a Level I evaluation, a potential contamination impact to the project has been identified. If there is insufficient information (such as regulatory records or site historical documents) to make a determination as to the potential for contamination impact, and there is reasonable suspicion that contamination may exist, the property should be rated at least as a "Medium". Properties used historically as gasoline stations and which have not been evaluated or assessed by regulatory agencies, sites with abandoned in place underground petroleum storage tanks or currently operating gasoline stations should receive this rating.

HIGH - After a review of all available information and conceptual or design plans, there is appropriate analytical data that shows contamination will substantially impact construction activities, have implications to ROW acquisition, or have a potential transfer of contamination related liability to FDOT.

3.0 POTENTIAL CONTAMINATION SITES

3.1 2010 CSER Summary

A Level I CSER was prepared in 2010 for the original project limits from south of US 301 to north of Fletcher Avenue. The screening included a review of the Environmental Technical Advisory Team (ETAT) summaries included in the FDOT ETDM Programming Screen Summary Report, an environmental database search, data collection, document and file reviews, property ownership reviews, a review of previous studies, review of historic aerial photography, and field visits. Sites were rated using the FDOT's hazardous materials rating system.

The 2010 CSER stated there are 87 total contamination sites with potential for contamination rankings of:

- NO - 4 sites;
- LOW - 65 sites;
- MEDIUM - 18;
- HIGH - 0.

3.2 2021 CSER Findings

One of the four contamination risk rankings (NO, LOW, MEDIUM, or HIGH) were assigned to each of the sites evaluated for potential contamination impacts. The concept plans located in Appendix A show all potential contamination sites.

This 2021 CSER update identifies 107 total contamination sites with potential for contamination rankings of:

- NO - 45 sites;
- LOW - 45 sites;
- MEDIUM – 17 sites;
- HIGH – 0 sites.

3.2.1 SMF and FPC Sites

Proposed SMF 1A is a 2.75-acre site that is the west parking area of the XScape Theatres Riverview 14 located at 6135 Valleydale Drive, Riverview, Florida 33578. Per the Hillsborough County property assessor website, the property is owned by 30 West Pershing, LLC. The site is east of and immediately adjacent to I-75 right-of-way and south of Progress Boulevard. FDEP database shows the property as a Managed Entity; however, there are no reported issues with the site. The site was not identified as a potential contamination site in the 2010 CSER. Based on current FDEP and EPA databases, site SMF 1A received a risk rating of LOW due to the portion of the property needed being a parking lot. The location of SMF 1A is depicted in Figure 4.

Figure 4. Proposed SMF 1A



Proposed SMF 1B is a 3.47-acre site located within the Villages of Bloomingdale Condominium complex located on Newdale Way in Riverview Florida. The site is immediately east of I-75 right-of-way and west of Valleydale Drive. The site contains five condominium buildings containing an estimated 56 privately owned units. Common areas of the complex, per the Hillsborough County Property Assessor, are owned by the Villages of Bloomingdale HOA, Inc. The site was not identified in the 2010 CSER. Based on current FDEP information, there do not appear to be contamination issues associated with this site. SMF 1B received a risk ranking of NO. The location of SMF 1B is depicted in Figure 5.

Proposed SMF 1C is a 2.37-acre site located in an area of a privately-owned single-family residential homes on Blueberry Ash Circle in the Magnolia Park residential development. The site is immediately west of I-75 right-of-way and east of Magnolia Park Boulevard. It contains seven homes and a parking area for the community's open space and recreational area. The Hillsborough County Property Assessor website shows the common areas within the site are owned by the Magnolia Park at Riverview Homeowners Association, Inc. The site was not identified in the 2010 CSER. Based on current FDEP and EPA databases there do not appear to be contamination issues associated with this site. SMF 1C received a risk rating of NO. The location of SMF 1C is depicted in Figure 6.

Figure 6. Proposed SMF 1B

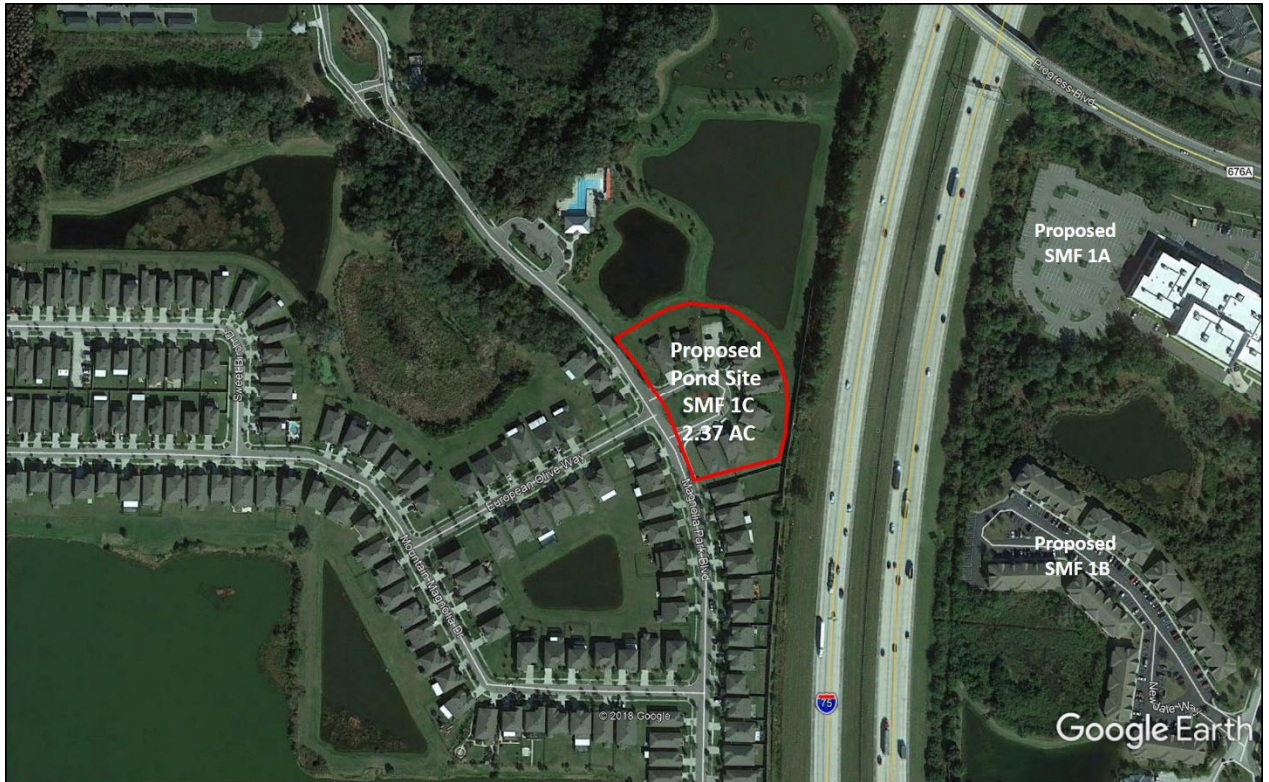
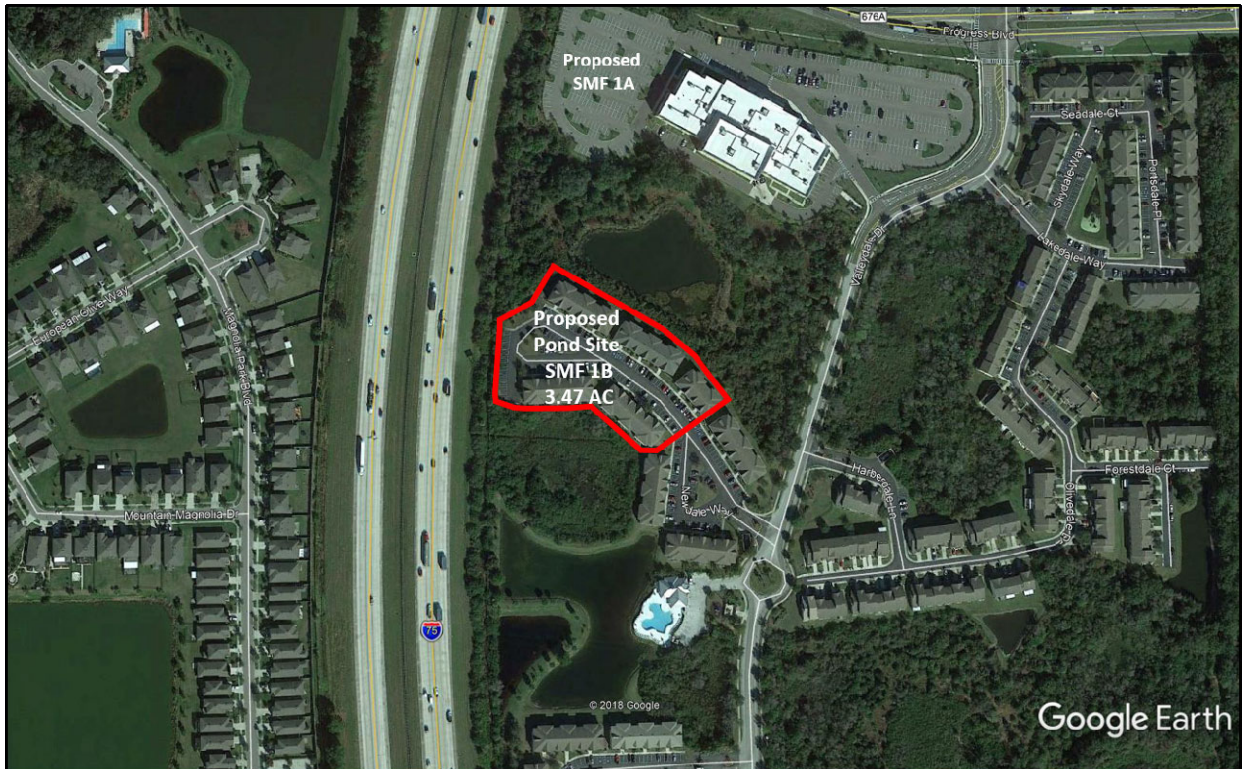


Figure 5. Proposed Site SMF 1C

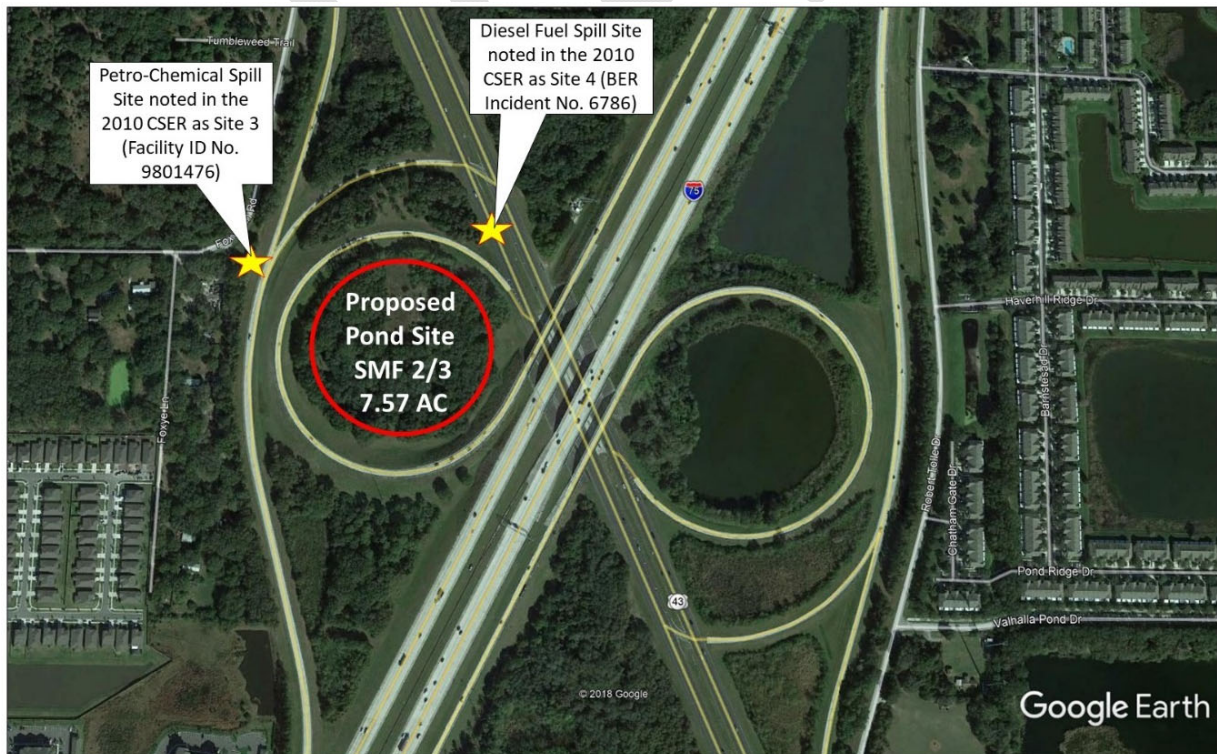


Proposed SMF 2/3 is a 7.57-acre site that is part of FDOT I-75 right-of-way located in the center of the I-75 CD roadway from southbound US 301 to the southbound I-75 entrance ramp. Based on review of FDEP information, the site is adjacent to a (Citgo) spill (FDEP Facility ID No. 9801476). The 2010 CSER identified two incidents located near this as Site Nos. 3 and 4. As stated in the 2010 CSER, Site No. 3 is an emergency response spill site on the US 301 to the I-75 southbound entrance ramp, within the I-75 right-of-way. This facility was included in the Emergency Response Notification System (ERNS) list and the FDEP Leaking Underground Storage Tank (LUST) report. In a letter from the Hillsborough County Environmental Protection Commission (EPC) dated May 20, 2003, petroleum contamination was discovered on February 10, 1998. Approximately 1,000 gallons of gasoline spilled when a tanker truck overturned. The EPC issued a letter on January 17, 2002 that outlined the requirements to continue natural attenuation monitoring. Groundwater monitoring data for this period of natural attenuation and a soil assessment indicated that groundwater and soil cleanup target levels were met. A Site Rehabilitation Completion Order (SRCO) was issued in March 2004. The letter stated that Citgo was required to properly abandon all monitoring wells within 60 days. Although soil cleanup target levels were met for this diesel spill, it is possible that constituents (below cleanup target levels) are still present in this area of I-75.

Incident No. 6786 is a diesel fuel spill on I-75 southbound, near US 301 (mile marker 256). This incident is not identified in current the FDEP database. Additional information for Site 4 is found in the Proposed SMF 4/5 discussion.

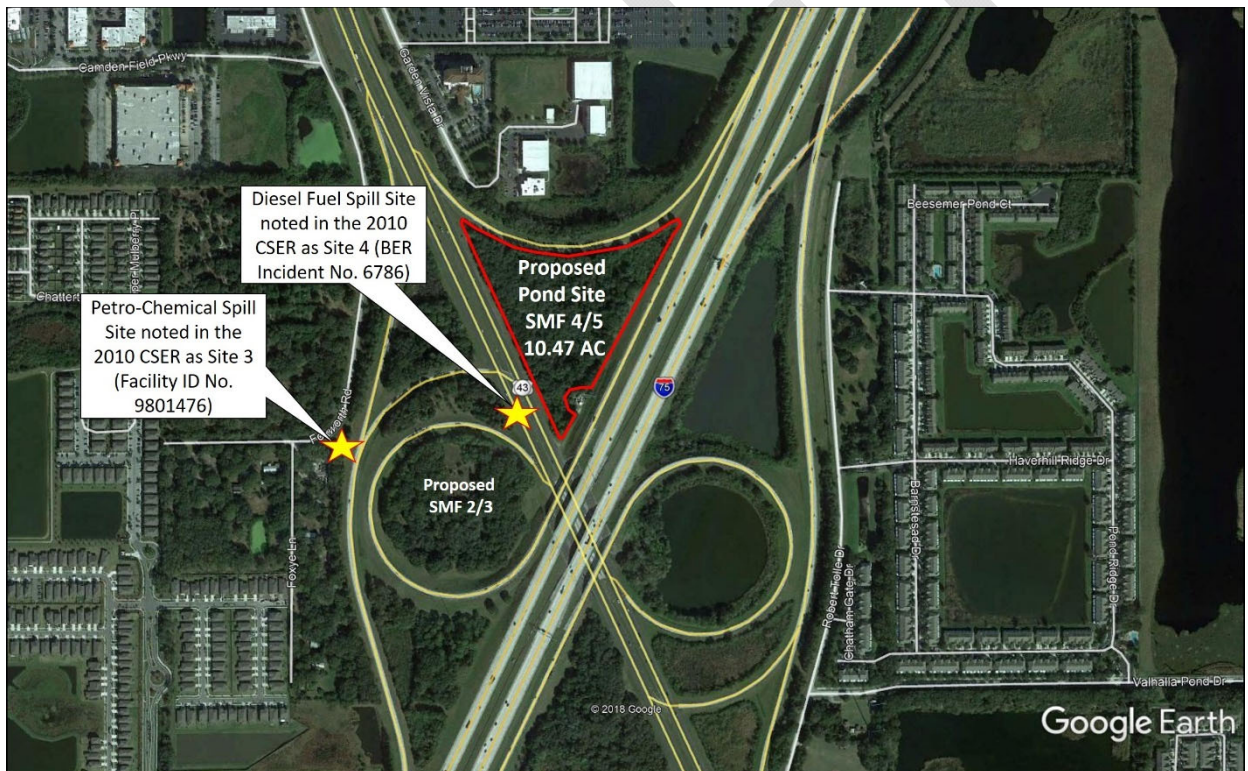
Proposed SMF 2/3 is a preferred pond site. Based on the 2010 Level I contamination evaluation and the FDEP files, SMF 2/3 received a risk ranking of LOW. The location of SMF 2/3 is depicted in Figure 7.

Figure 7. Proposed Site SMF 2/3



Proposed SMF 4/5 is a 10.47-acre site that is part of FDOT right-of-way located west of I-75 and east of US 301 at the I-75 and US 301 interchange. This site is identified in the 2010 CSER as Site No. 4 – Diesel Fuel Spill (BER Incident No. 6786). The 2010 CSER states, in September 2006, approximately 70 gallons of diesel fuel and a small amount of engine oil were released to the soil in the median near mile marker 256 when a tractor-trailer overturned while traveling southbound on I-75. The limited information provided in the Emergency Response Incident report indicated that in October 2006, approximately 42 tons of contaminated soils were removed; closure samples confirmed that no constituents were above soil cleanup target levels. No further action was taken by Bureau of Environmental Remediation (BER), and the case was closed. During a site visit in October 2008, the project team members drove I-75 southbound near mile marker 256. The vegetation in the median and east of the guardrail did not appear to be distressed, and there was no obvious evidence of contamination. Based on topography and surface water ditches nearby, it is presumed that the groundwater in this area generally flows in a southwesterly direction, away from I-75. As the site is not identified on the current FDEP database and the conformation samples from the soil excavation revealed no exceedances a risk rating of LOW was found to be appropriate. Proposed Site SMF 4/5 is a preferred pond site. The location of SMF 4/5 is depicted in Figure 8.

Figure 8. Proposed Site SMF 4/5



Proposed SMF 6A is a vacant 3.31-acre site located at 3302 Crescent Park Drive west of and immediately adjacent to I-75 right-of-way. The Hillsborough County Property Assessor website shows the site is part of an 80-acre tract owned by Progressive Casualty Insurance Company. This site is identified in the 2010 CSER as Site 6. The 2010 CSER states, the facility at 3302 Crescent Park Drive maintained a National Pollutant Discharge Elimination System (NPDES) permit. This permit was issued on November 21, 2003 and expired on November 20, 2008. No information for inspections, outfalls/pipe schedules, limits report,

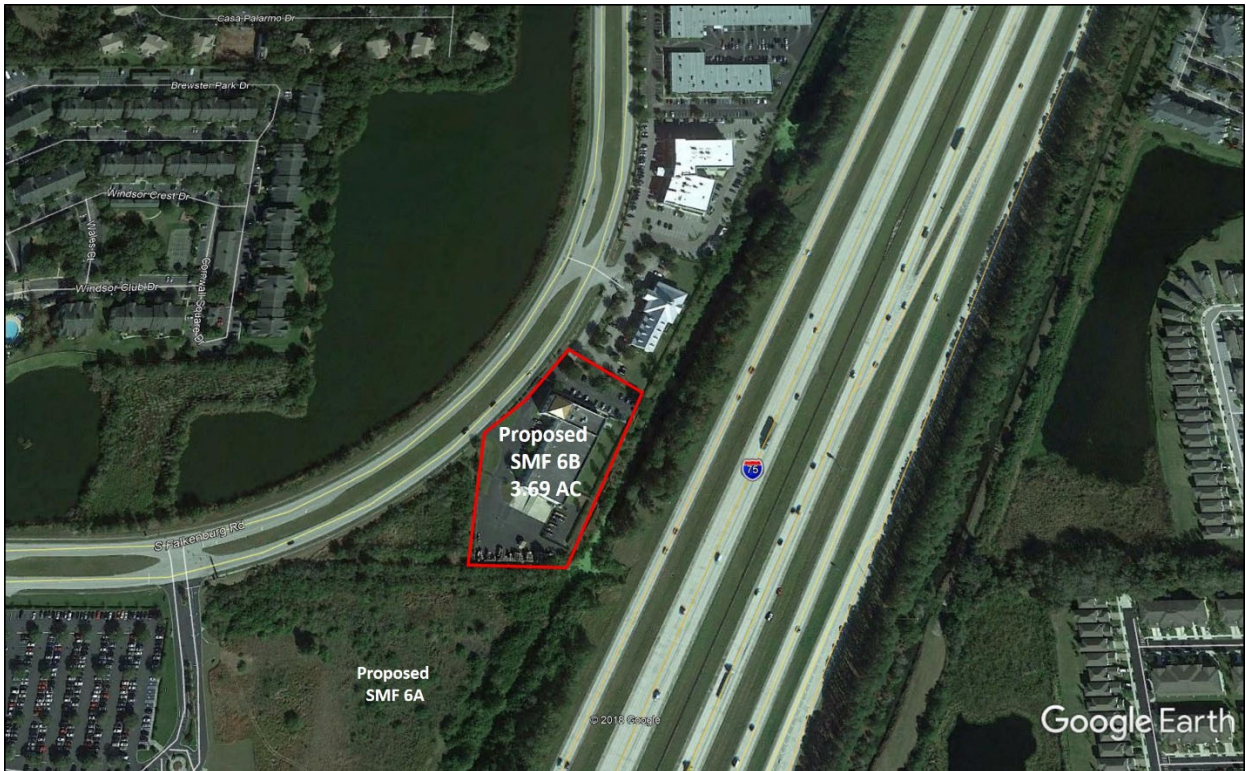
measurements and violations, compliance schedules and violations, evidentiary hearings, pretreatment inspections/audits, and pretreatment performance summary information was included in the Water Discharge Permits Detailed Report for this site. According to the FDEP TANKS report, two 3,000-gallon above ground storage tanks (AST) containing diesel fuel are in service at the address for emergency generators. These ASTs were installed in July 2004. The ASTs were not found during the field review and their locations could not be verified. The 2010 CSER gave Site 6 a LOW ranking. After a review of current FDEP and EPA information, the risk rating of LOW was found to still apply. Proposed SMF 6A is a preferred pond site. The locations of SMF 6A and Progressive Insurance are depicted in Figure 9.

Figure 9. Proposed SMF 6A



Proposed SMF 6B is a 3.43-acre site located at 3178 Falkenburg Road and a portion of 3160 Falkenburg Road. The Hillsborough County Property Assessor website shows the property at 3178 Falkenburg Road is owned by Delco Properties-Tampa, LLP. No issues were identified with this property. The property at 3160 Falkenburg Road is found in the 2010 CSER states, the facility is an office building for residential construction, Cardel Master Builders. It is located approximately 200 feet west of the I-75 right-of-way, southeast of Causeway Boulevard. This facility maintained an NPDES permit. This permit was issued February 2, 2005, and expired February 1, 2010. No information for inspections, outfalls/pipe schedules, limits report, measurements and violations, compliance schedules and violations, evidentiary hearings, pretreatment inspections/audits, and pretreatment performance summary information was included in the Water Discharge Permits Detailed Report for this site. During a site visit, there was no obvious evidence of contamination concerns. The NPDES permit was possibly obtained for discharge to a ditch located between the on-site office building and the I-75 right-of-way. After a review of current FDEP and EPA information, the site received a risk rating of NO. The location of SMF 6B is depicted in Figure 10.

Figure 10. Proposed SMF 6B



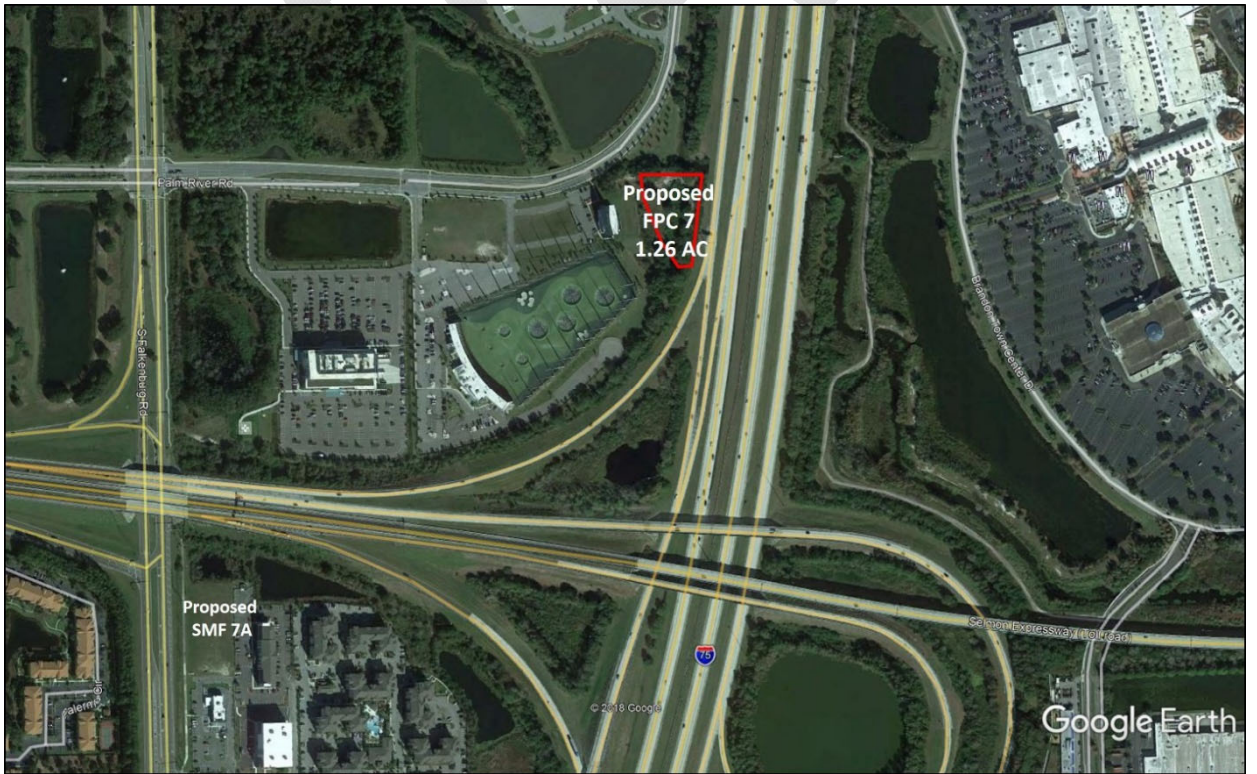
Proposed FPC 6R is a 4.67-acre site located within FDOT right-of-way east of I-75 that currently is the Selmon Expressway exit ramp from I-75 northbound. The site was not identified in the 2010 CSER. Based on this Level I contamination evaluation, there do not appear to be contamination issues associated with this site. There are no identified issued based on the current FDEP database or the Environmental Protection Agency (EPA) Echo database. After a review of current FDEP and EPA information, FPC Site 6R received a risk rating of NO. Proposed FPC 6R is a preferred FPC site. The location of FPC 6R is depicted in Figure 11.

Proposed FPC 7 is a 1.26-acre site located within vacant FDOT right-of-way east of Palm River Road and west of I-75 adjacent to the southbound CD roadway and Selmon Expressway entrance ramp. The site was not identified in the 2010 CSER. There are no identified issued found for the property in the FDEP or Environmental Protection Agency (EPA) Echo database. Based on current information Site FPC 7 received a risk rating of NO. Proposed FPC 7A is a preferred FPC site. The location of FPC 7A is depicted in Figure 12.

Figure 11. Proposed FPC 6R



Figure 12. Proposed FPC 7



Proposed SMF 7A is a 3.16-acre site located in the southeast quadrant of Falkenburg Road and the Selmon Expressway. The Hillsborough County Property Assessor website shows the site is located on two parcels. A vacant commercial property with an unnumbered parcel on Sanderling Shores Drive, owned by Bebo Holdings, Inc., 301 Platt Street Suite A, Tampa, FL and 2450 Falkenburg Road owned by BEREPII WS Tampa Brandon, LLC, 8621 E. 21st Street, Suite 250, Wichita, KS. This parcel is the site of a recently constructed Woodspring Suites Hotel. The site was not identified in the 2010 CSER. An NPDES permit (FLR10QQ89) December 18, 2016 that expires December 17, 2021 was issued for the hotel construction. Based on current FDEP and EPA databases, there do not appear to be contamination issues associated with this site. SMF 7A received a risk rating of NO. The location of SMF 7A is depicted in Figure 13.

Figure 13. Proposed SMF Site 7A



Proposed SMF 7B is a 2.00-acre site located west of Brandon Town Center Drive, east of the I-75 northbound entrance ramp to the Selmon Expressway and south of the Selmon Expressway. The Hillsborough County Property Assessor website shows a portion of the site is a day care center owned by Hyperion Education, LLC located at 730 Brandon Town Center Drive. The site is found on the FDEP database as a Managed Entity. An NPDES permit (FLR 100B40) was issued for site construction. The permit was issued May 16, 2014 and expired May 15, 2019. No additional information was identified for the property. After a review of current FDEP and EPA information, SMF Site 7B received risk ratings of NO. The location of SMF 7B is depicted in Figure 14.

Figure 14. Proposed SMF 7B



Proposed SMF 7C is an 8.82-acre site located west of Brandon Town Center Drive, north of Causeway Boulevard and east and adjacent to the I-75 northbound to westbound Selmon Expressway entrance ramp. The Hillsborough County Property Assessor website identified the property as an auto dealership located at 11020 Causeway Boulevard, owned by Morse Operations, Inc. The property is identified in the 2010 CSER as Site 10. The 2010 CSER states the facility maintained an NPDES permit. The permit was state-issued on April 6, 2007 and expired on April 5, 2012. No information for inspections, outfalls/pipe schedules, limits report, measurements and violations, compliance schedules and violations, evidentiary hearings, pretreatment inspections/audits, or pretreatment performance summary information was included in the Water Discharge Permits Detailed Report for this site. This facility is registered as a conditionally-exempt small quantity generator of hazardous wastes. No formal enforcement actions have been taken against the facility within the last five years. The FDEP TANKS report identified one 300-gallon AST containing unleaded gasoline is in service. The AST was installed in July 1994. The current FDEP database shows all tanks are in compliance. Inspection comments stated the AST is located on a concrete slab and is equipped with normal and emergency venting. The spill containment box and dispenser liner appeared to be intact. Due to current information, SMF 7C received a risk rating of LOW. The location of SMF 7C and its easement are depicted in Figure 15.

Figure 15. Proposed SMF 7C



Proposed SMF 7/8 is a 5.55-acre site located immediately east of I-75 adjacent to the I-75 northbound CD roadway SR 60 exit ramp and west of Brandon Town Center Drive. The Hillsborough County Property Assessor website identified the property as vacant commercial owned by Brandon Partners, Ltd located on Brandon Town Center Drive. No parcel address was provided. The site was not identified in the 2010 CSER. Based on current FDEP and EPA databases, there do not appear to be contamination issues associated with this site. After a review of best available information, Site SMF 7/8 received a risk rating of NO. Proposed SMF 7/8 is a preferred pond site. The location of SMF 7/8 is depicted in Figure 16.

Proposed SMF 8A is a 2.65-acre site located immediately east of I-75 adjacent to the I-75 northbound CD roadway SR 60 exit ramp and west of Brandon Town Center Drive. The Hillsborough County Property Assessor website identified the property as vacant commercial owned by Brandon Partners, Ltd located on Brandon Town Center Drive. No parcel address was provided. The site was not identified in the 2010 CSER. Current information does not show contamination issues associated with this site. Site SMF 8A received a risk rating of NO. The location of SMF 8A is depicted in Figure 17.

Figure 16. Proposed SMF 7/8

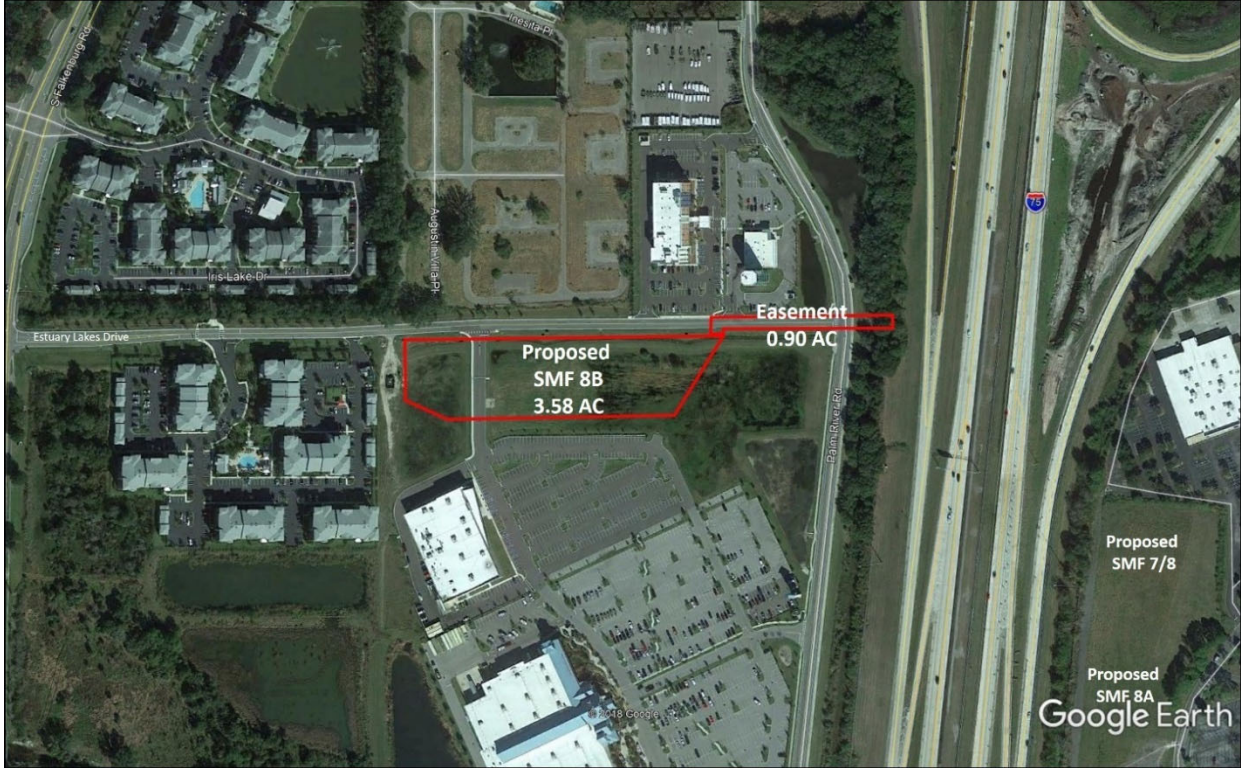


Figure 17. Proposed SMF 8A



Proposed SMF 8B is a 3.58-acre site located west of I-75, west of Palm River Road and south of Estuary Lakes Drive. The Hillsborough County Property Assessor website shows the site is comprised of four parcels all vacant commercial owned by I-75/Palm River Road LLC located on Estuary Lakes Drive. No parcel address was provided. The site was not identified in the 2010 CSER. Based on current FDEP and EPA databases there do not appear to be contamination issues associated with this site. SMF 8B and its easement received a risk rating of NO. The location of SMF 8B and easement are depicted in Figure 18.

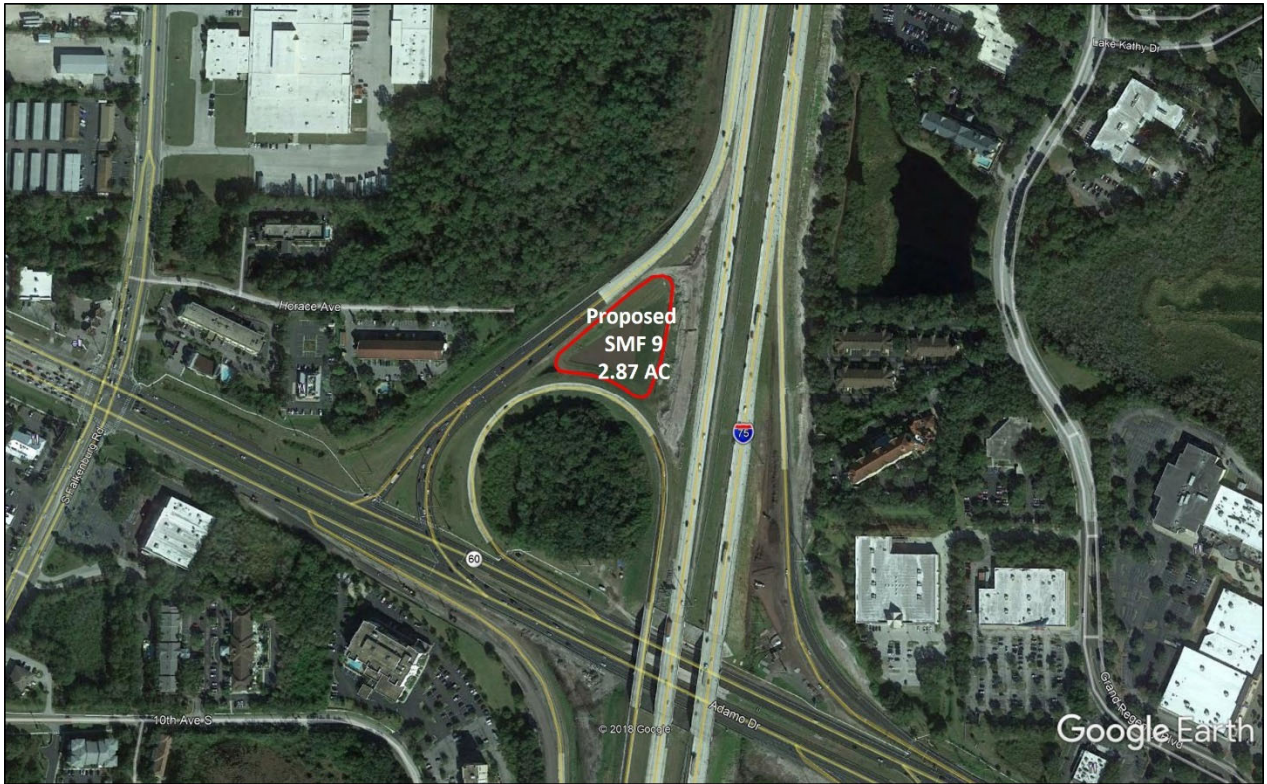
Figure 18. Proposed SMF 8B



Proposed SMF 9 is a 2.87-acre site located within FDOT right-of-way. The site is located in the center of a triangle formed by I-75 southbound to the east, the I-75 southbound exit ramp to the west and the I-75 southbound entrance loop ramp to the south. The site was not identified in the 2010 CSER; however, Site 19 of the 2010 CSER is located approximately 950 feet southwest of the (Diesel Fuel Spill - BER Incident #26948). Based on the 2020 Level I contamination evaluation, there do not appear to be contamination issues associated with this site. After a review of current FDEP and EPA databases, SMF 9 received a risk rating of NO. Proposed SMF 9 is a preferred pond site. The location of SMF 9 is depicted in Figure 19.

Proposed SMF 10A is a 3.28-acre site located at 10222 Elizabeth Place, Brandon, FL. The property is approximately 100-feet west of I-75, south of the CSX railroad, adjacent north to the Brandon Ice Sports Forum. The site also includes a 0.82-acre easement adjacent to the south side of the proposed pond site. The Hillsborough County Property Assessor website states the property is a bowling alley and skate rink owned by Ice Sports Forum Inc. located at 5012 W. Cypress Street, Tampa. The total acreage of the site parcel is 10.72 acres. The property is identified in the 2010 CSER as Site 25.

Figure 19. Proposed SMF 9

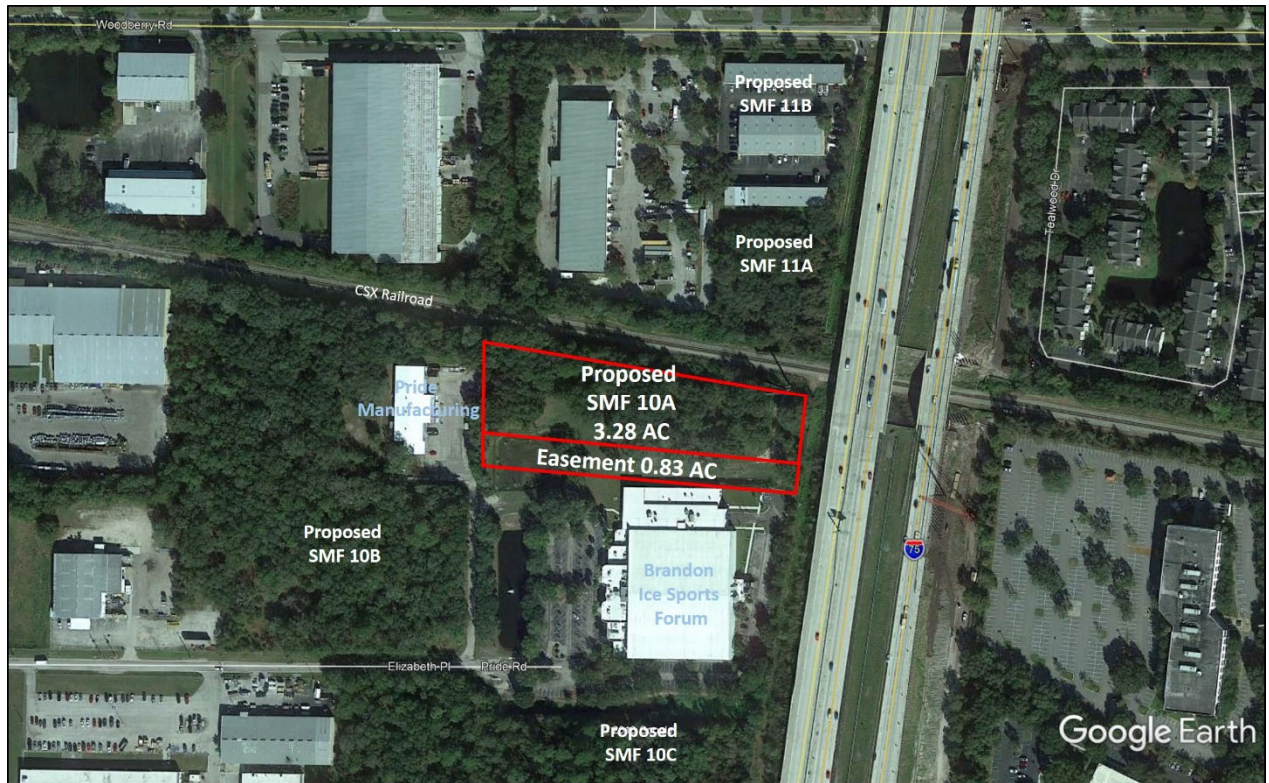


The 2010 CSER states, in October 2000, the National Response Center received a call that approximately 100 pounds of ammonia and anhydrous released into the atmosphere due to equipment failure. There was no additional relevant information regarding this spill in the incident report. The Brandon Ice Sports Forum facility maintained an NPDES permit for building construction issued on December 20, 2007 that expired on December 19, 2012. During a site visit in September 2008, project team members drove the property. Four 55-gallon drums, two plastic drums, and two steel drums were found behind the building in the parking lot adjacent to the I-75 right-of-way. One of the steel drums was leaking an orange-colored fluid, staining the asphalt. The other steel drum was labeled ammonia refrigerant. Approximately 25, 5-gallon plastic containers of paint were being stored on the concrete pavement behind the building and under a stairwell. There was no visual evidence of active soil or groundwater assessment or remediation. In 2019, a field review of the proposed site found tires, household waste, paint cans, railroad ties and rail ties downs. The 2019 EPA ECHO facility search identified the Brandon Ice Forum as EPA registry ID 110033016420. Current FDEP and EPA databases state as of June 30, 2019 the facility is in compliance.

In addition to the Brandon Ice Forum, Pride Manufacturing is located adjacent to and west of proposed site SMF 10A on property also owned by Ice Sports Forum, Inc. Pride Manufacturing is located at 211 Pride Road. The facility is a wood products manufacturing company shown on the EPA ECHO website as having a minor air emission (report ID 9798711) on January 14, 2014. No additional information is provided. Based on current information, site SMF 10A and its easement received a risk rating of MEDIUM. The rating was chosen due to the close proximity of the site to the Brandon Ice Forum, Pride Manufacturing and

several additional industrial sites identified by both FDEP database and the EPA ECHO site near SMF 10A. The location of SMF 10A and easement are depicted in Figure 20.

Figure 20. Proposed SMF 10A



Proposed SMF 10B is a 4.53-acre site located at 10120 Elizabeth Place, Tampa. The site is approximately 685 feet east of I-75, approximately 350 feet east of the Brandon Ice Forum and immediately adjacent and south of Pride Manufacturing. The Hillsborough County Property Assessor website states the property is a warehouse owned by Suarez-Dean Investment Company in Homosassa, Florida. The total acreage of the site parcel is 10.31 acres. The site is not identified in the 2010 CSER; however, FDEP data shows the warehouse is being monitored for Petroleum and Storage Tank Contamination. The last documentation available for the site from the FDEP website is dated 1994. Immediately adjacent and west of the proposed site is Metal Processors, Inc/Chloride Automotive Batteries located at 200 Falkenburg Road, Tampa. Metal Processors, Inc is included in the 2010 CSER as Site 26. The 2010 CSER states, according to the FDEP TANKS report, one 500-gallon AST containing diesel fuel is in service as an emergency generator at the Metal Processors, Inc. facility. The AST was installed in May 1988. No additional information for this site was found in the Oculus database. The Chloride Automotive Battery facility was included in the USEPA CERCLIS database. Discovery of a potentially hazardous waste was made in August 1980. Preliminary assessment, site inspection, and site reassessment were conducted in October 1984; October 1991, and January 2003, respectively. The resulting outcome or action priority level assigned as a result of the site reassessment was “high”. According to documentation, there is no record of decision for this site and it is not on the National Priority List. The 2010 CSER gave Metal Processors a risk ranking of LOW. Based on current

information for the site, SMF 10B received a risk rating of MEDIUM. The rating was chosen due to the proximity of the site to Pride Manufacturing and Metal Processors, Inc as well as several additional industrial sites identified by both the FDEP database and the EPA ECHO site near SMF 10B and the general industrial nature of the land use in the vicinity. The location of SMF 10B is depicted in Figure 21.

Figure 21. Proposed Site SMF 10B



Proposed SMF 10C is a 2.47-acre site located immediately adjacent west of I-75 on Pride Road south of the Ice Sports Forum discussed in SMF 10B. No physical address was listed for the property. The Hillsborough County Property Assessor website shows the property is vacant industrial owned by Elizabeth Place Properties, LLC in Pinellas Park, Florida. The total acreage of the site parcel is 6.77 acres. The site is not identified in the 2010 CSER. The site was field reviewed in 2019 and found to be a fenced, wooded, wetland area. There was no debris or waste noted on site; however, the site is adjacent to and south of the Brandon Ice Forum (outlined in proposed SMF 10A); and located in an area of industrial land uses. Site SMF 10C was assigned a risk rating of LOW. Proposed SMF 10C is a preferred pond site. The location of SMF 10C is depicted in Figure 22.

Proposed SMF 11A is a 1.32-acre site located adjacent and west of the I-75 right-of-way and adjacent to and north of the CSX railroad. The site consists of two parcels. The Hillsborough County Property Assessor website shows the property is a vacant, unincorporated Hillsborough County owned parcel totaling 1.16 acres with no physical address. The property is immediately adjacent to the CSX railroad. SMF 11A would encompass all the parcel and a portion of the adjacent parcel north which part of the Woodberry Industrial Center discussed below in SMF 11B. The site is not identified in the 2010 CSER. The site was field reviewed

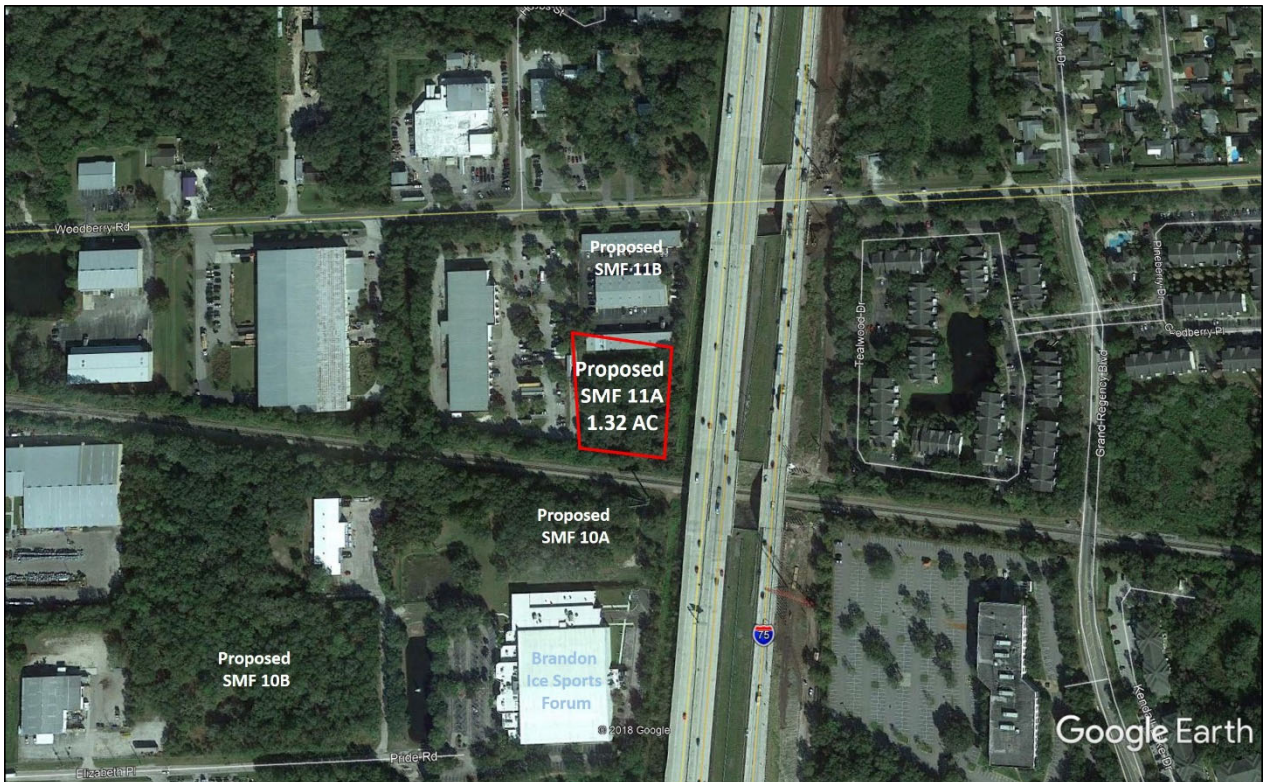
Figure 22. Proposed SMF 10C



and found to contain household waste, paint cans, railroad ties and tie plates. Several mounds were also identified on the property. West of the property is a property identified as a Managed Entity according to the FDEP database, Dickinson Fleet Service. Dickinson Fleet Service is a mobile fleet maintenance company that is considered a hazardous waste generator. The EPA ECHO website shows Dickinson Fleet Service was issued an NPDES permit on July 25, 2015 that expires July 24, 2020. Due to the site's proximity to the CSX railroad, waste found on the site and the industrial land uses in its vicinity a risk ranking of MEDIUM was assigned. Proposed SMF 11A is a preferred pond site. The location of SMF 11A is depicted in Figure 23.

Proposed SMF 11B is a 1.55-acre site located south of Woodberry Road and immediately adjacent west of I-75 right-of-way. The Hillsborough County Property Assessor website states the property is located at 10311 Woodberry Road, classified as warehouse, and owned by Woodberry Properties LLC, Brandon, Florida. The FDEP database shows the property as a Managed Entity. The property was identified in the 2010 CSER as Site 27. The 2010 CSER states the facility is a storage center located approximately 500 feet west of the I-75 right-of-way on Woodberry Road that maintained an NPDES permit issued on August 8, 2004 and expired August 7, 2009. No information for inspections, outfalls/pipe schedules, limits report, measurements and violations, compliance schedules and violations, evidentiary hearings, pretreatment inspections/audits, and pretreatment performance summary information was included in the Water Discharge Permits Detailed Report for this site.

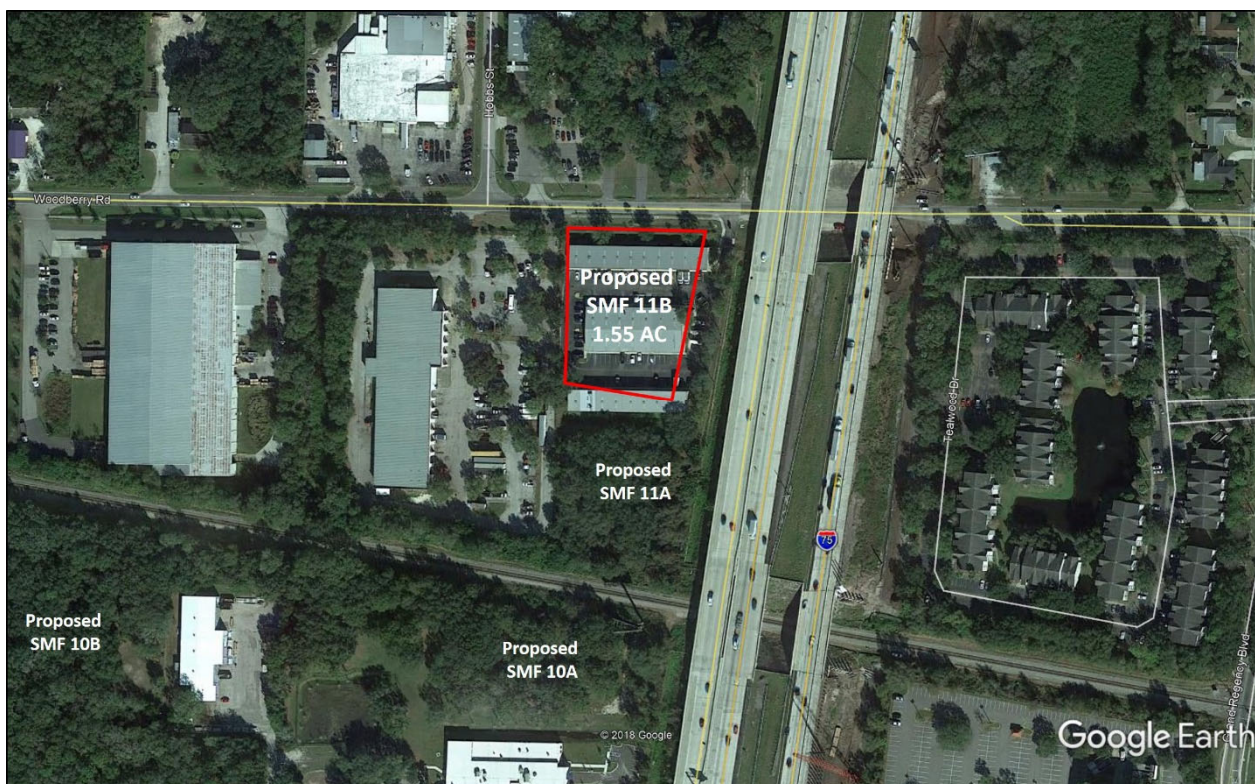
Figure 23. Proposed SMF 11A



During a site visit in September 2008, the project team walked the property. Three prefabricated buildings were situated on an asphalt parking lot as found today. There was no obvious evidence of contamination concerns. The NPDES permit was possibly obtained for discharges associated with construction activities; however, no stormwater ponds or adjacent water bodies (creeks, ditches) were found, and the discharge location requiring an NPDES permit could not be determined. The 2010 CSER rated the site LOW. Based on current FDEP and EPA information, SMF 11B maintains a risk rating of LOW. The location of SMF 11B is depicted in Figure 24.

Proposed SMF 12/13A is a 5.07-acre site located north of Fisher Avenue between I-75 right-of-way to the east and Hobbs Street to the west. The site is comprised of portions of four different parcels. The Hillsborough County Property Assessor website states the parcel adjacent to I-75 right-of-way has a physical address of 10350 Fisher Avenue, is classified as flex service commercial, and owned by John W. Yore Trustee of Red Oak, Virginia. The adjacent parcel west of 10350 Fisher Avenue has a physical address of 10330 Fisher Avenue, is classified as mobile home, and owned by John and Darlene Jones of Tampa, Florida. The adjacent parcel west of 10330 Fisher Avenue has a physical address of 10324 Fisher Avenue, is classified as warehouse, and owned by WKW Associates of Orlando, Florida. The last parcel to comprise this site is located at the corner of Fisher Avenue and Hobbs Street has a physical address of 10306 Fisher Avenue, is classified as vacant industrial, and owned by Retaining Properties LLC of Tampa, Florida. None of the four parcels associated with SMF 12/13A were identified in the 2010 CSER. The current FDEP

Figure 24. Proposed SMF 11B



database shows the property at 10324 Fisher Avenue as a Managed Entity. The property at 10306 Fisher Avenue was not identified in the FDEP database; however, the property was sold in 2018 and the field review identified the property as a used automobile storage area. During the filed review the property is marked no trespassing.

It should be noted the 2010 CSER does identify the property located at 10301 Fisher Avenue directly south across Fisher Avenue from proposed SMF 12/13A. The 2010 CSER states, the facility is an office building and warehouse associated with HD Supply Electrical, Ltd. It is located in the southeast quadrant of Fisher Avenue and Hobbs Street, approximately 500 feet west of the I-75 right-of-way. The Hillsborough County Property Appraiser records show that Jack Whitwam et al. owns the property. HD Supply Electrical, LTD is registered as a conditionally-exempt small quantity generator of hazardous wastes. Per the US EPA ECHO database, a RCRA inspection has never been conducted. No formal enforcement actions have been taken against the facility. As of December 2019, the facility was not considered to be in significant noncompliance. During a field review steel or aluminum piping was being stored in the rear of the property. Three receiving docks were located on-site. Due to the site's proximity to the adjacent industrial uses, the FDEP identifying the property is a Managed Entity and the discovery of the used automobile storage area, a risk ranking of MEDIUM was assigned. The location of SMF 12/13A is depicted in Figure 25.

Proposed SMF 12/13B is a 4.72-acre site comprised of four parcels located adjacent and east of I-75 right-of-way on either side of Fisher Avenue. The Hillsborough County Property Assessor website states the first

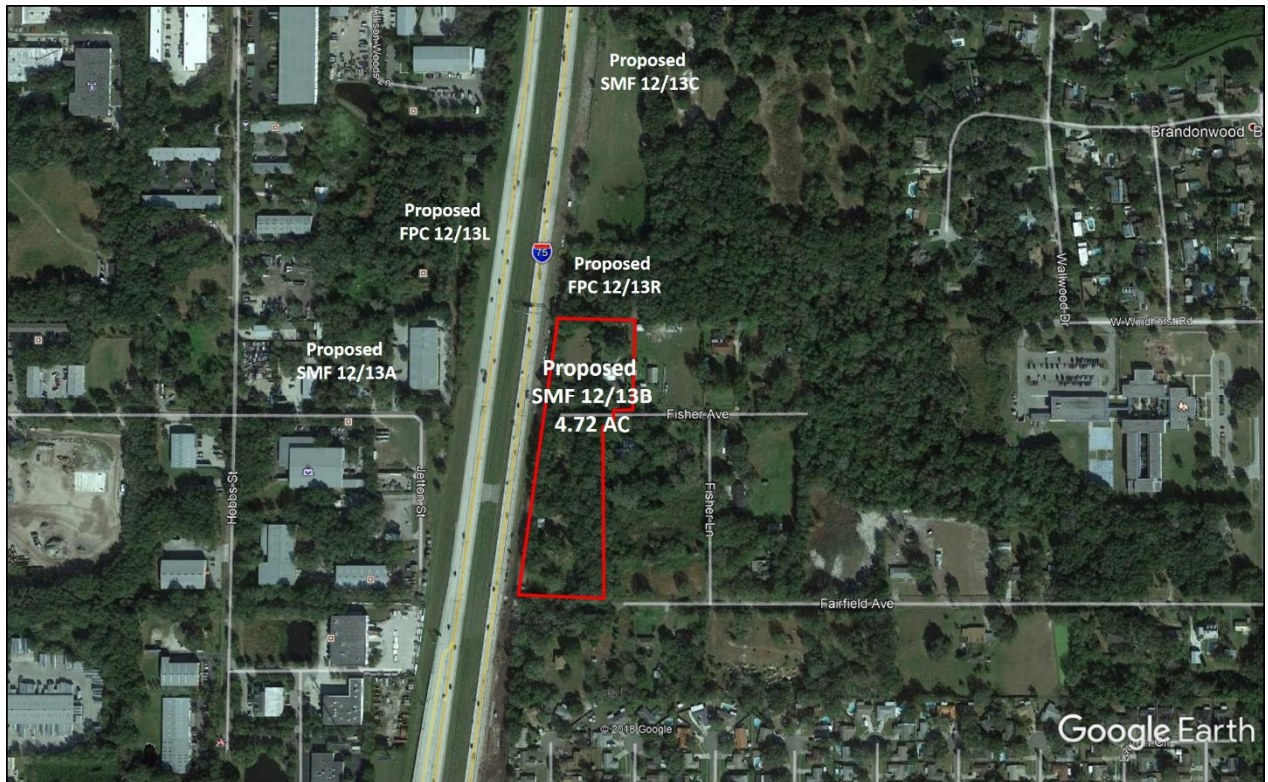
Figure 25. Proposed SMF 12/13A



parcel is single family residential located at 2323 Fisher Avenue owned by Adela Valdez Villafranca, Brandon FL. The second parcel is adjacent east located on Fairfield Avenue, no physical address number was provided. The property is owned by Angie Marieth Olivera of Elgin Air Force Base. The property is identified as vacant residential. The third and fourth properties are located north across Fisher Avenue. The third property, located at 2320 Fisher Avenue, Brandon, FL, is adjacent to I-75 northbound right-of-way. The property is owned by Diane Abney of the same address and identified as single family residential. The fourth property is east with an address of 2314 Fisher Avenue, Brandon, FL. The property is owned by JM and Lorena Hampton of the same address and is identified as single family residential. The 2010 CSER did not identify these sites and no information was found on the FDEP or EPA databases; however, the field review found the site to have several old cars, a generous amount of household waste, and several sheds on the property. At the field review, the contents of the sheds could not be determined. The property was gated and was only viewable from the adjacent property. Based on the abandoned cars, household waste, and the unknown contents of the sheds on the property, SMF 12/13B received a risk rating of MEDIUM. The location of SMF 12/13B is depicted in Figure 26.

Proposed SMF 12/13C is a 7.35-acre site located adjacent and east of I-75 right-of-way, south of Graves Road. The Hillsborough County Property Assessor website shows the site is comprised portions of two parcels. The first is located at 2408 Graves Road owned by Allan Lafever of the same address. The property is identified as pasture; however, a single-family residence is also located on the property. The second property is located on Graves Road. No physical address is provided. The property is owned by Charles

Figure 26. Proposed SMF 12/13B



and Louise Springer Trustees, Brandon, FL. The property is identified as vacant residential. The 2010 CSER did not identify either property and no information was found in the FDEP or EPA databases. SMF 12/13C received a risk rating of NO. Proposed SMF 12/13C is a preferred pond site. The location of SMF 12/13C is depicted in Figure 27.

Proposed FPC 12/13L is a 1.63-acre site comprised of a portion of the parcel located at 10350 Fisher Avenue, discussed in SMF 12/13A owned by John Yore, and a portion of the property located at 10356 Fisher Avenue that is adjacent and west of I-75. The Hillsborough County Property Assessor website states the property is owned by John and Thelma Gardner, 1011 E. Robson Street, Tampa, FL., and classified as a mobile home. The 2010 CSER did not identify either property and no information was found in the FDEP or EPA databases. FPC 12/13L received a risk rating of NO. Proposed FPC 12/13L is a preferred FPC site. The location of FPC 12/13L is depicted in Figure 28.

Proposed FPC 12/13R is a 1.11-acre site located immediately adjacent east of I-75 right-of-way, north of SMF 12/13B. The Hillsborough County Property Assessor website states the property is part of a larger 7.24-acre parcel identified as pasture located at 2408 Graves Road owned by Allan Lafever of the same address. The property is identified as pasture; however, a single-family residence is also located on the property. This parcel is also part of site SMF 12/13C. The 2010 CSER did not identify this site. A review of current FDEP and EPA databases found no issues. FPC 12/13R received a risk rating of NO. Proposed FPC 12/13R is a preferred FPC site. The location of FPC 12/13R is depicted in Figure 29.

Figure 27. Proposed SMF 12/13C



Figure 28. Proposed FPC 12/13L

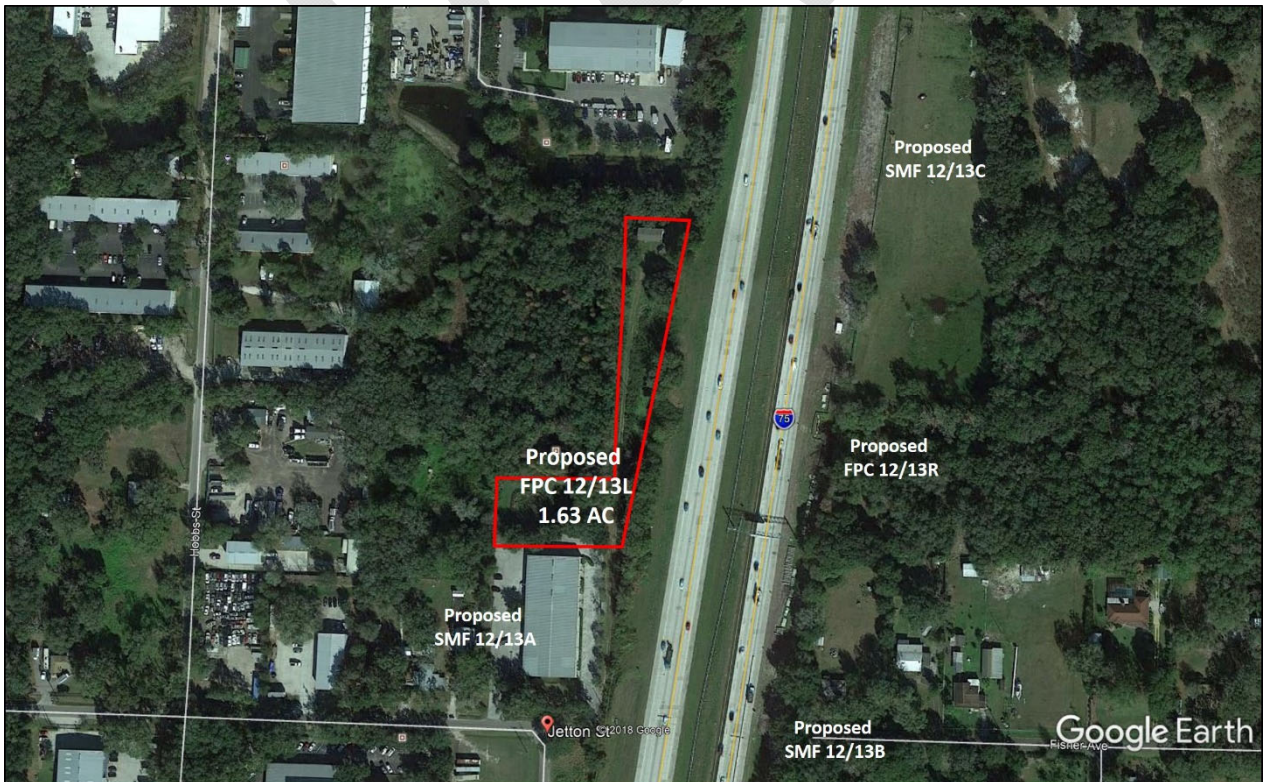
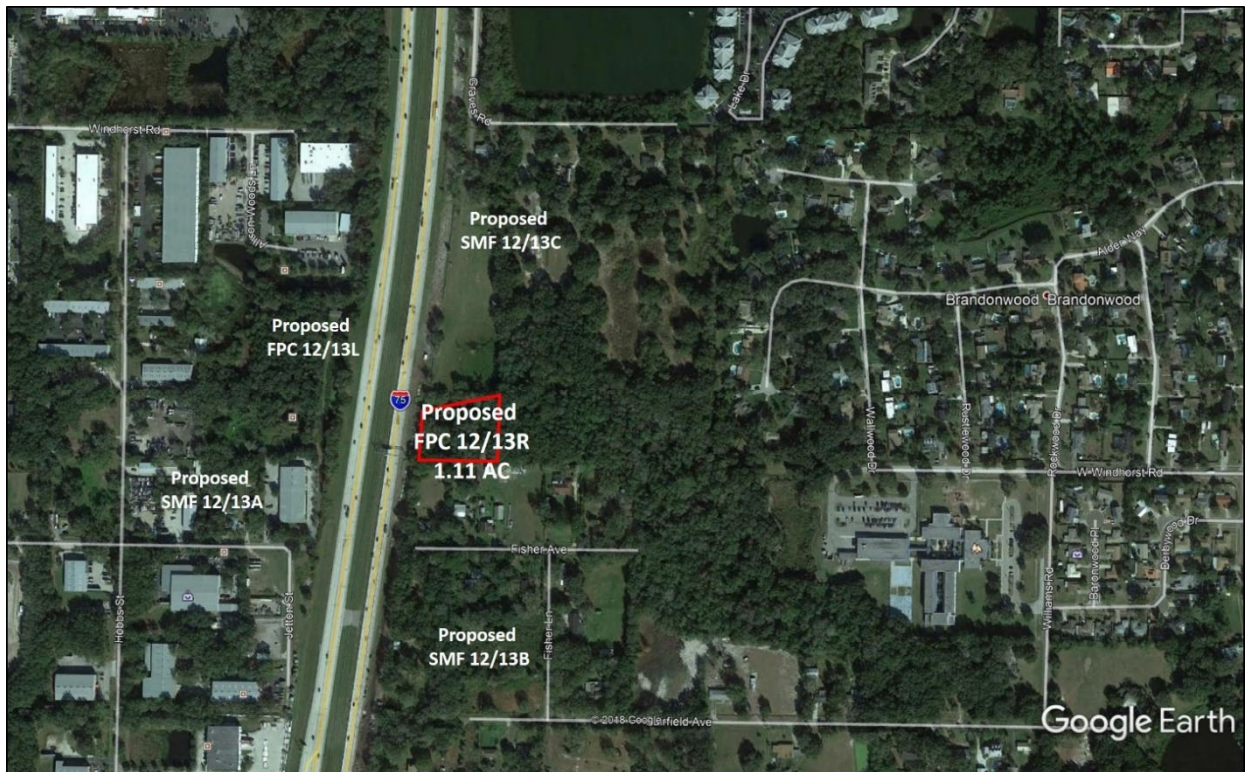


Figure 29. Proposed FPC 12/13R



Proposed FPC 14A is a 0.77-acre site located immediately adjacent and east of I-75 right-of-way, west of Broadway Center Boulevard. The site is a portion of a larger parcel also associated with SMF 14A. The Hillsborough County Property Assessor website states the property is vacant commercial located on Broadway Center Boulevard. No physical address was provided. The property is owned by Kingswere Furniture LLC, Arcadia Wisconsin. The site was not identified as a potential contamination site in the 2010 CSER. The FDEP database shows the property was issued an NPDES permit for large and small construction activities on August 17, 2019 that expires on August 16, 2024. The FDEP database also shows the site as a Managed Entity. The property is not identified in EPA databases. FPC 14A received a risk rating of LOW. Proposed FPC 14A is a preferred FPC site. The location of FPC 14 is depicted in Figure 30.

Proposed SMF 14A is a 5.72-acre site located immediately adjacent, east of I-75 right-of-way and immediately adjacent and south of FPC 14. The site is west of Broadway Center Boulevard and north of Columbus Drive. The site is associated with the same parcel identified in FPC 14A. The Hillsborough County Property Assessor website states the property is vacant commercial located on Broadway Center Boulevard. No physical address was provided. The property is owned by Kingswere Furniture LLC, Arcadia Wisconsin. The site was not identified as a potential contamination site in the 2010 CSER. The FDEP database states the property was issued an NPDES permit for large and small construction activities on August 17, 2019 that expires on August 16, 2024. The FDEP also identified the site as a Managed Entity. A field review of the property revealed signs of agriculture. One metal barrel was noted on the ground. SMF

Figure 30. Proposed FPC 14A



14A received a risk rating of LOW. Proposed SMF 14A is a preferred pond site. The location of SMF 14A is depicted in Figure 31.

Proposed SMF 14B is a 4.96-acre site located approximately 1,000 feet east of I-75 right-of-way. It is east of and immediately adjacent to Broadway Center Boulevard and approximately 150 feet north of Columbus Drive. The site also includes a 1.73-acre easement on Columbus Drive that runs east/west from Graves Road to Broadway Center Boulevard, then north of Broadway Center Boulevard for approximately 475 feet. The Hillsborough County Property Assessor website states the property is classified as Townhouse HOA, and owned by Williams Road Brandon, LLC located at 1409 Tech Boulevard, Tampa, Florida. The 2010 CSER did not identify the site. The FDEP database shows the property as a Managed Entity. FDEP and EPA databases identify several NPDES permits near the property. Due to the property being a Managed Entity and the NPDES permits, SMF 14B received a risk rating of LOW. The location of SMF 14B is depicted in Figure 32.

Figure 31. Proposed SMF 14A



Figure 32. Proposed SMF 14B



Proposed SMF 15/16 is a 6.27-acre parcel located within FDOT right-of-way. The site is in the southeast quadrant of the I-75 at MLK Boulevard interchange immediately east of I-75 and south of MLK Boulevard. The site was not identified in the 2010 CSER. The FDEP database identifies Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring permits; however, in a letter dated January 1991 it states the two storage tanks were removed in April 1985 and were in location only for the time that spanned 1982-1985 for interstate paving. US EPA data shows no issues with the property. After a current FDEP and EPA information, SMF 15/16 received a risk rating of NO. Proposed SMF 15/16 is a preferred pond site. The location of SMF 15/16 is depicted in Figure 33.

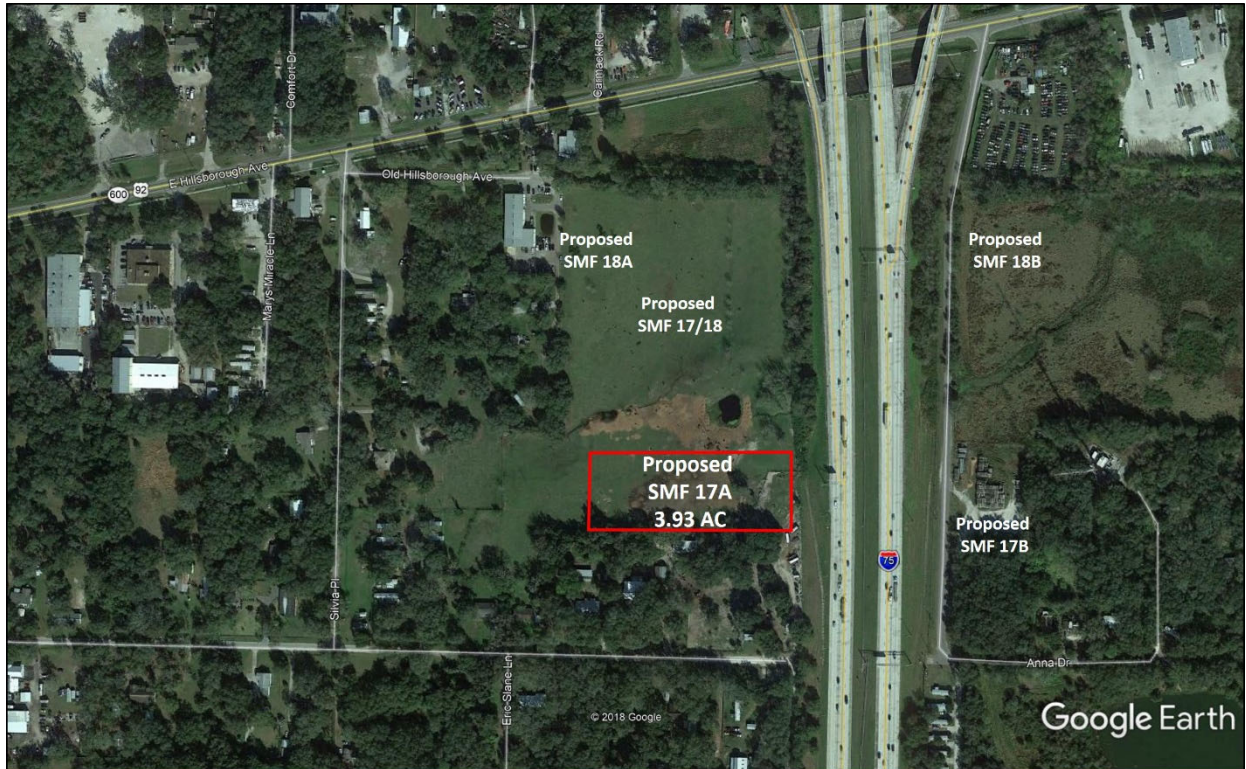
Figure 33. Proposed SMF 15/16



Proposed SMF 17A is a 3.93-acre site located immediately adjacent west of I-75 right-of-way, approximately 400 feet north of Tanner Road. The site is comprised of portions of two parcels. The Hillsborough County Property Assessor shows both parcels are located at 10404 Tanner Road and owned by LaVerne and Barbara Patrick. Both properties are classified as pasture. The site was not identified as a potential contamination site in the 2010 CSER. The FDEP data shows the property with a Managed Entity marker for Sipple Dairy with no issues. There are no contamination issues identified from the EPA database. After review of best available information, SMF 17A received a risk rating of NO. Proposed SMF 17A is a preferred pond site. The location of SMF 17A is depicted in Figure 34.

Proposed SMF 17B is a 4.09-acre site and easement comprised of two parcels, both parcels are located immediately adjacent and south of Tanner Drive and adjacent and east of Anna Drive, approximately 100 feet east of I-75 right-of-way. The Hillsborough County Property Assessor website shows the first property is pasture located at 10404 Tanner Road owned by Frederick L. and Barbara Patrick. The second parcel is

Figure 34. Proposed SMF 17A



classified as utility located at 10650 Tanner Road. The site contains a cell tower owned by Pinnacle Towers 4017 Washington Road, Canonsburg, Pennsylvania. The site was not identified in the 2010 CSER. Review of current FDEP and EPA databases did not reveal any issues. SMF 17B received a risk rating of NO. The location of SMF 17B is depicted in Figure 35.

Proposed FPC 17/18 is a 2.44-acre site and 0.52-acre easement located approximately 100 feet east of I-75 and 200 feet south of Hillsborough Avenue. The Hillsborough County Property Assessor website states the site is pasture located on E. Old Hillsborough Avenue. No physical address was provided. The property is owned by Frederick LaVerne Patrick, Tampa, FL. The site was not identified in the 2010 CSER. The field review of the property found no signs of contamination. The property is agricultural with livestock. The current FDEP database shows the property as a Managed Entity. The EPA database shows a Compliance and Enforcement Tracking for HAZardous Facilities property located adjacent and west of the site, associated with Gulf Coast Signs. The business has closed. The building is now Classic Soft Trim an auto restyling center. After a review of best available information, FPC 17/18 received a risk rating of LOW. Proposed site FPC 17/18 is a preferred FPC site. The location of FPC 17/18 is depicted in Figure 36.

Figure 36. Proposed SMF 17B



Figure 35. Proposed FPC 17/18



Proposed SMF 18A is a 2.19-acre site located adjacent and west of site FPC 17/18, approximately 550 feet west of I-75 right-of-way and approximately 200 feet south of Hillsborough Avenue. The property is the same parcel identified in FPC 17/18 located at 10404 Tanner Road. The property is classified as pasture and owned by Frederick Laverne Patrick. The 2010 CSER does not identify this site. The site was field reviewed. No signs of contamination were observed. The property is agricultural with livestock present. The FDEP database and EPA ECHO show the property as a Managed Entity. A Compliance and Enforcement Tracking for HAZardous Facilities permit is located on the property adjacent and west of the site, associated with Gulf Coast Signs. The business has since closed. The building is now Classic Soft Trim an auto restyling center. After a current FDEP and EPA databases there do not appear to be contamination issues associated with this site. SMF 18A received a risk rating of NO. Proposed site SMF 18A is a preferred pond site. The location of SMF 18A is depicted in Figure 37.

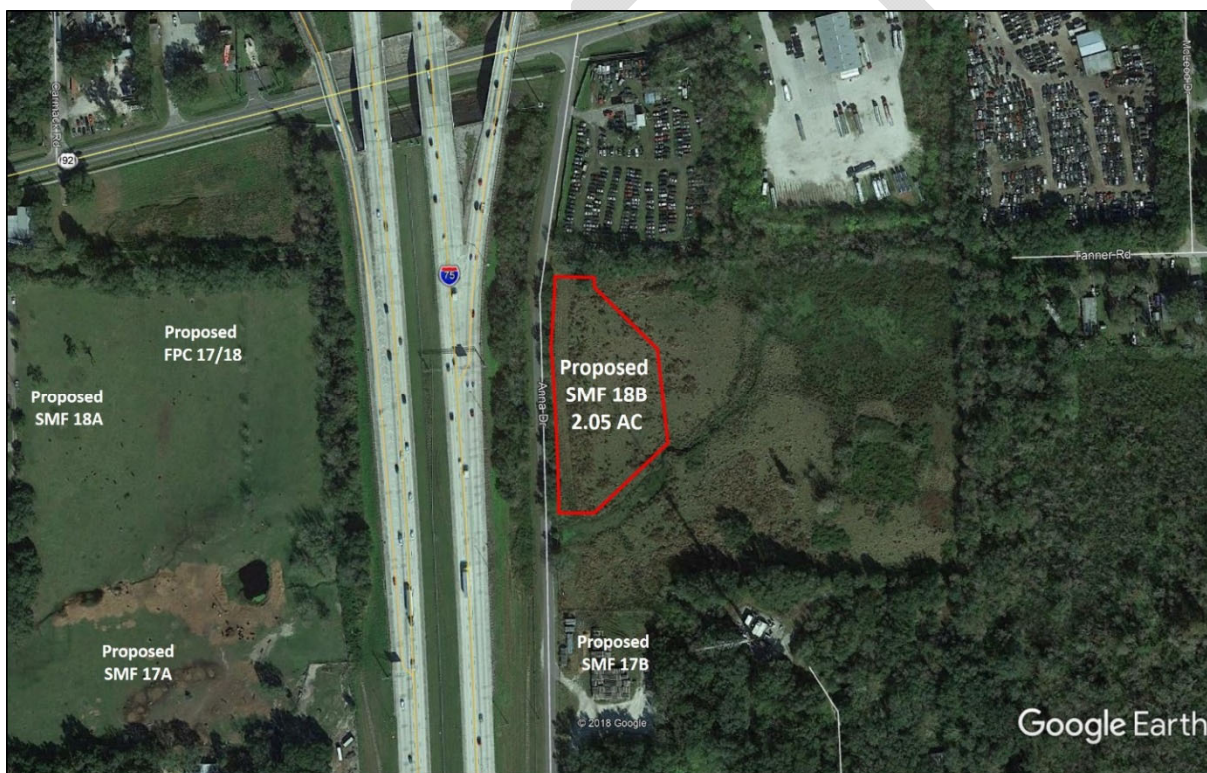
Figure 37. Proposed SMF 18A



Proposed SMF 18B is a 2.05-acre site located immediately adjacent, east of Anna Drive approximately 100 feet east of I-75 right-of-way. The Hillsborough County Property Assessor website states the property is pasture owned by Frederick L. and Barbara J. Patrick 10404 Tanner Road, Tampa. The 2010 CSER does not identify this site; however, it should be noted that Steins Auto Graveyard is located adjacent north to SMF 18B is found in the 2010 CSER as site 54. The 2010 CSER states, the facility is a junkyard/automobile salvage storage area located in the southeast quadrant of I-75 and US 92 East. The Hillsborough County Property Appraiser records show that James Goldstein owns the property. A site visit found the property fenced and locked, restricting access. The property was observed from the roadway. A one-story prefabricated building was being used as an office. Approximately 500 cars in various stages of repair were situated on gravel and grass ground. A garage with a carport and a car lift appeared to service the automobiles; it

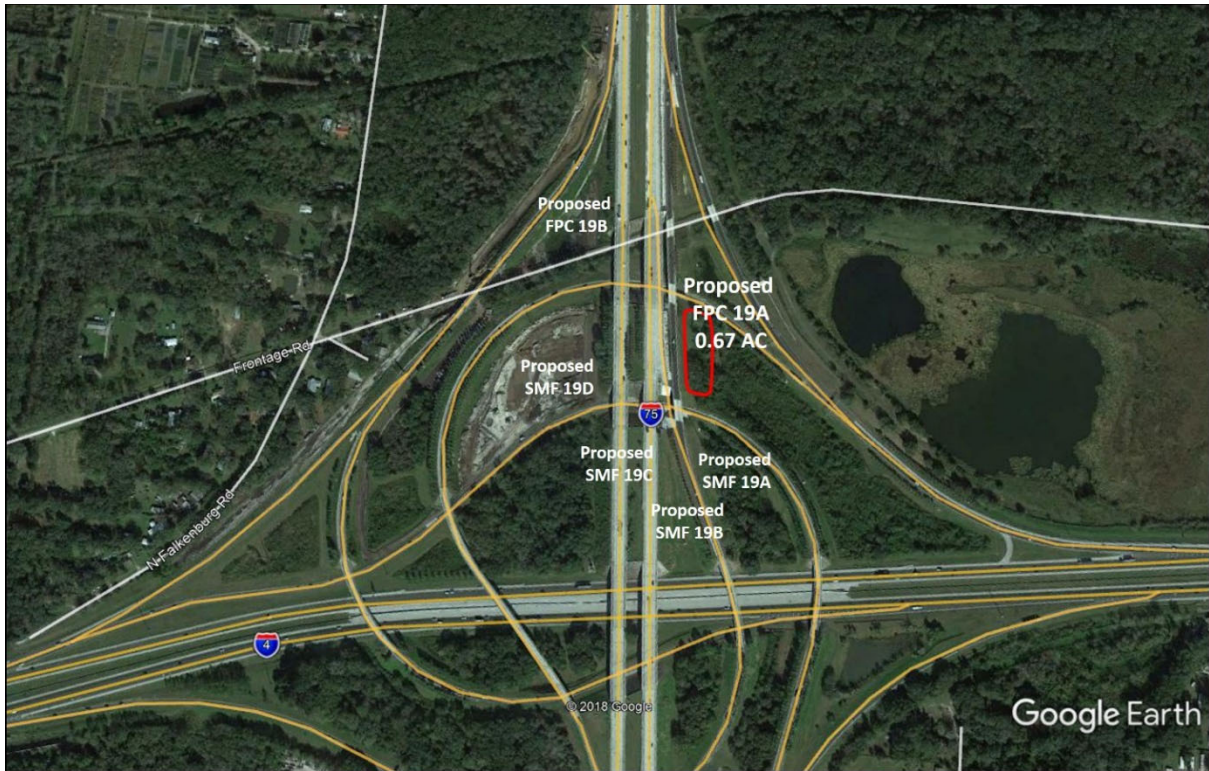
appeared that automobile fluids were being removed. Steel catch pans and southeast quadrant of I-75 and US 92 East. The Hillsborough County Property Appraiser records show that James Goldstein owns the property. A site visit found the property fenced and locked, restricting access. The property was observed from the roadway. A one-story prefabricated building was being used as an office. Approximately 500 cars in various stages of repair were situated on gravel and grass ground. A garage with a carport and a car lift appeared to service steel drums (contents unknown) were observed. The pavement in front of the garage was lightly stained; however, staining was not visible on the gravel area. There was not a strong petroleum odor. Two tow-trucks, one flatbed truck, forklift, back-hoes, and bulldozers were parked on-site. There was no visual evidence of soil or groundwater assessment or remediation. It is anticipated that right-of-way would not be required from this property for the proposed improvements. The 2010 CSER gave the site a risk rating of LOW. Current FDEP and EPA data do not show contamination issues associated with SMF 18B even with its proximity to Steins Auto Graveyard. For this reason, after a review of best available information, SMF 18B was given a risk rating of LOW. Proposed SMF 18B is a preferred pond site. The location of SMF 18B is depicted in Figure 38.

Figure 38. Proposed SMF 18B



Proposed FPC 19A is a 0.67-acre site located within FDOT right-of-way in the northeast quadrant of the I-75 and I-4 interchange adjacent east of the I-75 northbound mainline. The site was not identified in the 2010 CSER. The FDEP database shows the property adjacent east as a Managed Entity associated with the FDOT Landscaping Project SR 93A (I-75) – I-4 Pond. After a review of the current FDEP and EPA databases, there do not appear to be contamination issues associated with this site. FPC 19A received a risk rating of NO. Proposed FPC 19A is a preferred FPC site. The location of FPC 19A is depicted in Figure 39.

Figure 39. Proposed FPC 19A



Proposed FPC 19B is a 0.90-acre site located within FDOT right-of-way. The site is in the northwest quadrant of the I-75 and I-4 interchange immediately adjacent to the I-75 southbound to I-4 westbound ramp. The site was not identified in the 2010 CSER. The current FDEP database does not identify contamination issues with the site specifically; however, three FDEP Managed Entity properties and three County Small Quantity Generators are located west of the property (Facility ID Nos.: 2922943- Diamond Cut by Orville Ray Moyer Jr. (out of business); 2901698 – Centerline Service Company (active service repair shop); and 2906532 – Jimmy R. Wilson (unknown business with potential generator). One NPDES permit was also identified (FLR 20CG44 – I-75/SR93A southbound off ramp from south of Bypass Canal to eastbound/westbound I-75 and I-4), issued August 23, 2018, expiring August 2, 2023. Per a letter dated July 29, 2019 the permit is in compliance. Based on current FDEP and EPA databases, there do not appear to be contamination issues associated with this site; however, due to the Managed Entity and County Small Quantity Generators properties adjacent to the site and the NPDES permit located near the site, FPC 19B received a risk rating of LOW. Proposed site FPC 19B is a preferred FPC site. The location of FPC 19B is depicted in Figure 40.

Proposed SMF 19A is a 1.57-acre site located within FDOT right-of-way in the northeast quadrant of the I-75 and I-4 interchange, west and adjacent to the I-75 northbound to I-4 westbound ramp. The site was not identified in the 2010 CSER. The FDEP database shows a Managed Entity property just east of the site associated with an FDOT landscape project SR 93A (I-75)/I-4 Pond. There do not appear to be contamination issues associated with this site. SMF 19A received a risk rating of NO. Proposed site SMF 19A is a preferred pond site. The location of SMF 19A is depicted in Figure 41.

Figure 40. Proposed FPC 19B

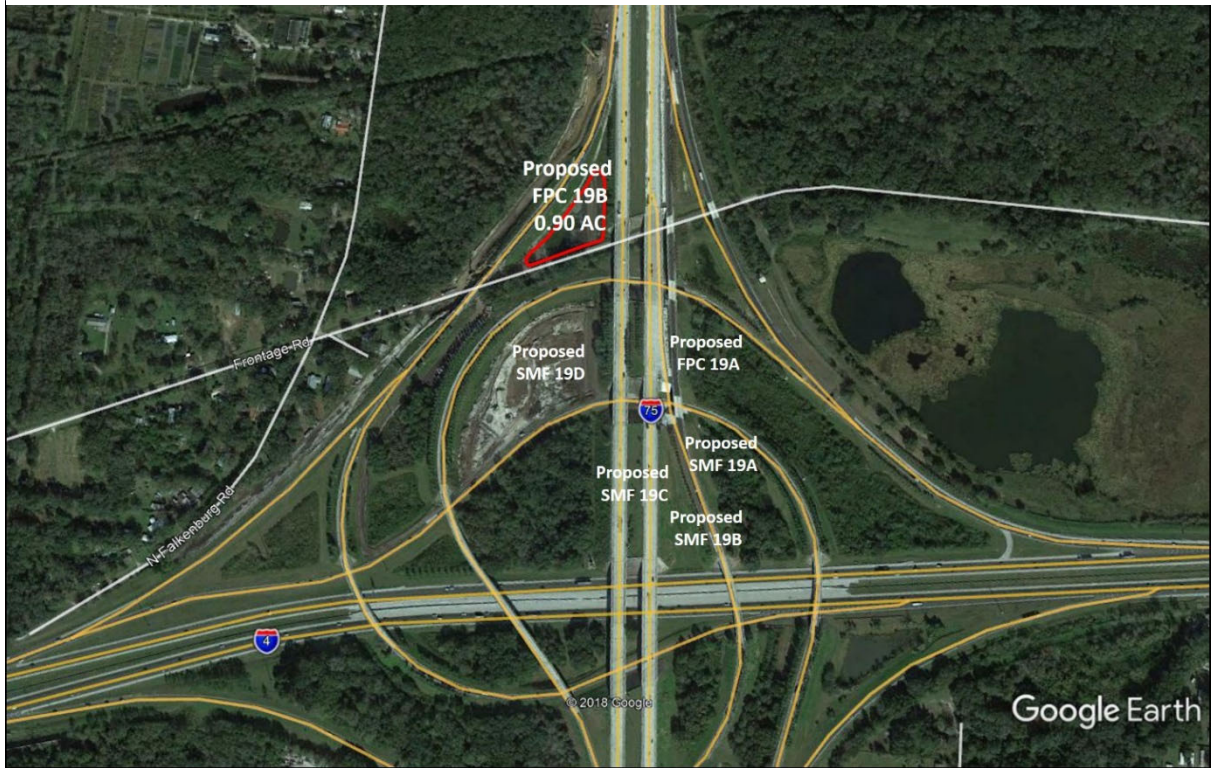
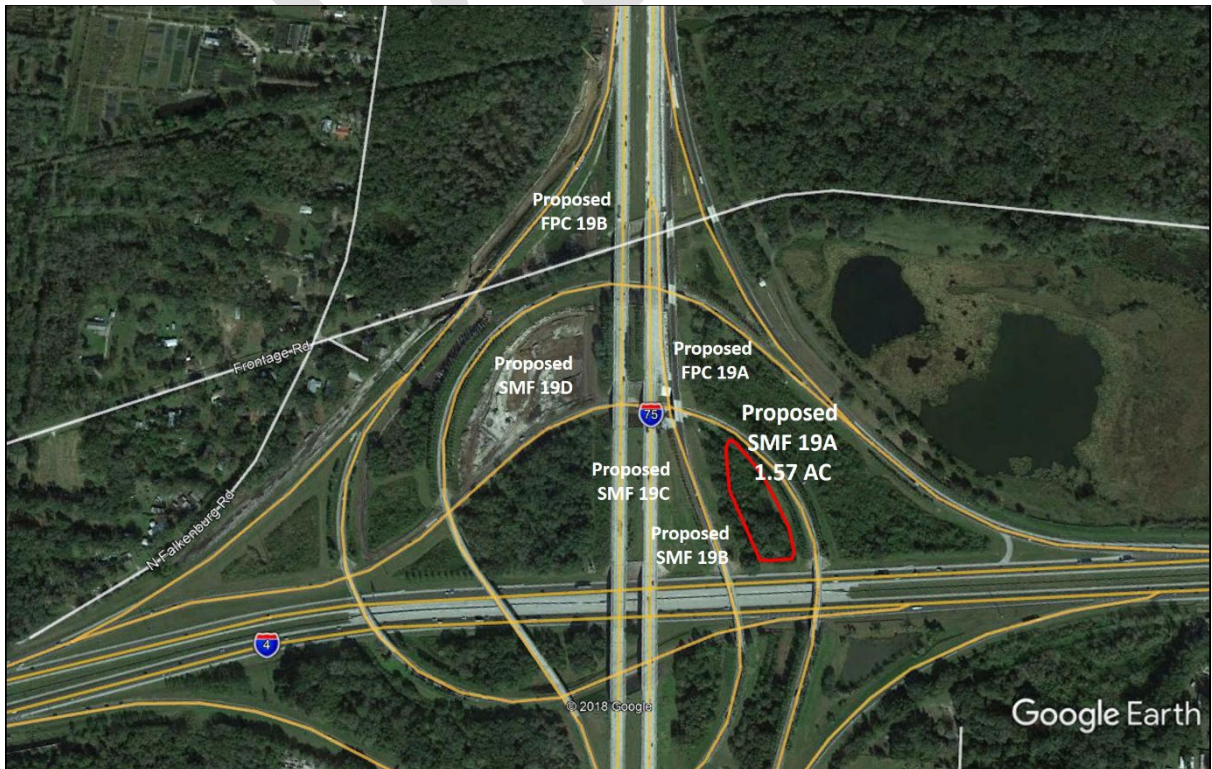
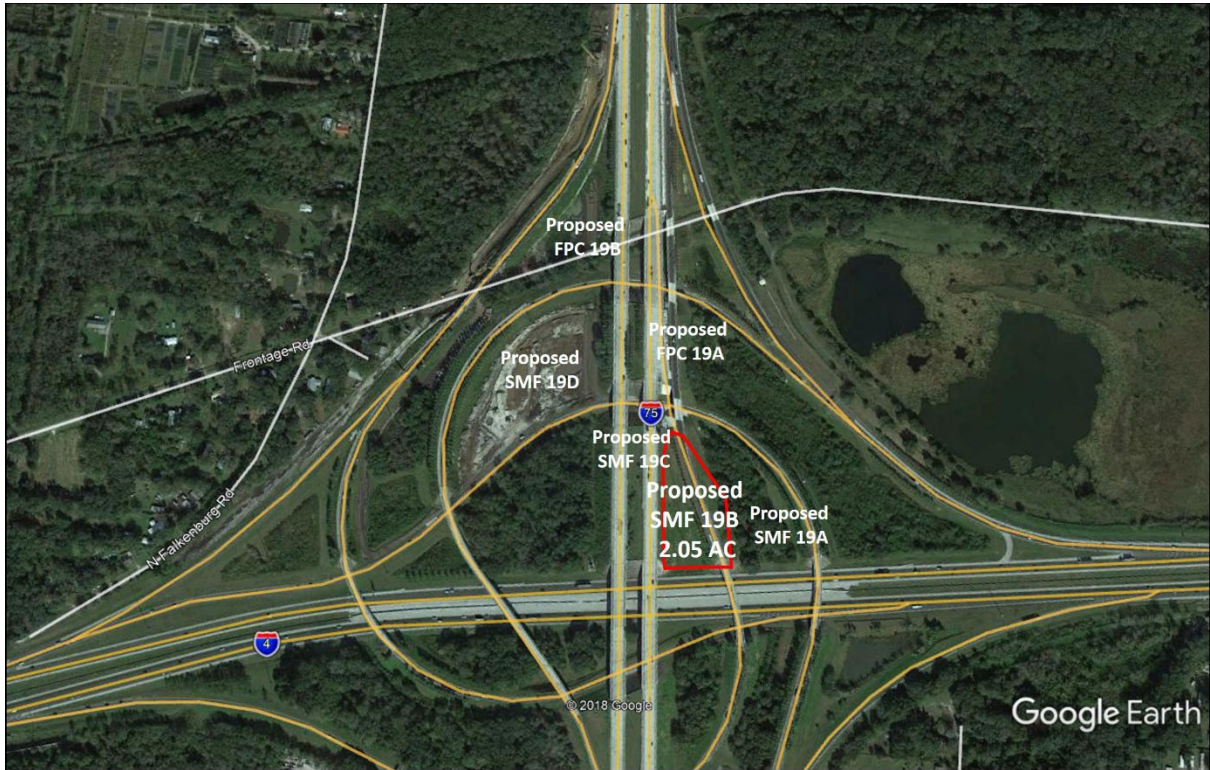


Figure 41. Proposed SMF 19A



Proposed SMF 19B is a 2.05-acre site located within FDOT right-of-way in the northeast quadrant of the I-75 and I-4 interchange west of proposed SMF 19A immediately east and adjacent to the I-75 northbound mainline and south of the I-4 westbound mainline. The site was not identified in the 2010 CSER. The current FDEP and EPA databases do not show contamination concerns with the property. SMF 19B received a risk rating of NO. Proposed site SMF 19B is a preferred pond site. The location of SMF 19B is depicted in Figure 42.

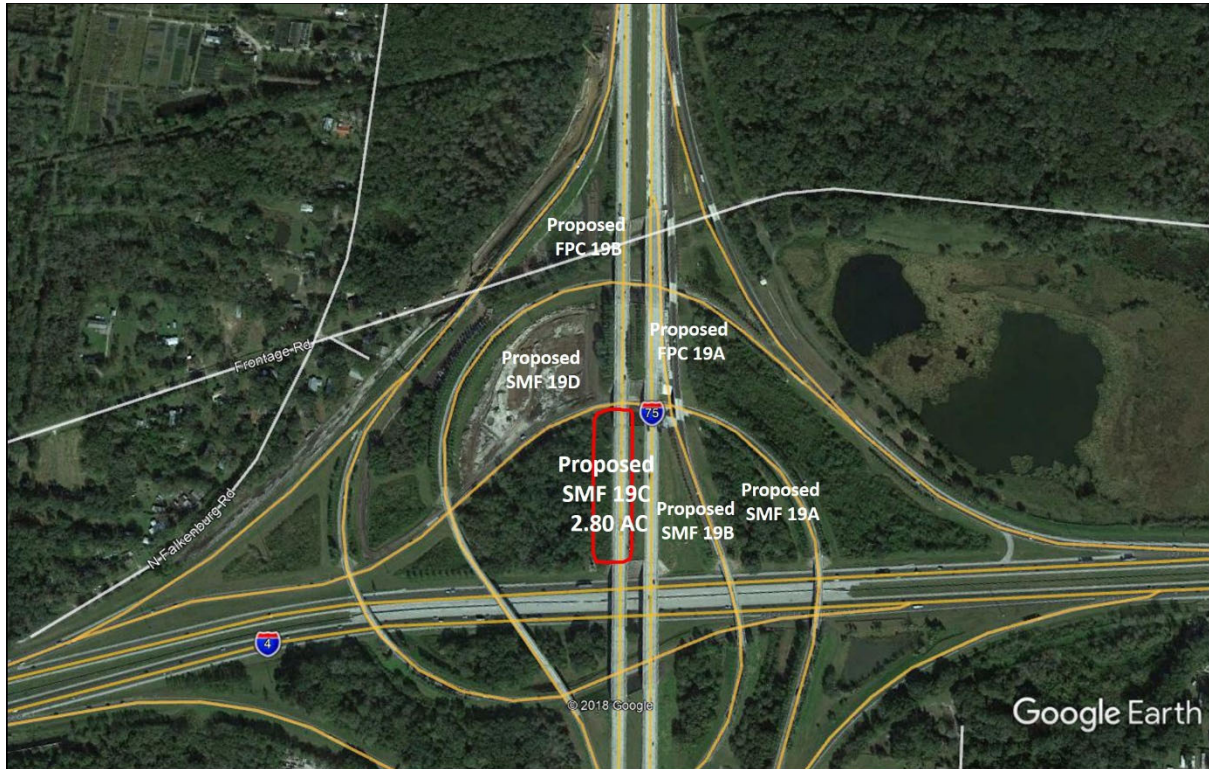
Figure 42. Proposed SMF 19B



Proposed SMF 19C is a 2.80-acre site located in FDOT right-of-way in the northwest quadrant of the I-75 and I-4 interchange east and under the I-75 southbound mainline. The 2010 CSER did not identify this site and no contamination issues associated with the FDEP or EPA databases were found. SMF 19C received a risk rating of NO. Proposed site SMF 19C is a preferred pond site. The location of SMF 19C is depicted in Figure 43.

Proposed SMF 19D is a 4.19-acre site located in FDOT right-of-way in the northwest quadrant of the I-75 and I-4 interchange, north of the I-75 northbound to I-4 west ramp, east of the I-75 southbound mainline. The site was not identified in the 2010 CSER. The current FDEP database does not show contamination issues with the site; however, three County Small Quantity Generators are located west of the property (Facility ID Nos.: 2922943- Diamond Cut by Orville Ray Moyer Jr. (out of business); 2901698 – Centerline Service Company (active service repair shop); and 2906532 – Jimmy R. Wilson (unknown business with potential generator). One NPDES permit was also identified (FLR 20CG44 – I-75/SR93A southbound off ramp from south of Bypass Canal to eastbound/westbound I-75 and I-4), issued 08/23/2018, expiring 08/02/2023. Per a letter dated 07/29/2019, the permit is in compliance.

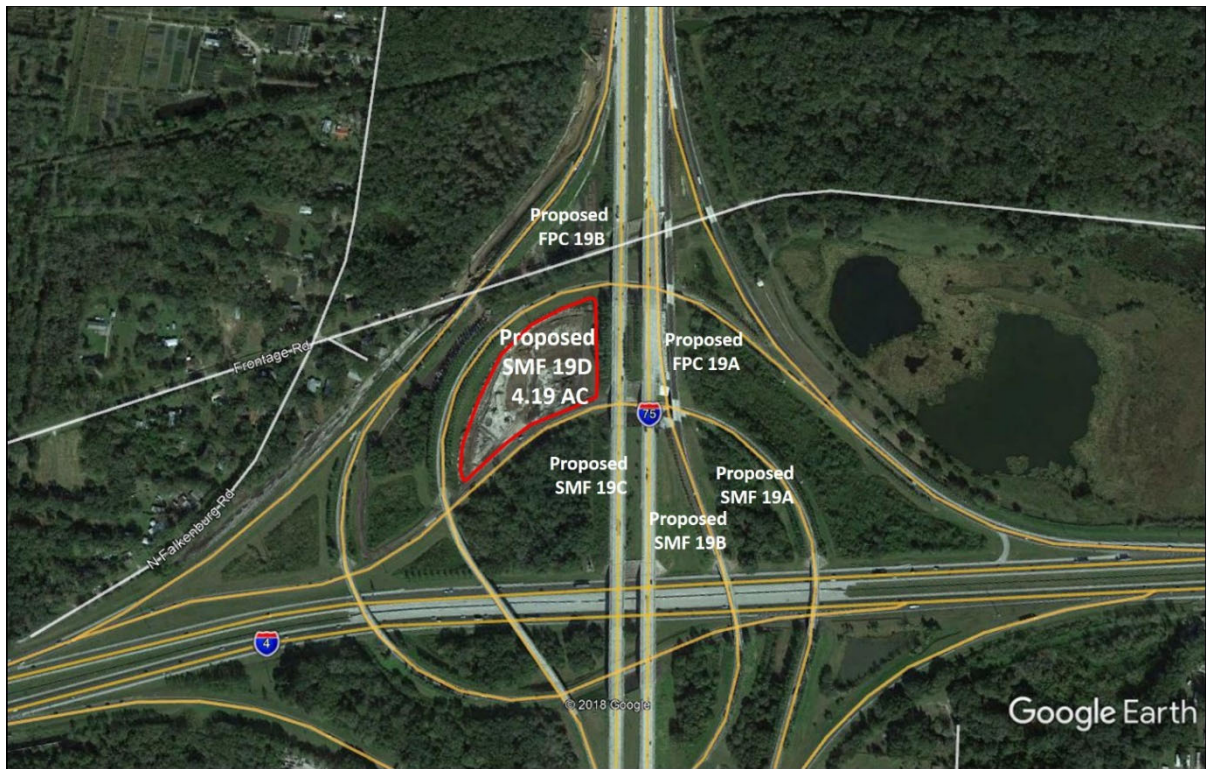
Figure 43. Proposed SMF 19C



Based current information, there do not appear to be contamination issues associated with this site; however, due to the County Small Quantity Generators markers and NPDES permit located near the site, SMF 19D received a risk rating of LOW. Proposed site SMF 19D is a preferred pond site. The location of SMF 19D is depicted in Figure 44.

Proposed FPC 20 is a 1.57-acre parcel located west of I-75 adjacent to the I-75 southbound to I-4 westbound ramp approximately 0.60 mile from the I-4 mainline right-of-way. The Hillsborough County Property Assessor website states the property is part of a larger 286-acre parcel located east and west of I-75 right-of-way classified as pasture. The properties physical address is 7014 Williams Road, Seffner. The property is owned by East Side Dairy, Inc. located at 10833 Bartolotti Loop, Seffner. The site is identified in the 2010 CSER as Site No. 58, (EDR Site Nos. 103 and 105) – Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill), Eureka Springs East Pasture (EDR Site No. 103) and Eureka Springs West Pasture (EDR Site No. 105). The 2010 CSER states, the property is a landfill and pasture/field. It is located east and west of the I-75 right-of-way, approximately one mile north of I-4. Prior to the construction of I-75, the landfill was a contiguous parcel, approximately 128 acres in size. The site has historically been utilized for cattle grazing and a dairy operation, formerly known as the East Side Dairy. The landfill was in operation from October 1969 to November 1973; with the trench and fill method of landfill operation utilized. Residential, commercial, and industrial solid wastes were reportedly disposed of at the site. Groundwater samples were collected from monitoring wells that were installed between 1969 and 1974. Concentrations of lead, iron, manganese, arsenic, and chloride were found. A preliminary assessment of

Figure 44. Proposed SMF 19D



the Eureka Springs Landfill East and West portions found no exposed waste or other areas of immediate concern identified on the east portion of the site. The landfill was projected for the initiation of preliminary contamination assessment activities beginning in 2007. Today the landfill property continues to be utilized for cattle grazing.

Hillsborough County Solid Waste Management Department's Closed Landfill Investigation Program addresses closed landfills that were identified as being owned and/or operated by Hillsborough County. The Closed Landfill Investigation Program does not include the Eureka Springs Landfill; either the landfill had known contamination or was actively being investigated and regulated through an FDEP issued Consent Order and a US EPA issued Consent Decree at the time the Closed Landfill Investigation program was initiated.

The Eureka Springs Landfill (Northeast Hillsborough Landfill) was included in the US EPA Comprehensive Environmental Response, Compensation, and Liability Information System (CERCLIS) database. Discovery of a potentially hazardous waste was made in February 1986. Preliminary assessment and site inspections were conducted in October 1987 and October 1989. This site was archived in September 1993. According to the FDEP Solid Waste Facilities List, this site is a Class I landfill that accepted non-hazardous waste from domestic, municipal, commercial, and industrial sources. The facility status is shown as inactive. During a site visit in September 2008, project team members viewed the property from the roadway to identify potential contamination involvement. The property was adjacent to residential properties and was surrounded by barbed wire fence, preventing access. Groundwater monitoring wells appeared to be in the

field; however, this could not be verified. A mound, approximately 100 feet by 100 feet was observed in the east pasture. No structures were seen and there was no evidence of landfill activities. The 2010 CSER ranked the site as LOW.

The current FDEP database shows the property is a closed solid waste landfill with groundwater monitoring. The EPA database does not show contamination information associated with the property. The FDEP information shows the property is a Waste Clean-up OPEN Responsible Party Site. In a letter dated July 27, 2015 it states, overall, the water quality at the Eureka Springs Landfill remains consistent with the historical data set for this closed landfill site. The groundwater within the surficial aquifer exhibits concentrations of pH, chloride, total dissolved solids, iron, aluminum, arsenic, manganese, and isopropyl benzene that are not within their applicable water quality standards. However, these water quality impacts appear to be limited in horizontal extent, and no immediate threats to any potential down gradient receptors have been identified to date.

The water quality impacts attributable to the buried wastes on the west landfill are minimal and contained well within the property boundaries. The County has conducted supplemental assessment activities to specifically address the direction of groundwater flow within the surficial aquifer on the west and north sides of the west landfill and concluded that the radial pattern away from the landfill is present.

The water quality impacts within the surficial aquifer on the east landfill are also minimal and are limited to low concentrations of benzene at water sampling station ES-5S and isopropyl benzene at ES-6S. These impacts, although above their respective standards, likely only extend a short distance beyond the property boundaries. Based on the direction of flow within the surficial aquifer in these areas and the current use of the properties in the down gradient directions, no receptors have been identified.

A review of *Aptim's Level III Construction Support Services for Flood Plain Compensation 21BD and Flood Plain Compensation 22* (October 2018) indicated the potential to encounter arsenic impacted soils, especially in muck areas, associated with the Eureka Springs Landfill.

There is no additional information in the FDEP database. Based on the information found in the 2010 CSER and the current database reviews with FDEP and EPA this site received a risk rating of MEDIUM. The site is identified as a preferred pond site. The location of FPC 20 is depicted in Figure 45.

Proposed SMF 20A is a 7.56-acre site located adjacent and west of I-75 right-of-way adjacent and south of site FPC 20. This site is also located on a portion of the larger 286-acre parcel located east and west of I-75 right-of-way discussed in FPC 20. This property is classified as pasture with a physical address of 7014 Williams Road, Seffner. The property is owned by East Side Dairy, Inc located at 10833 Bartolotti Loop, Seffner. As stated in 2010 CSER and in FPC 20 above, the property is identified as Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill), Eureka Springs East and Eureka Springs West Pasture. For additional information, refer to FPC 20. The 2010 CSER gave the site a rating of LOW. A review of *Aptim's Level III Construction Support Services for Flood Plain Compensation 21BD and Flood Plain Compensation 22* (October 2018) indicated the potential to encounter arsenic impacted soils, especially in muck areas, associated with the Eureka Springs Landfill. Based on the information found in the 2010 CSER and the current FDEP and EPA databases the site was given a risk rating of MEDIUM. The site is identified as a preferred pond site. The location of SMF 20A is depicted in Figure 46.

Figure 45. Proposed FPC 20



Figure 46. Proposed SMF 20A



Proposed SMF 20B is a 9.63-acre site located approximately 530 feet east of I-75 right-of-way and a 1.01-acre easement adjacent and north of SMF 20B. The Hillsborough County Property Assessor website states this property is part of the 286-acre parcel located east and west of I-75 right-of-way discussed in FPC 20 owned by East Side Dairy, Inc. located at 10833 Bartolotti Loop Seffner. The property is classified as pasture with a physical address of 7014 Williams Road, Seffner. As stated in the 2010 CSER and in FPC 20 above, the property is identified as Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill), Eureka Springs East Pasture and Eureka Springs West Pasture. For additional information, refer to FPC 20. An NPDES permit was issued on February 23, 2018 that expires February 22, 2023 for construction of the New Life Tabernacle located adjacent to the site. A review of *Aptim's Level III Construction Support Services for Flood Plain Compensation 21BD and Flood Plain Compensation 22* (October 2018) indicated the potential to encounter arsenic impacted soils, especially in muck areas, associated with the Eureka Springs Landfill. After a review of current FDEP and US EPA information, the site received a risk rating of MEDIUM. The location of SMF 20B is depicted in Figure 47.

Figure 47. Proposed SMF 20B



Proposed SMF 21A is a 7.77-acre site located adjacent and east of I-75 right-of-way. The Hillsborough County Property Assessor website states the site is also part of the 286-acre parcel located east and west of I-75 right-of-way discussed in FPC 20. This property is classified as pasture with a physical address of 7014 Williams Road, Seffner. The property is owned by East Side Dairy, Inc located at 10833 Bartolotti Loop, Seffner. As stated in 2010 CSER and in FPC 20 above, the property is identified Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill), Eureka Springs East Pasture and Eureka Springs West Pasture. For additional information, refer to FPC 20. The current FDEP database shows the property associated with Storage Tank Contamination Monitoring from two 100-gallon ASTs no longer in use. The

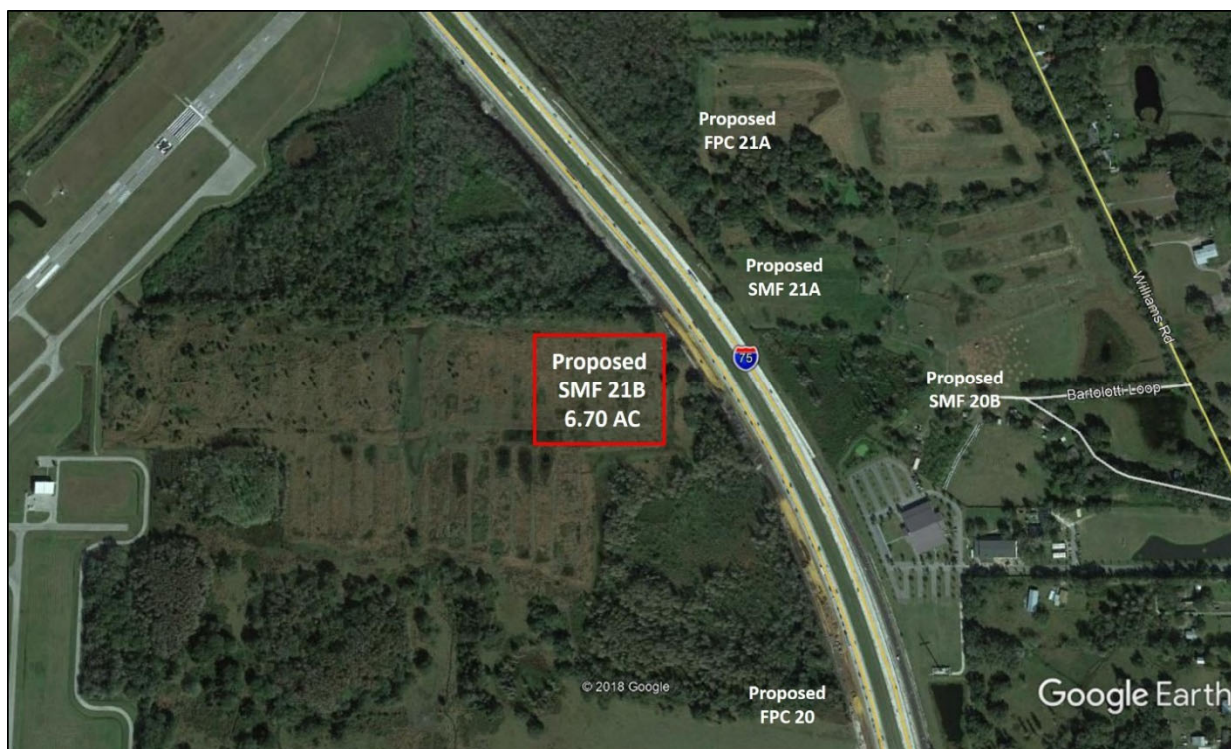
ASTs were associated with McAteer Groves, Inc. located on Williams Road. A review of *Aptim's Level III Construction Support Services for Flood Plain Compensation 21BD and Flood Plain Compensation 22* (October 2018) indicated the potential to encounter arsenic impacted soils, especially in muck areas, associated with the Eureka Springs Landfill. After a review of current FDEP and EPA databases SMF 21A received a risk rating of MEDIUM. The location of SMF 21A is depicted in Figure 48.

Proposed SMF 21B is a 6.70-acre site located south of FPC 21B. The Hillsborough County Property Assessor website states the site is also located on a portion of the larger 286-acre parcel located east and west of I-75 right-of-way discussed in FPC 20. This property is classified as pasture with a physical address of 7014 Williams Road, Seffner. The property is owned by East Side Dairy, Inc located at 10833 Bartolotti Loop, Seffner. As stated in 2010 CSER and in FPC 20 above the property is identified as Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill), Eureka Springs East Pasture and Eureka Springs West Pasture. For additional information, refer to FPC 20. The 2010 CSER gave the site a risk rating of LOW; however, SMF 21B is a preferred pond site that is associated with the west side Eureka Springs Landfill as outlined above. A review of *Aptim's Level III Construction Support Services for Flood Plain Compensation 21BD and Flood Plain Compensation 22* (October 2018) indicated the potential to encounter arsenic impacted soils, especially in muck areas, associated with the Eureka Springs Landfill. Based on current information, SMF 21B has been given a risk rating of MEDIUM. The location of SMF 21B is depicted in Figure 49.

Figure 48. Proposed SMF 21A



Figure 49. Proposed SMF 21B



Proposed FPC 21A is a 2.02-acre site and 0.75-acre easement located approximately 450 feet east of I-75 right-of-way. The Hillsborough County Property Assessor website states the site is also located on a portion of the larger 286-acre parcel located east and west of I-75 right-of-way discussed in FPC 20. This property is classified as pasture with a physical address of 7014 Williams Road, Seffner. The property is owned by East Side Dairy, Inc located at 10833 Bartolotti Loop, Seffner. As stated in the 2010 CSER and in FPC 20 above, the property is identified as – Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill), Eureka Springs East Pasture and Eureka Springs West Pasture. For additional information, refer to FPC 20. The current FDEP database and the EPA ECHO website show no contamination issues associated with the site. A review of *Aptim’s Level III Construction Support Services for Flood Plain Compensation 21BD and Flood Plain Compensation 22* (October 2018) indicated the potential to encounter arsenic impacted soils, especially in muck areas, associated with the Eureka Springs Landfill. There are two properties identified as County Small Quantity Generator located approximately 300 feet northeast and southeast of the site associated with MBF Enterprises and McBride Carpentry, respectively. MBF Enterprises is an active welding repair shop located at 7911 Williams Road, Seffner. McBride Carpentry is located at 7501 Williams Road, Seffner. After a review of current available information, the FPC-21A received a risk rating of MEDIUM. The location of FPC 21A is depicted in Figure 50.

Figure 50. Proposed FPC 21A



Proposed FPC 21B is a 1.66-acre site on the northeast and northwest sides of SMF 21B located adjacent west of I-75 right-of-way. The Hillsborough County Property Assessor website states the site is also located on a portion of the larger 286-acre parcel located east and west of I-75 right-of-way discussed in FPC 20. This property is classified as pasture with a physical address of 7014 Williams Road, Seffner. The property is owned by East Side Dairy, Inc located at 10833 Bartolotti Loop, Seffner. As stated in 2010 CSER and in FPC 20 above, the property is identified as – Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill), Eureka Springs East Pasture and Eureka Springs West Pasture. For additional information, refer to FPC 20. The 2010 CSER gave the site a risk rating of LOW; however, FPC 21B is a preferred FPC site that is associated with the west side Eureka Springs Landfill as outlined above. A review of *Aptim’s Level III Construction Support Services for Flood Plain Compensation 21BD and Flood Plain Compensation 22* (October 2018) indicated the potential to encounter arsenic impacted soils, especially in muck areas, associated with the Eureka Springs Landfill. For this reason, based on current FDEP information, FPC 21B has been given a risk rating of MEDIUM. The location of FPC 21B is depicted in Figure 51.

Proposed SMF 22A is a 3.94-acre site located partially adjacent west of I-75 right-of-way. The Hillsborough County Property Assessor website shows the site is located on two adjoining properties, both owned by the Southwest Florida Water Management District (SWFWMD), 2379 Broad Street, Brooksville, FL. The property is classified as State and located approximately 200 feet east of the Tampa Bypass Canal. The site was not identified in the 2010 CSER; however, the 2010 CSER does address a lime spill on I-75 over the Tampa Bypass Canal approximately 1000 feet northwest of the site. The 2010 CSER identifies the spill as Site No. 60 – Lime Spill (BER Incident #22864) I-75 over the Tampa Bypass Canal and gave the site a risk rating of LOW. Neither the current FDEP database, nor the EPA database show information on the site.

Figure 51. Proposed FPC 21B



For this reason, SMF 22A has been given a risk rating of NO. The location of SMF 22A is depicted in Figure 52.

Proposed SMF 22/23 is a 4.36-acre site located approximately 375 feet west of I-75 right-of-way and adjacent north of the residences along Wood Terrace Drive. The Hillsborough County Property Assessor website shows the site is comprised of portions of three adjoining parcels. From south to north these parcels include the properties located at 8911, 8913, and 8933 Bowles Road. The properties are 1.52 acres, 3.63 acres, and 3.18 acres in size respectively. Classifications include Dairies/Feed Lots and Poultry/Bees/Fish. All three properties are owned by Travis M. and Jaime F. Malloy, Lockmoor Avenue, Tampa, FL. The site was not identified in the 2010 CSER. The current FDEP database shows the site associated with a County Small Quantity Generator associated with Slates Nursery (Facility ID 123687). FDEP documentation shows the nursery is not a hazardous waste generator and is out of business. SMF 22/23 has been given a risk rating of LOW. The location of SMF 22/23 is depicted in Figure 53.

Proposed SMF 23A is a 3.15-acre site located adjacent west of I-75 right-of-way and adjacent north of the residences along Wood Terrace Drive. The Hillsborough County Property Assessor website shows the site is comprised of portions of three adjoining parcels. From south to north, these parcels include the properties located at 8911, 8913, and 8933 Bowles Road. The properties are 1.52 acres, 3.63 acres, and 3.18 acres in size, respectively. Classifications include Dairies/Feed Lots and Poultry/Bees/Fish.

Figure 53. Proposed SMF 22A

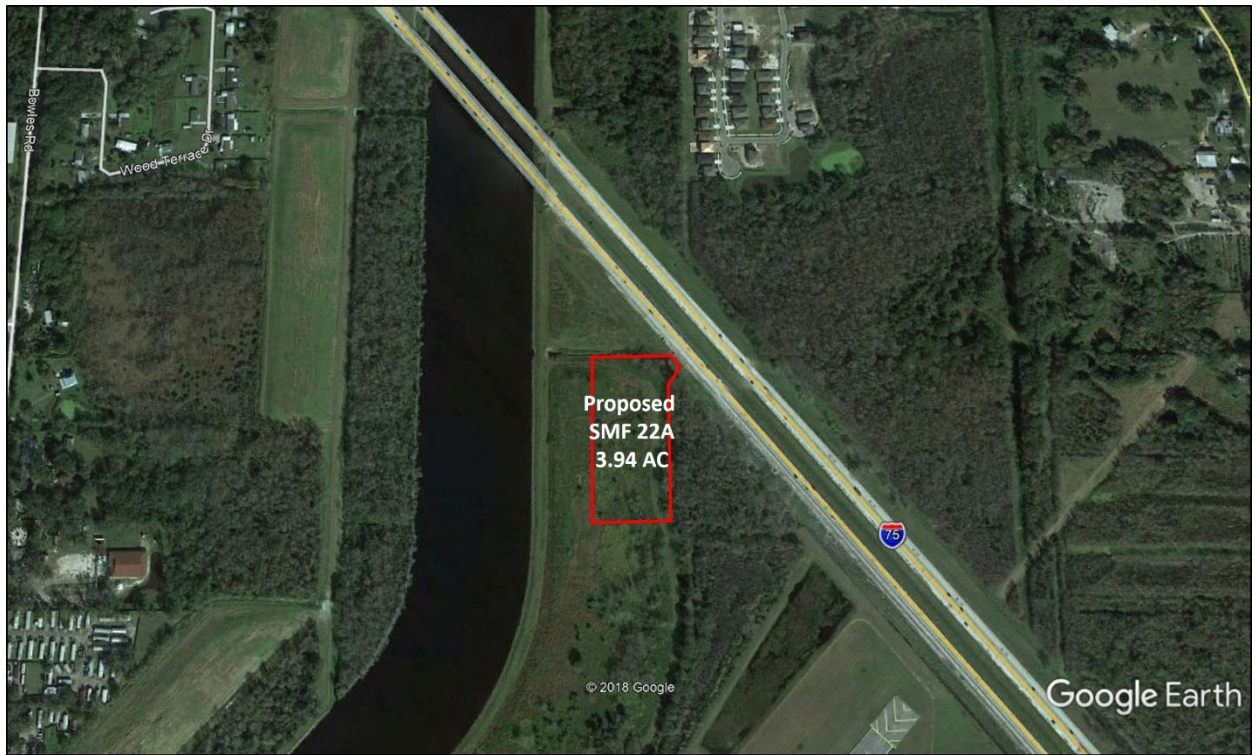


Figure 52. Proposed SMF 22/23



All three properties are owned by Travis M. and Jaime F. Malloy, Lockmoor Avenue, Tampa, FL. The properties were not identified in the 2010 CSER. The current FDEP database shows the site with a County Small Quantity Generator associated with Slates Nursery (Facility ID 123687) located at 8913 Bowles Road. Current FDEP documentation shows the nursery is not a hazardous waste generator and is out of business. There is no information for the properties on the EPA database. For this reason, SMF 23A has been given a risk rating of LOW. The location of SMF 23A is depicted in Figure 54.

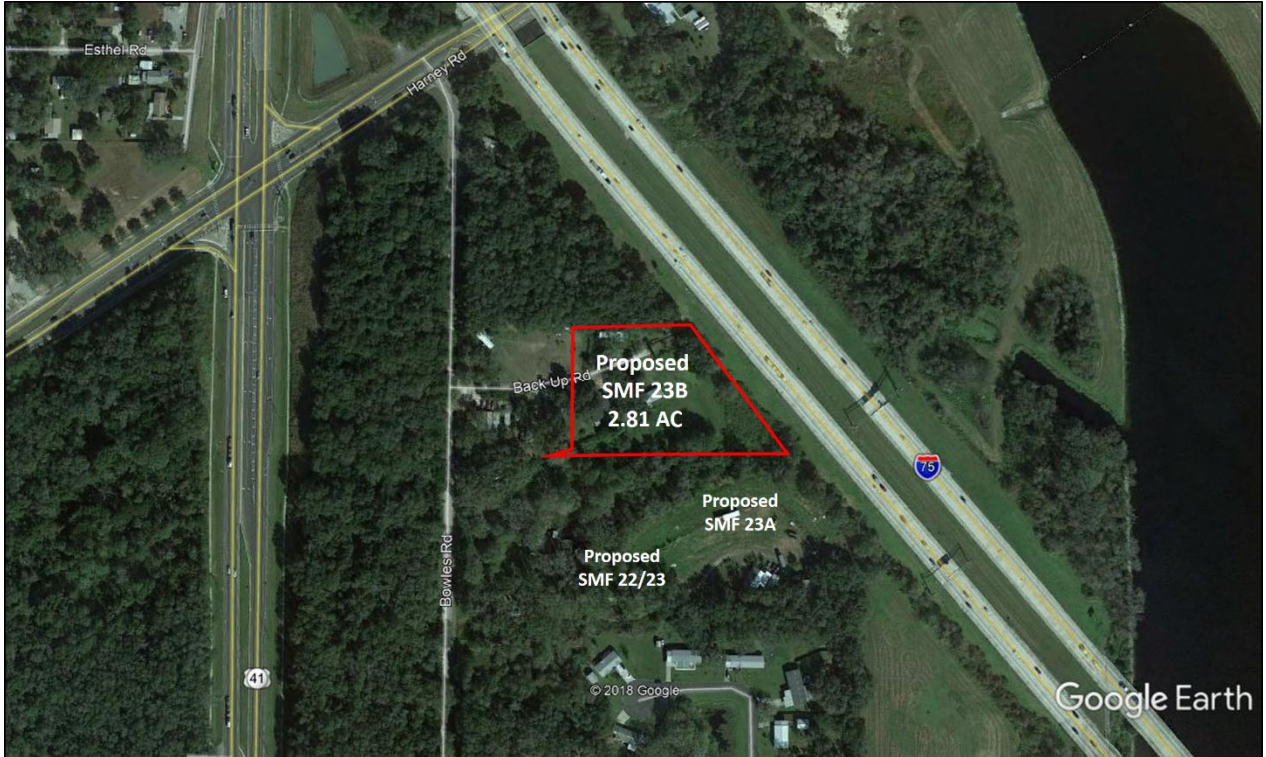
Figure 54. Proposed SMF 23A



Proposed SMF 23B is a 2.81-acre site located adjacent west of I-75 right-of-way, approximately 300-feet north of the residences along Wood Terrace Drive, and approximately 200-feet from Bowles Road. The Hillsborough County Property Assessor website shows the site is comprised three total parcels and a portion of one. Of the three total parcels, the largest, located at 9115 Back Up Road, is adjacent west of I-75 right-of-way. This site is 1.7-acres in size, classified as Mobile Home owned by Clela M. Tucker of the same address. The parcel just west of the 1.7-acre parcel, located at 9111 Back Up Road, is 0.37-acre parcel, classified as Mobile Home, and owned by Jaco, LLC 1531 Bonita Bluff Court, Ruskin. The second parcel needed is also located adjacent to I-75 right-of-way north of the 1.7-acre site. This site is located at 9112 Back Up Road, is 0.38-acre in size, classified as Mobile Home and owned by George and Susan Huffman of the same address. The final parcel needed is 0.30-acre in size, located at 9110 Back Up Road. Only a portion of this parcel would be utilized. The site is classified as Mobile Home and owned by Christina Warner and Walter Mallard, 1427 NE 43rd Lane, Cape Coral. None of the properties were identified in the 2010 CSER. The current FDEP and EPA databases do not show contamination issues for any of the parcels. A County Small Quantity Generator marker associated with Slates Nursery (Facility ID 123687) located at 8913 Bowles Road is located approximately 200 feet south of the site. Current FDEP

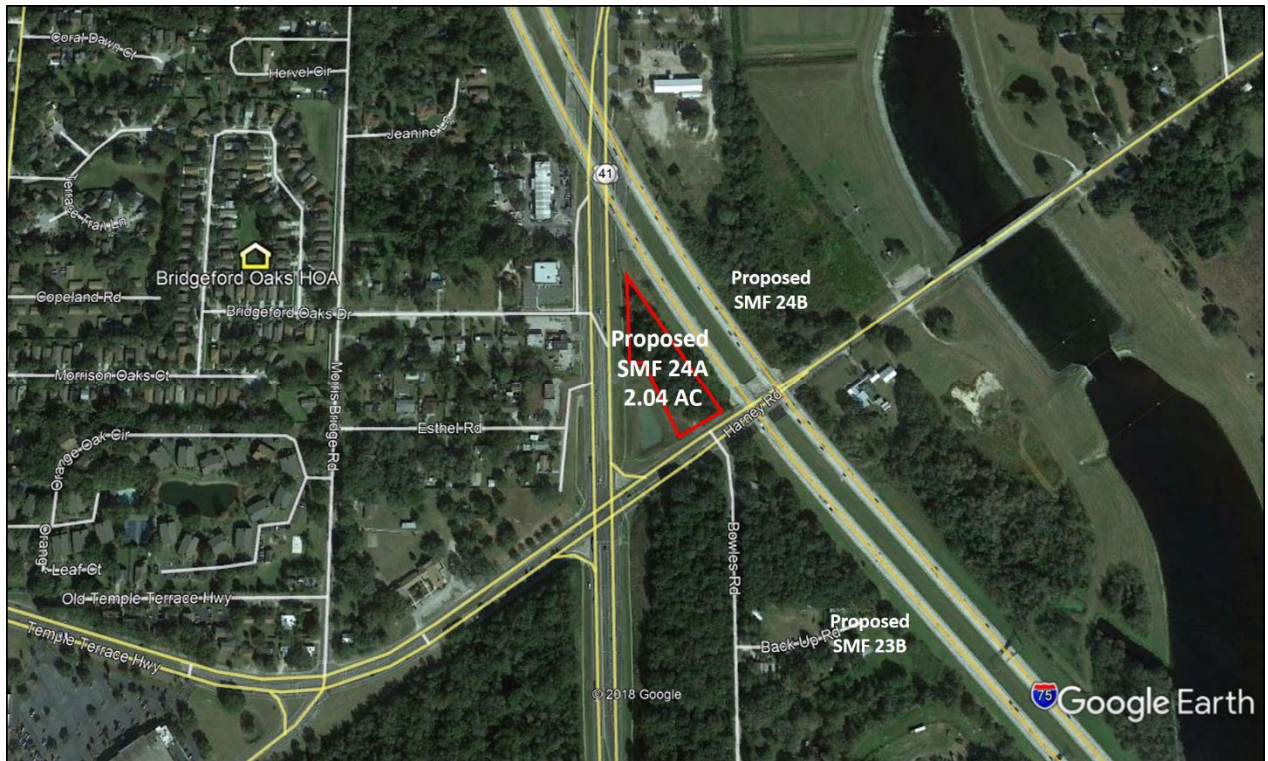
documentation shows the nursery is not a hazardous waste generator and is out of business. Based on this information, SMF 23B has been given a risk rating of LOW. The location of SMF 23B is depicted in Figure 55.

Figure 55. Proposed SMF 23B



Proposed SMF 24A is a 2.04-acre site located adjacent west of I-75 right-of-way and adjacent east of US 301 right-of-way, north of Harney Road. The Hillsborough County Property Assessor website states the site is located at 301 Highway, Tampa. No physical address is provided. The property is classified as Vacant Commercial owned by Frances Salter Trustee, Deborah P. Jones, K. Jones, Michael S. Jones, Kathleen J. Schultz, and Jason W. Widden, 3801 S. West Shore Boulevard, Tampa. The 2010 CSER identifies the property as Site No. 61 – Spada Fruit Sales Agency, US 301 North, Corner of Harney Road. The 2010 CSER identified the property; however, the physical location could not be found during a site visit in October 2008. A listing for this address could not be found in the Hillsborough County Property Appraiser database; therefore, ownership information is not available. According to the FDEP TANKS report, there are no tanks in service. This facility was not included in the FDEP LUST report, and there are no reported incidents of contamination. Additional information for this site was not found in the Oculus database. During a site visit in October 2008, project team members drove the US 301/Harney Road intersection. The southwest and southeast corners are embankments; each approximately 30 feet high. The northeast corner is a pond, and the northwest corner is an established commercial and residential area (situated on a hill). It is anticipated that the site was razed for construction of the US 301/Harney Road intersection and probably was situated where the pond is located. The 2010 CSER gave the site a risk rating of LOW. Based on current information SMF 24A is given a risk rating of NO. The location of SMF 24A is depicted in Figure 56.

Figure 56. Proposed SMF 24A



Proposed SMF 24B is a 1.98-acre site located adjacent east of I-75 right-of-way, adjacent north of Harney Road. The Hillsborough County Property Assessor website shows the site is comprised of two parcels. The first parcel is 0.16-acre in size, adjacent east of I-75 right-of-way, owned by FDOT. The parcel is classified as State. No physical address was provided. All of this parcel would be utilized. The remainder of the site is comprised of a portion of a second 9.83-acre parcel located on Harney Road, Thonotosassa. No physical address was provided. The parcel is classified as vacant commercial owned by CWK Family Partnership, LLC, 9625 Wes Kearney Way, Riverview, FL. The site was not identified in the 2010 CSER. The current FDEP database shows the property is monitored for Compliance and Enforcement Tracking for HAZardous Facilities associated with Carter Century South (FLR 000004952), 9879 US Highway 301N, Tampa, adjacent northwest of the site. The facility was given the status of Exempt Small Quantity Generator in May 2000. No additional information was provided. The FDEP database also shows the property adjacent east of the site as a Solid Waste Facility. The facility is associated with the Temple Terrace Hilltop Dog Park Disaster Debris Staging Site (Facility ID 99893) located at 9420 Harney Road, Thonotosassa. No solid waste authorization related or compliance/enforcement documents for this facility were found in OCULUS. The property was field reviewed and found to be free of waste debris. One mound was identified adjacent to the Hillside Dog Park; however, it appeared to be associated with the Tampa Bypass Canal located east of the site. There do not appear to be contamination issues associated with this site; however, due to the property being adjacent to FDEP identified properties SMF 24B has been given a risk rating of LOW. The location of SMF 24B is depicted in Figure 57.

Figure 57. Proposed SMF 24B



Proposed SMF 25A is a 1.86-acre site located adjacent west of I-75 right-of-way and east of Morris Bridge Road. The Hillsborough County Property Assessor website shows the site is comprised of four total parcels. The first of the four consists of a 0.93-acre property located at 9919 Morris Bridge Road, Tampa, owned by Marjorie S. Kuczvara of the same address. The property is classified as single family residential. The second parcel of the four consists of a 0.93-acre property located at 9921 Morris Bridge Road, Tampa, owned by Grace E. McGraw of the same address. The property is classified as single family residential. The third parcel consists of a 0.32-acre property owned by FDOT, classified as State. No physical address was provided. The fourth property consists of a 0.28-acre parcel also owned by FDOT and classified as State with no physical address provided. All four parcels in their entirety would be needed for SMF 25A. None of the properties were identified in the 2010 CSER. The current FDEP and EPA databases do not show contamination issues associated with this site. A County Small Quantity Generators (Aunt Gracie and Kids – Facility ID No. 50964) permit was located approximately 185-feet northwest of this site; however, documentation states unverified generator status with no corresponding waste information. The status of the facility is out of business. The properties are not found on the EPA database. Based on the current information on the FDEP and EPA databases, there do not appear to be contamination issues associated with this site. SMF 25A has been given a risk rating of NO. The location of SMF 25A is depicted in Figure 58.

Proposed SMF 25B is a 2.81-acre site located adjacent, west of I-75 right-of-way and east of Morris Bridge Road. The Hillsborough County Property Assessor website shows the site is comprised of three total properties. The first of the three properties consist of a 0.91-acre parcel located at 9923 Morris Bridge Road, Tampa, owned by Constance M. Hackworth, 11722 Hoyt Avenue, Tampa. The property is classified

Figure 58. Proposed SMF 25A



as single family residential. The second of the four properties consist of a 0.90-acre property located at 9925 Morris Bridge Road, Tampa, owned by Robert D. Boughner and Robert D. Boughner, Jr. of the same address. The property is classified as single family residential. The third property consists of a 0.58-acre parcel located on both the east and west sides of I-75. The properties physical address is 9930 N. 301 Highway, Tampa, owned by Raymond A. Halin, 10401 Skewlee Road, Thonosassa. The property is classified as Auto Repair D. Aerial images show the auto repair business (Terrace Auto Repair) is located on the east side of I-75. The portion of the property located on the west side of I-75 is vacant wooded. This site was identified in the 2010 CSER (Site 64) and given a risk ranking of LOW. Current FDEP information does not show contamination issues associated with any parcel associated with SMF 25B. A County Small Quantity Generators (Aunt Gracie and Kids) permit is identified approximately 100-feet west of the southern end of the site; however, documentation states unverified generator status with no corresponding waste information. The status of the facility is out of business. FDEP markers for County Small Quantity Generators (Bass Bill Barry – Facility ID No. 145176 and Ronald Smith M/DBA Home Tec Ro – Facility ID No. 42407) were also identified approximately 250-feet west of the northern end of the site. FDEP documentation states unverified generator status with no corresponding waste information for both properties. The status of both facilities is out of business. Based on current FDEP and EPA databases, SMF 25B has been given a risk rating of NO. The location of SMF 25B is depicted in Figure 59.

Figure 59. Proposed SMF 25B



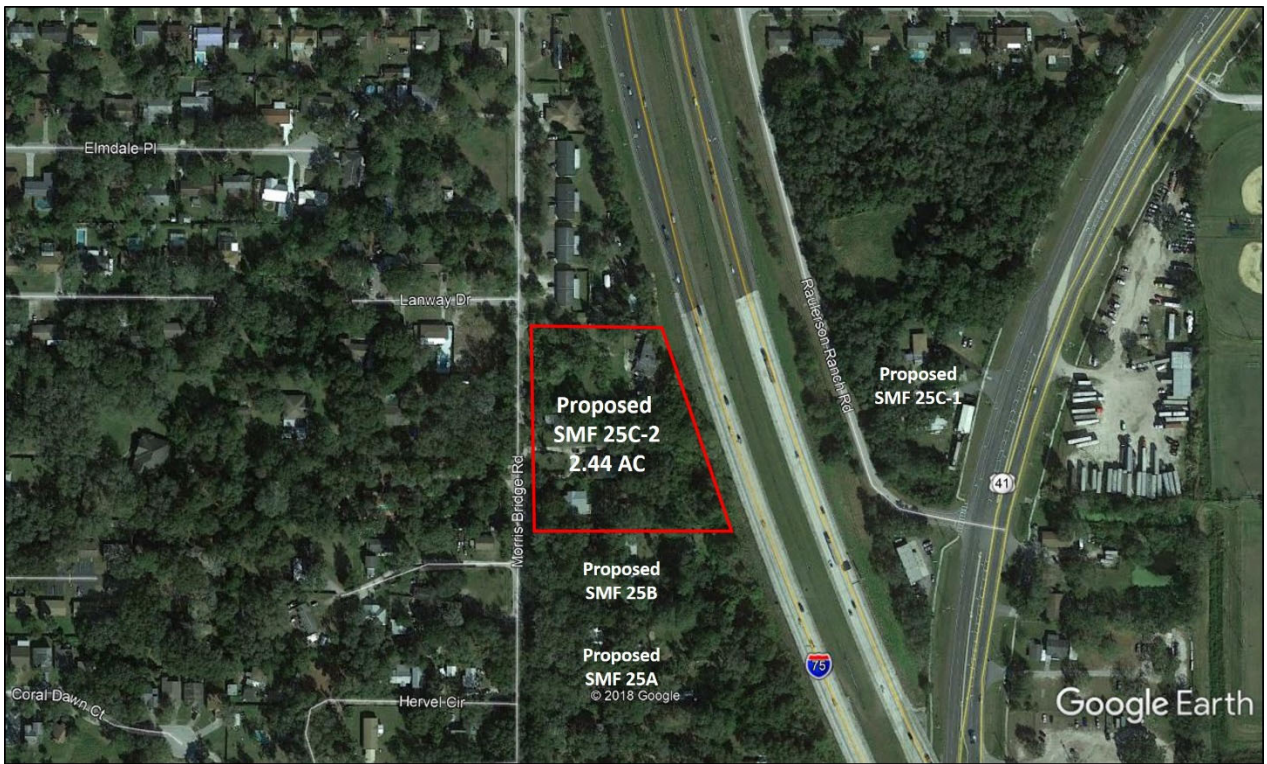
Proposed SMF 25C-1 is a 2.07-acre site and 0.11-acre easement located approximately 100-feet east of I-75 right-of-way, adjacent and east of Raulerson Ranch Road and adjacent west of US 301. The site includes a 0.11-acre easement. The Hillsborough County Property Assessor website shows the site consists of three total properties. The first of the three is a 1.25-acre parcel located at 10020 N. Highway 301, Tampa, owned by Oleg Bynzar, Taya Bynzar, and Vasily Bynzar, 25469 Geddy Drive, Land O' Lakes. The property is classified as mixed-use warehouse. The second property is a 0.4-acre parcel located off Raulerson Ranch Road with no physical address provided. The property is owned Alex Bynzar, 17616 Lake Lola Road, Dade City. The property is classified as vacant commercial. The third property is part of a 1.14-acre parcel located at 10003 Morris Bridge Road, Temple Terrace, owned by Zeenat and Nafees Ahmad, 12301 N. 51st Street, Tampa. The property is located on both the east and west sides of I-75 and classified as single family residential. Aerial images show the residence is located on the west side of I-75. The portion of the property on the east side of I-75 is vacant wooded. None of the properties associated with SMF 25C-1 were identified in the 2010 CSER. Neither current FDEP or EPA information show contamination issues associated with the properties associated with this site. FDEP identifies a property with Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring permits found approximately 200-feet east of the site, across US 301, associated with Strickland Transport, Inc. (Facility ID No. 8626943). Strickland Transport was identified in the 2010 CSER as Site 66 (EDR No. 117). The property associated with Strickland Transport was given a risk ranking of LOW. Based on current FDEP and EPA information SMF 25C-1 has been given a risk rating of NO. The location of SMF 25C-1 is depicted in Figure 60.

Figure 60. Proposed SMF 25C-1



Proposed SMF 25C-2 is a 2.44-acre site located west of I-75 right-of-way, east of Morris Bridge Road. The Hillsborough County Property Assessor website shows the site is comprised of four total properties. The first of the four properties consist of a 1.14-acre parcel located at 10003 Morris Bridge Road, Temple Terrace, owned by Zeenat and Nafees Ahmad, 12301 N. 51st Street, Tampa. The property is classified as Single Family Residential and located on both the east and west sides of I-75. The portion of the property associated with 25C-2 is located on the west side of I-75 and contains the residential structure. The second of the four properties consist of a 0.24- property located at 10009 Morris Bridge Road, Tampa, owned by Tanya T. Stevens and Freddie Taylor III, of the same address. The property is classified as Single Family Residential. The third property consists of a 0.85-acre site with no physical address provided. The property is owned by Nidal El Masri and Marwan H. Tafour 10010 Harney Road, Thonotosassa. The property is classified as Vacant Residential. The fourth property consists of a 0.33-acre site located at 10011 Morris Bridge Road, Tampa, owned by Darrel J. Bettison of the same address. The property is classified as Single Family Residential. None of the properties associated with SMF 25C-2 were identified in the 2010 CSER. The current FDEP and EPA databases do not identify contamination issues associated with this site. FDEP information does show County Small Quantity Generators (Bass Bill Barry – Facility ID No. 145176 and Ronald Smith M/DBA Home Tec Ro – Facility ID No. 42407) approximately 350-feet west of the northern end of the site. The FDEP information states unverified generator status with no corresponding waste information for both properties. The status of both facilities is out of business. Based on the current information found, SMF 25C-2 has been given a risk rating of NO. The location of SMF 25C-2 is depicted in Figure 61.

Figure 61. Proposed SMF 25C-2



Refer to Table 1 for a summary of all SMFs. Refer to Table 2 for a summary of all FPCs. Data obtained for all SMFs and FPCs can be found in Appendix B.

Table 1. Summary of Findings – SMF Sites

Pond Alternative	Location (Station), Side	No. of Parcels	Total ROW area (acres)	Land Use	RISK	Notes
SMF 1A	1290+00, RT	1	2.75	Theater (parking lot)	LOW	Site shown as an FDEP Managed Entity. No issues identified.
SMF 1B	1282+00, RT	5	3.47	Condos	NO	No issues identified.
SMF 1C	1284+00, LT	9	2.37	Single Family Residential	NO	No issues identified.
SMF 2/3	1323+00, LT	0	7.57	FDOT ROW	LOW	Two petroleum spills identified near SMF 2/3 Groundwater monitoring, and a soil assessment indicated that groundwater and soil cleanup target levels were met. A Site Rehabilitation Completion Order (SRCO) was issued in March 2004. Although soil cleanup target levels were met for this diesel spill, it is possible that constituents (below cleanup target levels) are still present in this area of I-75.
SMF 4/5	1335+00, LT	0	10.47	FDOT ROW	LOW	Approximately 70 gallons of diesel fuel and a small amount of engine oil were released to the soil in the median near mile marker 256 when a tractor-trailer overturned. The Emergency Response Incident Report indicated that in October 2006, approximately 42 tons of contaminated soils were removed; closure samples confirmed that no constituents were above soil cleanup target levels. No further action was taken by Bureau of Environmental Remediation (BER), Two 3,000-gallon ASTs containing diesel fuel are in service at the address for emergency generators and the case was closed.

SMF 6A	1370+00, LT	1	3.31	Office Multi Story	LOW	Two 3,000-gallon ASTs containing diesel fuel are in service at the address for emergency generators.
SMF 6B	1389+00, LT	3	3.43	Warehouse Office Multi Story	NO	NPDES Permit issued 2005, expired 2010. No issues identified.
SMF 7A	1415+70, LT	1	3.16	Vacant Commercial	NO	No issues identified.
SMF 7B	1422+00, RT	2	2.00	Child Care Center FDOT ROW	NO	Site shown as an FDEP Managed Entity. No issues identified.
SMF 7C	1415+00, RT	1	8.82	Auto Dealership	LOW	Site shown as an FDEP Managed Entity. FDEP shows one 300-gallon AST on the site is in compliance. The site is also identified for Compliance and Enforcement Tracking for HAZardous Facilities.
SMF 7/8	1454+00, RT	1	5.55	Vacant Commercial	NO	No issues identified.
SMF 8A	1450+00, RT	1	2.65	Vacant Commercial	NO	No issues identified.
SMF 8B	1457+00, RT	4	3.58	Vacant Commercial	NO	No issues identified.
SMF 9	1485+00, LT	0	2.87	FDOT ROW	NO	No issues identified.
SMF 10A	1504+00, LT	1	3.25	Bowling Alley/Skate Rink Vacant area	MED	Several County Small Quantity Generators and Registered Tanks from Storage Contamination Monitoring are identified adjacent to this site.
SMF 10B	1500+00, LT	2	4.53	Bowling Alley/Skate Rink Vacant area/Warehouse	MED	Several County Small Quantity Generators and Registered Tanks from Storage Contamination Monitoring are identified adjacent to this site. A closed Hazardous Waste Facility is also located across Elizabeth Place.
SMF 10C	1497+00, LT	1	2.47	Vacant Industrial	LOW	No issues identified; however, the property is immediately adjacent to Brandon Ice Forum; and located in an area of industrial land uses.

SMF 11A	1508+00, LT	2	1.32	Warehouse County Vacant	MED	Site is adjacent to the CSX railroad. Waste was found on the site during site field review. Site is surrounded by industrial land uses including Dickinson Fleet Service that is considered a hazardous waste generator.
SMF 11B	1512+00, LT	1	1.55	Warehouse	LOW	The site is listed as a Managed Entity with an expired NPDES permit with unknown use or flow.
SMF 12/13A	1529+00, LT	6	5.07	Mobile Home Flex Serv Warehouse A Warehouse B Vacant Industrial	MED	Current land use shows a used automobile storage area on the site. FDEP identifies the property as a Managed Entity. Across Fisher Roads there is a property registered as a conditionally-exempt small quantity generator of hazardous wastes.
SMF 12/13B	1536+00, RT	4	4.72	Single Family Residential Vacant Residential	MED	Several abandon cars, household waste and several sheds with unknown contents found on the site during site visit.
SMF 12/13C	1550+00, RT	2	7.35	Pasture Vacant Residential	NO	No issues identified.
SMF 14A	1575+00, RT	1	5.72	Vacant Commercial	LOW	FDEP Managed Entity and a current NPDES permit is associated with this site. Field visit found one metal barrel on the ground.
SMF 14B	1572+00, RT	3	4.96	Single Family Residential Vacant Residential	LOW	FDEP Managed Entity for the site and several NPDES permits adjacent to the site.
SMF 15/16	1615+00, RT	0	6.27	FDOT ROW	NO	Site shown as FDEP Managed Entity. No issues identified.
SMF 17A	1665+00, LT	2	3.93	Pasture	LOW	Site shown as FDEP Managed Entity. No issues identified.
SMF 17B	1664+00, RT	2	4.09	Pasture Utility	NO	No issues identified.

SMF 18A	1670+00, LT	1	2.19	Pasture	NO	Site shown as an FDEP Managed Entity, but no issues identified. Approximately 200 feet west of the site, is a Compliance and Enforcement Tracking for HAZardous Facilities site (Gulf Coast Signs) that is also listed as a County Small Quantity Generator. This business has closed
SMF 18B	1670+00, RT	1	2.05	Pasture	LOW	Current FDEP and EPA databases do not identify issues with the site; however, it should be noted that Steins Auto Graveyard is located adjacent north of the property. The facility is a junkyard/automobile salvage storage area located in the southeast quadrant of I-75 and US 92 East.
SMF 19A	1699+00, RT	0	1.57	FDOT ROW	NO	No issues identified. NPDES permit found for adjacent property.
SMF 19B	1699+00, RT	0	2.05	FDOT ROW	NO	No issues identified. NPDES permit found for adjacent property.
SMF 19C	1700+00, LT	0	2.80	FDOT ROW	NO	No issues identified.
SMF 19D	1705+00, LT	0	4.19	FDOT ROW	LOW	No issues identified; however, three County Small Quantity Generators and NPDES permit are located adjacent to the site.
SMF 20A	1730+00, LT	1	7.56	Pasture	MED	No issues identified; however, approximately 900 feet north of the site is a DEP Cleanup site (Eureka Springs Landfill).
SMF 20B	1745+00, RT	2	9.63	Pasture Church	MED	Property is part of the 286-acre parcel identified as Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill). Site identified as a Managed Entity on FDEP database. NPDES permit for construction of New Life Tabernacle.

SMF 21A	1755+00, RT	1	7.77	Pasture	MED	Property is part of the 286-acre parcel identified as Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill). Also, there is one ASTs associated with McAteer Groves.
SMF 21B	1755+00, LT	1	6.70	Pasture	MED	Property is part of the 286-acre parcel identified as Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill).
SMF 22A	1794+00, LT	2	3.94	SWFWMD	NO	No issues identified. Lime spill located 1000 feet northwest.
SMF 23A	1821+00, LT	3	3.15	Dairies/Feedlts Poultry/Bees/Fish	LOW	FDEP shows the property (8913 Bowles Road) a County Small Quantity Generator (Slates Nursery).
SMF 23B	1825+00, LT	3	2.81	Mobile Home	LOW	FDEP shows the property (8913 Bowles Road) a County Small Quantity Generator (Slates Nursery).
SMF 22/23	1823+00, LT	3	4.36	Dairies/Feedlts Poultry/Bees/Fish	LOW	FDEP shows the property (8913 Bowles Road) a County Small Quantity Generator (Slates Nursery).
SMF 24A	1838+00, LT	1	2.04	Vacant Commercial	NO	No issues identified.
SMF 24B	1838+00, RT	3	1.83	Vacant Commercial FDOT ROW	LOW	Compliance and Enforcement Tracking for HAZardous Facility associated with Carter Century South.
SMF 25A	1854+00, LT	4	1.86	Single Family Residential FDOT ROW	NO	No issues identified.
SMF 25B	1857+00, LT	4	2.81	Single Family Residential Vacant	NO	No issues identified.

SMF 25C-1	1860+00, RT	6	2.07	Single Family Residential Mixed Use Warehouse Vacant Commercial Vacant Residential	NO	No issues identified with the site. An FDEP property associated with Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring found approximately 200-feet west of the site, across US 301, associated with Strickland Transport, Inc. (Facility ID No. 8626943).
SMF25C-2	1860+00, LT	4	2.44	Single Family Residential Vacant Residential	NO	No issues identified with the site. An FDEP property associated with County Small Quantity Generators (Bass Bill Barry and Ronald Smith M/DBA Home Tec Ro) are located adjacent to this site, and one (System Services by Young) is located north of the site. Documentation for all states unverified generator status with no corresponding waste information.

Table 2. Summary of Findings - FPC Sites

FPC Alternative	Location (Station), Side	No. of Parcels	Total ROW area (acres)	Land Use	RISK	Notes
FCP 6R	1360+00, RT	0	4.67	FDOT ROW	NO	No issues identified.
FPC 7	1437+00, LT	2	1.26	FDOT ROW	NO	No issues identified.
FPC 12/13R	1543+00, KT	1	1.11	Pasture	NO	No issues identified.
FPC 12/13L	1542+00, RT	2	1.63	Mobile Home Flex Serv	NO	No issues identified.
FPC 14A	1580+00, RT	1	0.77	Vacant Commercial	LOW	FDEP Managed Entity and a current NPDES permit is associated with this site.

FPC 17/18	1711+00, LT	1	2.44	Pasture	LOW	Site shown as an FDEP Managed Entity, but no issues identified. Approximately 350 feet west of the site, is a Compliance and Enforcement Tracking for HAZardous Facilities site (Gulf Coast Signs) also listed as a County Small Quantity Generator. This business has closed. The latest information for the site is dated 2003.
FPC 19A	1705+00, LT	0	0.67	FDOT ROW	NO	Site shown as an FDEP Managed Entity. No issues identified.
FPC 19B	1711+00, LT	0	0.90	FDOT ROW	LOW	There are no FDEP issues identified for this site; however, there are three County Small Quantity Generator east of the site and one NPDES permit found.
FPC 20	1735+00, Lt	1	1.57	Pasture	MED	Property is part of the 286-acre parcel identified as Eureka Spring Landfill (formerly Northeast Hillsborough County Landfill).
FPC 21A	1755+00, LT	1	2.02	Pasture	MED	Site is part of a DEP Cleanup site associated with Eureka Springs Solid Waste Facility (Landfill Site). Two County Small Quantity Generator properties are located adjacent to the site.
FPC 21B	1764+00, RT	1	2.77	Pasture	MED	Site is part of a DEP Cleanup site associated with Eureka Springs Solid Waste Facility (Landfill Site).

3.2.2 POTENTIAL CONTAMINATION SITES FROM NORTH OF FLETCHER AVENUE TO NORTH OF BRUCE B. DOWNS BOULEVARD

Since the 2010 CSER was completed, the project's northern boundary was extended from north of Fletcher Avenue to north of Bruce B. Downs Boulevard to transition into the existing typical section. The following information is to document potential contamination sites within this portion of the project corridor.

In addition to FDEP and EPA databases and the 2010 CSER, a 2005 Final CSER from south of Fowler Avenue, Hillsborough County to south of SR 56, Pasco County (WPI Segment No. 408459-1) was also utilized to assist with the identification of sites within this new portion of the corridor.

To be consistent with the numbering of all potential contamination sites from south to north in the 2010 CSER, this report will start numbering at 88.

Site No. 88 – Womens Care Tampa VA, 13515 Lake Terrace Lane, (Facility ID No. 000213454) – The Hillsborough County Property Appraiser records show that HTA VA Tampa MOB LLC, PO Box 92129 Southlake, TX owns the property. The FDEP database shows the property as a Compliance and Enforcement Tracking and HAZardous Facility. In a letter dated July 28, 2015, the facility is identified as a conditionally exempt County Small Quantity Generator. No additional documentation for this site was available. After a review of current FDEP and EPA information, this site received a risk rating of NO. For the location of Site No. 88, refer to Appendix A, Sheet 26.



Site No. 89 – Kaset International, 8875 Hidden River Parkway, (Facility ID No. 984184853) - This facility is an office building located approximately 1100 feet west of the I-75 southbound exit ramp right-of-way. The Hillsborough County Property Assessor show the property is owned by TDC Hidden River LLC, 5310 S. Alston Avenue, Durham, NC. The FDEP database shows the property is a Compliance and Enforcement Tracking for HAZardous Facility, a Closed Hazardous Waste Facilities, and a Managed Entity. In 1990, the FDEP database showed the site as a confirmed County Small Quantity Generator (100-1000 kg/month). A hazardous waste inspection of the facility was conducted April 2012. The inspection report stated the site is closed and no violations or areas of concern were noted. After a review of current FDEP and EPA information, this site received a risk rating of LOW. For the location of Site No. 89, refer to Appendix A, Sheet 27.

Site No. 90 – Disney Reservation Center Fieldside, 14014 Fieldside Place #17, Tampa, FL (Facility ID No. 9701018) - This facility is an office building located in the northwest quadrant of I-75 and Fletcher Avenue, approximately 1000 feet west of the I-75 right-of-way. The Hillsborough County Property Appraiser records show Fieldside Investors, LLC, PO Box 1368, Carlsbad, CA own the property. Per the FDEP database, a 2000-gallon AST was registered at the location in 1996. In 2005, Fieldside LLC took ownership of the facility. In 2007, the facility was found to be



minor out of compliance with several violations including no financial responsibility, records requiring two-year documentation period not kept by the facility, and AST system exterior coating not meeting standards. Similar violations occurred in 2008. Since this time, the facility was found major out of compliance for violations including failure to provide approved overfill protection for shop fabricated tank systems and shop fabricated storage tank system release detection devices not tested annually. In a letter dated September 20, 2018, the facility was returned to compliance. After a review of best available information from the FDEP database, this site received a risk rating of LOW. For the location of Site No. 90, refer to Appendix A, Sheet 27.

Site No. 91 – Tampa Palms NPDES (Facility ID No. FLR20BX54) – The site is a residential construction site located off Tampa Palms Boulevard and English Hollow Road associated with the Stafford Place development in Tampa Palms. The site is located approximately 300 feet west of I-75 right-of-way and is being developed by Lennar Corporation. The Hillsborough County Property Assessor website states the property is subdivided into lots ranging from 0.13 acre to 0.21 acre and are individually owned. FDEP documentation shows an NPDES permit for the site issued February 23, 2018, expiring February 22, 2023. There is no further documentation available for this site. Further research of this site did not reveal the presence of any documentation that would support the potential for contamination involvement. After a review of current FDEP and EPA information, this site received a risk rating of NO. For the location of Site No. 91, refer to Appendix A, Sheet 32.

Site No. 92 - Tampa Palms NPDES (Facility ID No. FLR10QA69) – The site is a residential construction site located off Tampa Palms Boulevard at English Hollow Road. The site contains approximately one hundred 0.13 to 0.21 acre lots associated with the Stafford Place development in Tampa Palms. The site is located approximately 300 feet west of I-75 right-of-way and is being developed by Lennar Corporation. The Hillsborough County Property Assessor website states the property is subdivided into lots ranging from 0.13 to 0.21 acre and are individually owned. FDEP documentation shows an NPDES permit for the site effective April 28, 2016, expiring April 27, 2021. In a letter dated January 3, 2019, the NPDES permit was updated to include a larger land disturbance area of 35.44 acres. There is no further documentation available for this site. Research of this site did not reveal the presence of any documentation that would support the potential for contamination involvement. After a review of best available information, this site received a risk rating of NO. For the location of Site No. 92, refer to Appendix A, Sheet 32.

Site No. 93 – BJ’s Wholesale Club #0183, 6290 Commerce Palms Boulevard (Facility ID No. FLP000142869) – This site is a commercial retail warehouse. The Hillsborough County Property Assessor website states the site is owned by Tampa Palms Shopping Plaza, LLC. The FDEP database shows the property as a Compliance and Enforcement Tracking for HAZardous Facility and Managed Entity. The site contains three USTs associated with their retail gasoline center (12000-gallon premium unleaded, 20000 and 8000-gallon regular unleaded) registered in May 2006. In August 2006, the facility was major out of compliance for financial responsibility. In 2010 the facility was minor out of compliance for not installed calibrated, operated, and maintained per manufacturers specifications and records requiring two-year documentation not kept by facility. In 2011, the facility was minor out of compliance for not repaired component which has or could cause a discharge or release due to dispenser 9 having a pipe union leak on the middle product line. In 2013, the facility was out of



compliance for not repaired component which has or could cause a discharge or release and failure to allow for/perform a breach of integrity test. In 2016, the facility was minor out of compliance for incident not reported within 24-hours of by next business day due to an unexplained alarm with the regular STP sump. In 2018, the facility was major out of compliance for electronic release detection devices not inspected monthly. The facility was minor out of compliance for a storage tank system has a not repaired component which has or could cause a release or discharge, incident investigation not completed timely with written explanation or DRF provided, and for an incident, notification not received in a timely manner. All past out of compliance issues were returned to compliance in a timely manner. In an email dated May 1, 2019, the facility was returned to compliance for the most recent issues. After a review of available information from FDEP, the site received a risk rating of LOW. For the location of Site No. 93, refer to Appendix A, Sheet 33.

Site No. 94 – (2005 CSER Site No. 10) Morris Bridge Water Treatment Facility, 17101 Donna Michelle Drive, Tampa, FL (Facility ID No. FLR10SL87), (EPA CERCLIS ID No. – 110043539356) - This facility is a potable water treatment plant located adjacent to existing I-75 right-of-way at the southeast quadrant of the Bruce B. Downs Boulevard interchange. The Hillsborough County Property Assessor website states the property is owned by the City of Tampa, FL. The facility has been serving the New Tampa area since the 1970s. The facility is listed as a CERCLIS Superfund site by EPA. The FDEP TANKS Report shows one 12000-gallon AST containing diesel (emergency generator) and one 1000-gallon AST containing unleaded gasoline were installed on August 1, 1989. A 12,000-gallon AST containing diesel (emergency generator) was installed at this site in April 1995. The three ASTs are currently in service and are located approximately 265 feet from the I-75 right-of-way. The facility also stores chlorine in an AST which is located approximately 325 feet from the I-75 right-of-way. During a site visit, the pavement around the ASTs was observed to be clean and no monitoring wells were found. In 2009, the facility was found minor out of compliance for AST system exterior coating does not meet standards (piping on the convault system tank 9) and secondary containment not repaired per 762.501(1)(e). In 2017, the facility was minor out of compliance for exterior portions of tanks and integral piping not protected from external corrosion, deterioration or degradation for shop fabricated tank systems. In 2019, the facility was found major out of compliance for failure to provide approved overfill protection for shop fabricated tank systems. In a letter dated September 23, 2019, the facility was returned to compliance. There have been no violations (2016-2019) identified per the EPA ECHO report since this date. Based on this information, this site was given a rating of LOW. For the location of Site No. 94, refer to Appendix A, Sheet 33.

Site No. 95 – (2005 CSER Site No. 10) 7-Eleven Food Store #33019, 5102 Pointe of Tampa Way (Facility ID No. 9804628) - This facility is a retail gasoline station located approximately 1200 feet west of I-75 right-of-way, in the northwest quadrant of the Bruce B. Downs Boulevard interchange. The facility has been located at this site since approximately 1998. The Hillsborough County Property Assessor information website states the site is owned by Pointe New York, LLC 631 Union Road, Spring Valley, NY. According to the FDEP TANKS Report, two USTs (10000 and 15000 gallon) containing unleaded gasoline were installed at this site on January 1, 2002. Both USTs are currently in service. In a letter dated October 14, 2009, it states the facility is a non-program site being rehabilitated under voluntary cleanup in accordance with Chapter 62-770 Florida Administrative Code for a petroleum product discharge on 07/26/2006. A Remediation Action Plan



(RAP) was approved on April 16, 2009. The approved RAP included installation and operation of an air sparge and soil vapor extraction system to address the petroleum impacts the facility. In a letter dated October 12, 2009, it was recommended due to test results that natural attenuation monitoring be pursued rather than remedial action. The Post Active Remediation Monitory Plan was approved in a letter dated February 4, 2010 with quarterly sampling to take for monitoring wells MW-4, MW-6, and MW-9D for concern contaminants BTEX and MTBE. In a letter dated March 21, 2013, it states subsection 62-770.680(1) FAC has been met and no further action is required. In a letter dated October 18, 2013, it states the facility is in compliance. In 2017, the facility was found minor out of compliance again for storage tank system has a not repaired component which has or could cause a release or discharge (leakage noted from Dispenser 2 break away). In a letter dated October 23, 2019, the facility is found back in compliance. Based on the current information and that the facility is 1200 feet west of I-75 right-of-way, this site was given a rating of LOW. For the location of Site No. 95 refer to Appendix A, Sheet 33.

Site No. 96– (2005 CSER Site No. 12) USAA, 17200 Commerce Park Boulevard (Facility ID No. 9300150) -

This property is a multi-story building located approximately 150-foot west of the I-75 southbound exit ramp right-of-way, in the northwest quadrant of the Bruce B. Downs Boulevard interchange. The Hillsborough County Property Assessor website shows the site is owned by United Services Automobile Association, 9800 Fredericksburg Road, San Antonio, TX. The FDEP database shows the property associated with Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination

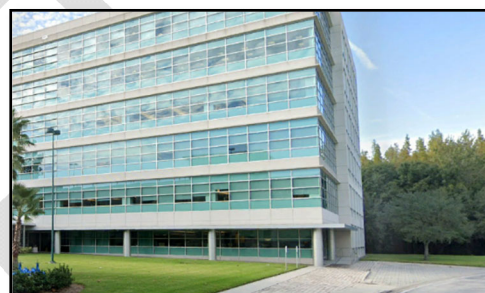


Monitoring. The facility contains three ASTs, one 4000-gallon diesel fuel generator tank, one 1000-gallon tank for unleaded gasoline, and one 2500-gallon tank for diesel fuel. The facility also has one 550-gallon UST for waste oil. All the tanks were registered in 1993 except the 2500-gallon AST that was registered in 2014. In 2007, the facility was minor out of compliance for records requiring two-year documentation period not kept by facility, visible storage tank system components and continuous electronic leak detection not inspected monthly, and AST system exterior coating does not meet standards. In 2011, the facility was minor out of compliance for not repaired component which has or could cause a discharge or release due to a small section of soil underneath piping being fuel stained. According to operator, this occurred during the replacement of a generator. A small amount of fuel leaked out piping when being re-routed. In 2013, the facility was major out of compliance for release detection not being performed at least once a month. It was also in minor out of compliance for the registration placard not displayed in plain view. In 2015, the facility was major out of compliance for release detection not being performed at least once a month. In 2017, the facility was found to be major out of compliance for the electronic release detection devices not inspected monthly for shop fabricated storage tank systems and release detection, including visual inspections not being conducted monthly (not to exceed 35 days) for shop fabricated tank systems. In a letter dated November 16, 2017 the facility was returned to compliance. There is no additional documentation for this facility. During a site visit, one 2,000-gallon double-walled AST containing unleaded gasoline was observed in the USAA receiving area. It was situated approximately 185 feet from the I-75 right-of-way. The pavement around the AST was observed to be clean and no monitoring wells were found. Based on this information, this site was given a rating of LOW. For the location of Site No. 96 refer to Appendix A, Sheet 33.

Site No. 97– Unidentified Cellular Telephone Tower, (No Facility ID No. assigned) – There is a cell tower located in the I-75 right-of-way between the southbound mainline and the southbound Bruce B. Downs exit ramp that appears to have an AST located on a concrete pad at the base of the cell tower. The Hillsborough County Property Assessor does not link to a property owner for the site; therefore, due to its location within I-75 right-of-way, it is assumed the property is owned by FDOT. This type of facility is usually involved with the use of petroleum products to power emergency generators. The site visit conducted did not find any indication of hazardous material or petroleum involvement at the facility. There are no known incidents of hazardous materials or petroleum contamination associated with this site. Research of this site did not reveal the presence of any documentation that would support the potential for contamination involvement. After a review of best available information, this site received a risk rating of NO. For the location of Site No. 97 refer to Appendix A, Sheet 34.

Site No. 98 – T-Mobile USA-Tampa Call Center, 18205 Crane Nest Drive (Facility ID No. 9806951) – This

facility is a multi-story office building located approximately 35-feet east of I-75 right-of-way. The Hillsborough County Property Assessor shows the property is owned by HRLP Preserve, LLC, 3100 Smoketree Court, Raleigh, NC. The FDEP database shows the property associated with Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring. The facility has one 4000-gallon AST for generator diesel fuel. In 2007, the facility was found minor out of compliance for the registration placard not displayed in plain view. In 2009, the facility was minor out of compliance for the spill containment, dispenser liners and piping sumps not accessible; water and regulated substances not removed, release detection devices not tested annually, not repaired component which has or could cause a discharge or release, and records requiring two-year documentation period not kept by facility. In 2011, the facility was found major out of compliance for release detection not performed at least once a month. It was minor out of compliance for visible storage tank system components and continuous electronic leak detection not inspected monthly, release detection devices not tested annually, incident not promptly investigated, incident not reported within 24-hours, or next business day, and spill containment, dispenser liners and piping sumps not accessible; water and regulated substances not removed. The 2011 inspection comments state there were unexplained fuel alarms on the alarm history print out: L2 fuel alarm on February 7, 2013. L3 fuel alarms on February 28, 2013 and October 3, 2011. In 2015, the facility was major out of compliance for release detection not performed at least once a month. The facility was minor out of compliance for release detection devices not tested annually and visible storage tank system components and continuous electronic leak detection not inspected monthly. In 2017 the facility was minor out of compliance for visible storage tank system components and continuous electronic leak detection not inspected monthly. In 2019, the facility was major out of compliance for failure to provide approved overfill protection for shop fabricated tank systems and electronic release detection devices not inspected monthly for shop fabricated storage tank systems. It was minor out of compliance for incident investigation not completed timely, with written explanation or DRF provided, notification of an incident not received in a timely manner, and incomplete documentation demonstrating financial responsibility. The 2019 inspection comments state the alarm history report was reviewed and corresponded with operability testing, routine maintenance and the following unexplained alarms: "L3: Fill Box Sensor" on November 2017 and "L4 Generator Room Sensor" on July 28, 2018. As of January 15, 2020, there is no documentation from FDEP stating the facility has been returned to compliance. Research of this site did



not reveal the presence of any documentation that would support the potential for contamination involvement. After a review of best available information, this site received a risk rating of LOW. For the location of Site No. 98 refer to Appendix A, Sheet 34.

Site No. 99 – Metropolitan Life Insurance Company, 18210 Crane Nest Drive (Facility ID No. 9808306) –

This facility is a multi-story office building located approximately 550-feet east of I-75 right-of-way. The Hillsborough County Property Assessor states the property is owned by Metropolitan Life Insurance Company, P.O. Box 130639, Carlsbad, CA. FDEP shows Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring. The facility has one 7000-gallon diesel AST. In 2007, the facility was found major out of compliance for release detection not being performed at least once a month. It was minor out of compliance for release detection devices not being tested annually. In 2016, the facility was found major out of compliance for release detection not performed at least once a month. The facility was found minor out of compliance for the registration placard not being displayed in plain view and visible storage tank system components and continuous electronic leak detection not inspected monthly. In 2018, the facility was again major out of compliance for failure to provide approved overfill protection for shop fabricated tank systems. It was found minor out of compliance for incomplete documentation demonstrating financial responsibility. In a letter dated December 3, 2018 the facility was returned to compliance. There is no further documentation available from FDEP. Research of this site did not reveal the presence of any documentation that would support the potential for contamination involvement. After a review of current FDEP information, this site received a risk rating of LOW. For the location of Site No. 99 refer to Appendix A, Sheet 34.



In 2016, the facility was found major out of compliance for release detection not performed at least once a month. The facility was found minor out of compliance for the registration placard not being displayed in plain view and visible storage tank system components and continuous electronic leak detection not inspected monthly. In 2018, the facility was again major out of compliance for failure to provide approved overfill protection for shop fabricated tank systems. It was found minor out of compliance for incomplete documentation demonstrating financial responsibility. In a letter dated December 3, 2018 the facility was returned to compliance. There is no further documentation available from FDEP. Research of this site did not reveal the presence of any documentation that would support the potential for contamination involvement. After a review of current FDEP information, this site received a risk rating of LOW. For the location of Site No. 99 refer to Appendix A, Sheet 34.

Site No. 100 – Syniverse Technologies, LLC, 8125 Highwoods Palm Way (Facility ID No. 9808015) – This

facility is a multi-story office building located approximately 350-feet east of I-75 right-of-way. The Hillsborough County Property Assessor states the property is owned by SOP 8125 HW Palm Way, LLC 379 W. Broadway, New York, New York. FDEP shows the property with Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring. The facility has one 12000-gallon diesel AST. In 2007, the facility was found minor out of compliance for records requiring two-year documentation period not kept by facility and incident not reported within 24-hours or by next business day. Operator stated all alarms were operability tests. In 2010, the facility was found minor out of compliance for not repaired component which has or could cause a discharge or release. In 2011, the facility was major out of compliance for no financial responsibility. It was minor out of compliance for records requiring two-year documentation period not kept by facility. In 2017, the facility was major out of compliance for release detection, including visual inspections not being conducted monthly (not to exceed 35 days) for shop fabricated tank systems; for electronically monitored sumps, visual inspections not conducted every six months and electronic release detection devices not inspected monthly for shop fabricated storage tank systems. It was minor out of compliance for exterior portions of tanks and integral piping not protected from external corrosion, deterioration or degradation for shop fabricated tank systems and shop fabricated storage tank system release detection devices not tested annually. In a letter dated October 10, 2017, the facility was returned to compliance. The facility is also found in the EPA ECHO database as identifier 110036327437. Quarterly reports from January 1, 2017 to December 31, 2019 show

no violations. After a review of current FDEP and EPA information, this site received a risk rating of LOW. For the location of Site No. 100 refer to Appendix A, Sheet 34.

Site No. 101 – The Depository Trust and Clearing Corporation, 18335 Bermuda Green Drive (Facility ID No. 9802556) – This facility is a multi-story office building located adjacent east of I-75 right-of-way. The Hillsborough County Property Assessor website states the property is owned by Depository Trust Company, Fixed Income Clearing Corporation, National Securities Clearing Corporation, 100 N. Tampa Street, Tampa, FL. The FDEP database shows the property associated with Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring. The facility has two 10000-gallon diesel ASTs. In 2006, the facility was found to be major out of compliance for no interstitial monitoring for secondary containment as the interstitial sensor In Tank #2, labeled Sensor 5 on pneumatic panel, not functioning. In 2007, the facility was minor out of compliance for records requiring two-year documentation period not kept by facility and not repairing a component which has or could cause a discharge or release. In 2010, the facility was minor out of compliance for release detection devices not being tested annually. In 2017, the facility was major out of compliance for no financial responsibility and minor out of compliance for records requiring two-year documentation period not kept by facility. In a letter dated August 30, 2017, the facility was returned to compliance. There is no additional information available for this facility. After a review of current FDEP information, this site received a risk rating of LOW. For the location of Site No. 101 refer to Appendix A, Sheet 35.

Site No. 102 – Creative World School, 5365 Primrose Lake Circle (Facility ID No. FLR20BB82) - The facility is a private school. The site is located approximately 100-feet west of I-75 right-of-way. The Hillsborough County Property Assessor website states the property is owned by Inuja, LLC, 10693 Cross Creek Boulevard, Tampa, FL. The FDEP database shows an NPDES Stormwater Facilities and Activities permit for the site. The permit was issued December 16, 2016 for a small construction project (1 to 4.99 acres). The permit expires December 15, 2021. There is no further documentation available for this site. Research of this site did not reveal the presence of any documentation that would support the potential for contamination involvement. After a review of current FDEP and EPA information, this site received a risk rating of NO. For the location of Site No. 102 refer to Appendix A, Sheet 34.



Site No. 103 – Discovery Village, 17470 Brookside Trace Court (Facility ID No. FLR20AH52 and 9815308) - The facility is a commercial construction site for a day care facility. The site is located approximately 325-feet west of I-75 right-of-way. The Hillsborough County Property Assessor website states the property is owned by DCP DSL Property Company, 1920 Main Street, Irvine, CA. The FDEP database shows a NPDES Stormwater Facilities and Activities permit for the site. The NPDES permit was issued September 4, 2015 for a small construction project (1 to 4.99 acres). The permit will expire September 3, 2020. The FDEP databases also associates the property associated with Storage Tank Contamination Monitoring and Registered Tanks from Storage Tank Contamination Monitoring. Documentation shows one 1333-gallon diesel AST was



installed on August 31, 2016. The first tank inspection in 2016 found the facility minor out of compliance for registration fees not paid and registration placard is not displayed in plain view. In 2017, the facility was major out of compliance for release detection not visually inspected once a month and release detection not performed at least once a month. After a review of current FDEP and EPA information, this site received a risk rating of LOW. For the location of Site No. 103 refer to Appendix A, Sheet 35.

Site No. 104 – Florida Medical Clinic Commerce Park, 17401 Commerce Park Boulevard (Facility ID No. 9817068) – This facility is a one-story medical clinic located approximately 670-feet west of I-75 right-of-way. Per Hillsborough County Property Assessor information, the property is owned by FMC Commerce Park, LLC., 38135 Market Square, Zephyrhills, FL. FDEP documentation shows Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring markers. Documentation shows a 595-gallon diesel AST registered at the facility in 2019. As of 06/19/2019 the facility was in compliance. There is no additional information available for this facility. After a review of current FDEP and EPA information, this site received a risk rating of LOW. For the location of Site No. 104 refer to Appendix A, sheet 35.



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3.2.3 POTENTIAL CONTAMINATION SITES NOT PREVIOUSLY IDENTIFIED IN THE I-75 CORRIDOR

Site 105 Costco Wholesale - Fueling 358 (Facility ID no. 9812311) is located at 10921 Causeway Boulevard, Riverview, FL 33578. The HCPA website shows the property identified as Folio no. 072304-0501, PIN U-32-29-20-663-000002-69951.0, owned by Costco Wholesale Corporation of 999 Lake Drive, Issaquah, WA 98027. The FDEP database shows the property having three USTs each with 30,000-gallon capacity and one AST with 1200-gallon capacity being registered in 2010. The first out of compliance report found for the property is in 2015 for a non-repaired component as well as other minor violations. In 2017, the facility was again found out of compliance temporarily. Based on current information found in the FDEP and EPA databases, and the site field review, Site 105 received a risk rating as LOW.



Site 106 Clayton Holdings – (Facility ID no. 9825528) is located at 2638 S. Falkenburg Road, Riverview, FL 37205. The HCPA website shows the property identified as Folio no. 072303-0252, owned by First Park Owner LP at 102 Woodmont Boulevard, Nashville, TN 37205. The FDEP database shows the property having one registered 850-gallon AST in 2017 for non-retail fuel use. In 2017 the facility was minor found out of compliance. In 2019 the facility was found major out of compliance. At this time, the facility is back in compliance. Based on current information found in the FDEP and EPA databases, and the site field review, Site 106 received a risk rating as LOW.



Site 107 Promise Pointe at Tampa Oaks – (Facility ID no. 9815750) is located at 12110 Morris Bridge Road, Temple Terrace, FL 33637. The HCPA website shows the property identified as Folio no. 037369-0000, owned by Tampa Oaks Senior Living LLC at 1101 N. Florida Avenue, Tampa, FL 33602. The FDEP database shows the facility registered one 1300-gallon diesel AST on the property in 2017. In 2018, the facility was minor out of compliance for lacking monthly logs. The facility has been found out and returned to compliance since this time. Currently, the facility was inspected November 2021 and again found to be out of compliance. Based on current information found in the FDEP and EPA databases, and the site field review, Site 107 received a risk rating as LOW.



Refer to Table 3 for a summary of all newly identified sites in the project limits.

Table 3. Summary of Findings – Newly identified Potential Contaminated Properties on I-75

Site No.	Risk Rating	Facility ID No.	Facility	Address	Notes
88	LOW	000213454	Womens Care Tampa VA	13515 Lake Terrace Lane	FDEP database shows the property as a Compliance and Enforcement Tracking and HAZardous Facility. The facility is identified as a conditionally exempt County Small Quantity Generator. No additional documentation for this site was available.
89	LOW	984184853	Kaset International	8875 Hidden River Parkway	The FDEP database shows the property is a Compliance and Enforcement Tracking for HAZardous Facility, a Closed Hazardous Waste Facilities, and a Managed Entity. A hazardous waste inspection of the facility was conducted April 2012. The inspection report stated the site is closed and no violations or areas of concern were noted.
90	LOW	9701018	Disney Reservation Center	14014 Fieldside Place #17	2000-gallon AST with repeated compliance issues. As of September 20, 2018, in compliance.
91	NO	FLR20BX54	Stafford Place Development	English Hollow Road	NPDES permit for residential construction.
92	NO	FLR10QA69	Stafford Place Development	English Hollow Road	NPDES permit for residential construction.
93	LOW	FLP000142869	BJ's Wholesale Warehouse	6290 Commerce Palm Boulevard	FDEP database shows as Compliance and Enforcement Tracking for HAZardous Facility and Managed Entity There are three USTs 12000, 20000 and 8000-gallon for unleaded gasoline on the site.

94	LOW	FLR10SL87 CERCLIS ID No.– 110043539356	Morris Bridge Water Treatment Facility	17101 Donna Michelle Drive	3 ASTs two 12000-gallon and one 1000 gallon. No issued identified. In compliance as of September 23, 2019.
95	LOW	9804628	7-Eleven	5102 Pointe of Tampa Way	2 USTs one 10000-gallon and one 15000-gallon for unleaded gasoline. 2006 tank discharge resulted in a RAP be implemented. No further action achieved on March 21, 2013. In compliance as of 2019.
96	LOW	9300150	USAA	17200 Commerce Park Boulevard	FDEP shows Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring for the property. One 4000-gallon and one 2500-gallon ASTs for diesel, one 1000-gallon AST for unleaded gasoline, and one 550-gallon UST for waste oil. Repeat compliance issues. As of 2017 in compliance. No documentation past 2017.
97	NO	Not Provided	Unidentified Cell Tower	I-75 right-of-way southbound exit ramp at Bruce B. Downs Boulevard	No information is available for this cell tower site. Field reviews show one AST. No issues identified.
98	LOW	9806951	T-Mobile Call Center	18205 Crane Nest Drive	One 4000-gallon diesel AST. Repeat compliance issues. As of January 15, 2020, the facility is out of compliance.
99	LOW	9808306	Metropolitan Life Insurance Company	18210 Crane Nest Drive	One 7000-gallon diesel AST. Repeated compliance issues. In compliance as of December 3, 2018. No information past this date.

100	LOW	9808015	Syniverse Technologies	8125 Highwoods Palm Way	One 12000-gallon AST for diesel. Repeated compliance issues. In compliance as of October 11, 2017. No information past this date.
101	LOW	9802556	Depository Trust and Clearing Corporation	18335 Bermuda Green Drive	Two 10000-gallon diesel ASTs. Repeated compliance issues. In compliance as of August 30, 2017. No information past this date.
102	NO	FLR20BB82	Creative World School	5365 Primrose Lake Circle	NPDES permit for commercial construction.
103	LOW	FLR20AH52	Discovery Village	17470 Brookside Trace Court	NPDES permit for commercial construction. One 1333-gallon AST for diesel. Repeated compliance issues.
104	LOW	9817068	Florida Medical Clinic Commerce Park	17401 Commerce Park Boulevard	One 595-gallon AST for diesel. FDEP documentation shows Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring.
105	LOW	9812311	Costco Wholesale Club Fueling Station	10921 Causeway Boulevard	Three 30,000-gallon USTs and one 1,200-gallon AST. FDEP documentation shows Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring.
106	LOW	9815528	Clayton Holdings	2638 S. Falkenburg Road	One 850-gallon AST. FDEP documentation shows Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring.
107	LOW	9815785	Promise Pointe at Tampa Oaks	12110 Morris Bridge Road	One 1,300-gallon diesel AST. FDEP documentation shows Registered Tanks from Storage Tank Contamination Monitoring and Storage Tank Contamination Monitoring.

3.2.4 POTENTIAL CONTAMINATION SITES WITHIN THE I-75 and I-4 SOUTHWEST QUADRANT FROM THE TAMPA BYPASS CANAL WEST TO THE I-4 INTERCHANGE

Numbering of the I-4 sites is continuous from the previous sections.

Site 108 - Action Transport Services, Inc. (Facility ID no. 110732) is located south of Garden Lane and west of Clewis Avenue at 5306 Clewis Avenue, Tampa, FL 33610.

The HCPA shows the property identified as Folio no. 040433-0000, PIN U-06-29-20-1ME-

000000-00007.7, being

owned by 5306 Clewis

LLC. The FDEP database

shows the property as

having an unverified

County Small Quantity

Generator in 2004. The

FDEP Facility Detailed

List Report shows the

status as out of business. There are no reported issues with the

site. The field review found the property to be the office of FCA

Construction. One trailer containing ladders and siding, and a metal pole barn were found on the

property. The property had no signs of contamination and was well maintained. Based on current

information found in the FDEP and EPA databases, and the site field review, Site 108 received a risk

rating of NO.



Site 109 – Foy’s Transport Tire Service (Facility ID no. 41093) is located at 5102 Clewis Street, Tampa, FL 33610. The HCPA

website shows the property identified as Folio no. 040428-1000,

PIN U-06-29-20-1ME-000000-00007.1, owned by Michael and

Michelle Blake of the same address. The FDEP database shows

the property as a County Small Quantity Generator with a status

of unverified. The date on the report is 1995. No additional

information was found for this site. During the field review the

property appeared to be a single-family residence; however, the

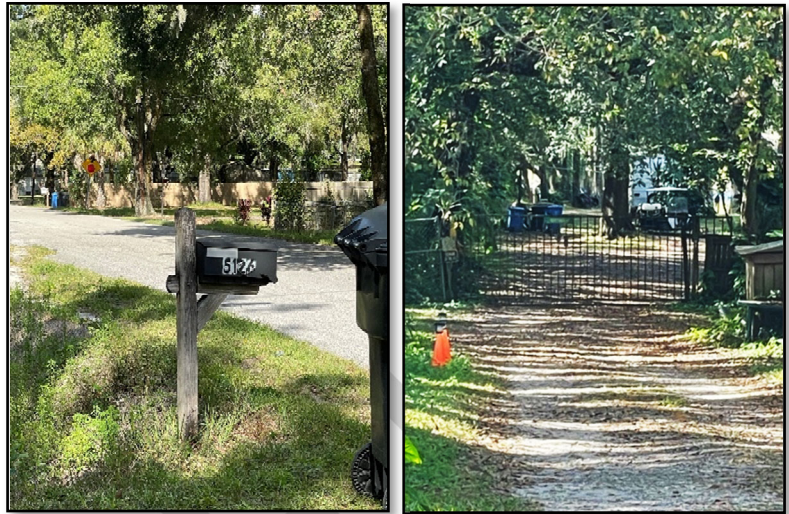
property was gated. Based on current information found in the

FDEP and EPA databases, and the site field review, Site 109

received a risk rating as NO.



Site 110 – Timothy Young Dba Coast to Coast (Facility ID no. 42746) is located at 5126 Clewis Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 040429-0050, PIN U-06-29-20-1ME-000000-00007.3, owned by Christopher and April Juillerat of the same address. The FDEP database shows the property as a having an unverified County Small Quantity Generator in 1994. No additional information was found for this site. The property is listed online as being associated with a gate and accessory business, Access Technicians of FL, LLC



<https://bisprofiles.com/fl/access-technicians-of-florida-l05000114039>. During the field review the property appeared to be a single-family residence; however, the property was gated. Based on current information found in the FDEP and EPA databases, and the site field review, Site 110 received a risk rating as NO.

Site 111 – Capri Kitchens by Billy B. Isom (Facility ID no. 110987) is located at 9507 E. US Highway 92 (E. Hillsborough Avenue), Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 040415-0000, PIN U-06-29-20-1ME-000000-00003.2 with an address of 9601 E. Highway 92, Tampa, and owned by Capri Kitchens, Inc. The FDEP Facility Detailed List Report shows the status as ‘not a hazardous waste generator’ and out of business in April 2020. The field review found the facility is now the office of A&W Maintenance Electronics Repair awmaint.com. The cinder block building contains two garage bays and an office. Outside the outermost bay door were LP gas canisters, old pallet wood and a trash bin. There were no obvious signs of contamination. Based on current information found in the FDEP and EPA databases, and the site field review, Site 111 received a risk rating of NO.

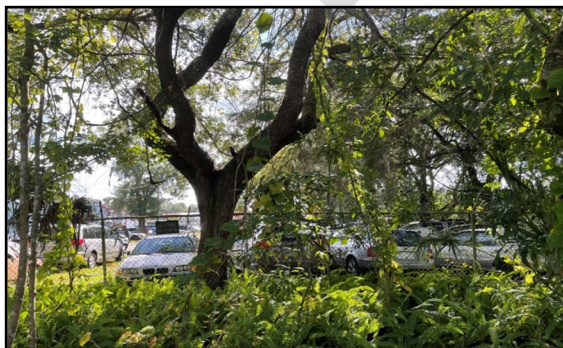


Site 112 – Counter Tops, Inc. (Facility ID no. 111731) is listed as being located at 9511 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 040415-0000, PIN U-06-29-20-1ME-000000-00003.2 with an address of 9601 E. Highway 92, Tampa, and owned by Capri Kitchens, Inc. The FDEP Facility Detailed List Report shows the property status as having a ‘potential generator’ in 1989. No additional information is available for this site. The field review found the facility is now Uplifting Air Heating and Cooling www.upliftingair.com/. The vinyl sided building contains two garage bays. Three exterior sides of the building appear store air conditioner parts/equipment. Based on current information found in the FDEP and EPA databases, and the site field review, Site 112 received a risk rating of LOW.

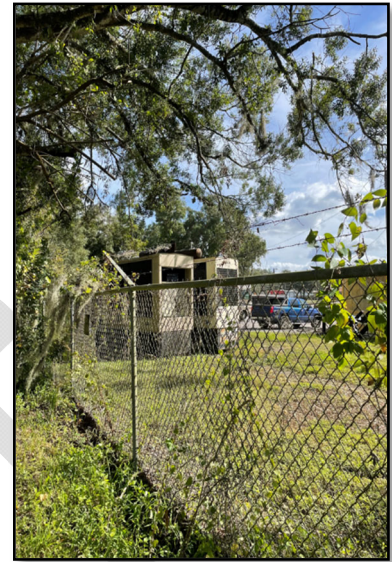


Site 113 – Hillsborough County Parks and Recreation (Facility ID no. 107133) is located at 5288 Eureka Springs Road, Tampa, FL 33610. The HCPA shows the property identified as Folio no. 040555-0000, PIN U-31-28-20-1MG-000000-00054.0, owned by Hillsborough County. The FDEP facility report shows the property status as an active waste generator with a conditionally exempt CSQG. Waste types include HRLG-Absorbents with Halogenated Solvents, LDEB-Fluorescent Lamps/ Devices, and PMIP-Ignitable Paint Wastes – Flashpoint <140F. No additional information is available for this site. Based on current information found in the FDEP and EPA databases, and the site field review, Site 6 received a risk rating of LOW.

Site 114 – Stepps Towing of Tampa (Facility ID no. 9502640) is located at 9602 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA shows the property identified as Folio no. 040562-0000, PIN U-06-29-20-1MG-000000-00054.3, being owned by TT&J Tampa, Inc of the same address, <http://www.stepstowing.com/>. The FDEP facility report shows diesel spills in 1997 (Fleetwing Corp. - less than 25 gallons) and in 1998 (Penn Tank Lines – Quantity Not Given), Hillsborough County Environmental Protection Commission (EPC) enforcement code no. 02-



02640. In 1998, FDEP issued a letter stating the status of the 1997 discharge was unresolved. A time extension was granted and in 2003, environmental consultant ACT provided information to dispute the unresolved status. In 2004, EPC agreed to close the case upon receipt of Site Assessment Reports for both spills. Storage Tank Facility Site Inspection Reports have been conducted consistently. The sites above ground storage tanks (AST) have been in and out of minor compliance since 2007. They were cited as major out of compliance in 2009 for release detection not being performed at least once a month and failure to obtain proof of 3rd party pollution liability insurance on the 995-gallon AST. In June of 2010, a Closure Assessment Report was completed for the removal of the 995-gallon AST. In 2020, the facility was again found major out of compliance at a separate AST for failure to provide approved overfill protection for shop fabricated tank systems and for no financial responsibility documentation from 07/13/2018 to present being available for review. Per F.A.C. 62-762.801, storage tank systems with a lapse in financial responsibility for a period of 90 days or more must be properly closed. There is no evidence that the facility is back in compliance at the time of this report. The field review found the facility to be a cinder block and metal building with four truck repair bays and an office facing E. Hillsborough Avenue. Observations found an active fuel pump a minimum of four truck repair bays, several steel barriers adjacent to the building. The property is fenced; however, it could be seen from the property's periphery that dozens of wrecked and un-operable vehicles are scattered throughout the property, as well as numerous truck trailers, and two presumed abandoned generators.



As the facility was the site of two minor diesel fuel spills in the late 1990s that have been mitigated and the cases closed; it is the site of an AST that have been in and out of minor compliance and currently major out of compliance, and based on field observations, Site 114 site has been given a risk rating of MEDIUM.

Site 115 – Amresco Institutional Inc. (Facility ID no. 8624804) is located 9605 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 040414-0000, PIN U-06-29-20-1ME-000000-00003.1, being owned by 7702 Industrial Lane, LLC of the same address. The FDEP and EPA databases show the site as a Storage Tank Contamination Monitoring (STCM) site and a Registered Tank from STCM for a 1,000-gallon UST used for petroleum installed on the site in 1971. According to the FDEP database, the UST was removed in 1993. The site is currently Specialized Property Services <https://www.specializedservicesgroup.com/> a commercial construction, painting, and restoration contractor. The building has three loading docks in the larger warehouse portion of the building. There were no obvious signs of contamination. Based on the UST being removed, no additional



information being found for the site, and based on field observations, Site 115 has been given a risk rating of LOW.

Site 116 – J Ryan Marine Corp (Facility ID no. 47946) is located 9611 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 040412-0000, PIN U-06-29-20-1ME-000000-00003.0, being owned by Yona Ventures, LLC of McIntosh Road, Dover, FL. Per the Facilities Detailed List Report, the property was the site of an unverified CSQG in 2001. The facility status is out of business. The field review found the property is for sale and is an active boat repair business <https://www.jryanmarine.com/>. The property was scattered with old tires, various boats and boat parts. No additional information is available for this site. Based on current information found in the FDEP and EPA databases, and the site field review, Site 116 received a risk rating of LOW.



Site 117 – C and C Radiator Shop (Facility ID no. 36839) is located 9718 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 040574-0000, PIN U-06-29-20-1MG-000000-00056.1, being owned by Travis Stephens of Mariner Street, Tampa, FL. The site is identified on the FDEP Map Direct as a CSQG. Per the Facilities Detailed List Report, the generator was not a hazardous waste generator. The facility status is out of business. No additional information is available for this site. Based on current information found in the FDEP and EPA databases, and the site field review, Site 117 received a risk rating of NO.



Site 118 – C&S Refinishing (Facility ID no. 110848) is a single-family residence located 5419 Baptist Church Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065219-0000, PIN U-06-29-20-ZZZ-000002-38320.0, being owned by Craig Martin Knecht Life Estate, Christopher Michael Knecht and Corey Matthew Knecht of the same address. The FDEP Facilities Detailed List Report states the property contains an unverified CSQG. The facility status is out of business. No additional information is available



for this site. Based on current information found in the FDEP and EPA databases, and the site field review, Site 118 received a risk rating of NO.

Site 119 – Edward P. Fultz All Pro Roofing (Facility ID no. 135884) is located at 9802 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065221-0000, PIN U-06-29-20-ZZZ-000002-38340.0, being owned by Jerry and Patricia Miguel of the same address.



The property is now Miguel's Automotive and includes the adjacent Folio no. 065220-0000, PIN U-06-29-20-ZZZ-000002-38 330.0 also owned by Jerry and Patricia Miguel with an address of Riverview, FL. This property was identified in FDEP databases as containing a CSQG associated with Edward P. Fultz All Pro Roofing in 2005. No other information for the property was found. The field review found the property fenced with numerous older cars and forklifts about the property. It was also contained LP gas canisters, and several rusted barrels and old refrigerators. Due to the field review and that the property has not been investigated recently by EPC or FDEP, Site 119 has received a risk rating of MEDIUM.

Site 120 – John R. Lutkus DbA Final Touch (Facility ID no. 48322) is located at 5313 Oakwood Court, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065246-0000, PIN U-06-29-20-ZZZ-000002-38530.0, being owned by Oakwood Tampa, LLC of Loxahatchee, FL. The property is an apartment complex consisting of 24 one-bedroom units. The property was identified by FDEP as having an unverified CSQG in 2001. No additional information is available for this site. The field review did not find 5313 Oakwood Court. The units are numbers near where it should be are 5309 and 5311 and 5312 and 5314.



For this reason, the picture provided is from Google Earth. Based on current information found in the FDEP and EPA databases, and the site field review, Site 120 received a risk rating of NO.

Site 121 – Jay Andrew Burton (Facility ID no. 48578) is located at 10004 Hines Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 062664-0000, PIN U-31-28-20-ZZZ-000002-24270.0, being owned by Shirley Diane Scott of the same address. The property was identified by FDEP as having an unverified CSQG associated with a welding shop in 2001. The facility status is out of business. No additional information is available for this site. Based on current information found in the FDEP and EPA databases, and the site field review, Site 121 received a risk rating of NO.



Site 122 – N & R Express (Facility ID no. 8624968) is located at 5320 N. Falkenburg Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065222-0000, PIN U-06-29-20-ZZZ-000002-38350.0, being owned by 5320 N Falkenburg Rd, LLC of the same address. The property is currently a Citgo Fuel Station and Convenience Store located at the southwest corner of N. Falkenburg Road and E. Hillsborough Avenue. According to FDEP and EPA databases, records for the property date back to 1982 with the installation of three 8,000-gallon USTs. In 1987, a self-reported discharge was conveyed to the state placing the property on the Registered Tank from STCM, and Petroleum Contamination Monitoring (PCTS) Discharges from STCM databases. In a letter dated April 27, 1999, FDEP affirms the owner is released from further obligation to conduct site rehabilitation, except as outlined in the letter. In 1999, three additional USTs were placed on the property. There are no records in the databases for the property again until 2007 when the FDEP issued a minor out of compliance in their annual inspection report. The facility is annually found in and out of compliance for minor offenses through 2021. There were no reports found stating the facility has been major out of compliance at any time and all minor violations have been corrected placing the facility in good standing annually. The field review found three barrels on the back of the property in a fenced area. The contents appear to be roof tar, but this is unverified. Warning labels are visible on two of the barrels. Based on current information found in the FDEP and EPA databases, and the site field review, Site 122 received a risk rating of MEDIUM.



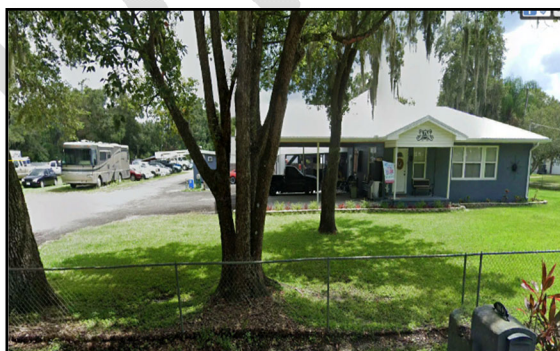
Site 123 – W&H Well Drilling, Inc. (Facility ID no. 123529) is a single-family residence located at 5306 N. Falkenburg Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065255-0000, PIN U-06-29-20-ZZZ-000002-38640.0, being owned by Robert Joseph Kapeluch of the same address. The property was identified by FDEP as having an unverified CSQG in 2007. The facility status is out of business. No additional information is available for this site. The field review found the property fenced. Based on current information found in the FDEP and EPA databases, and the site field review, Site 123 received a risk rating of NO.



Site 124 – **Rudolfo Mendoza**. (Facility ID no. 43594) is single-family residence located at 5309 N. Falkenburg Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065111-0000, PIN U-05-29-20-ZZZ-000002-37740.0, being owned by Leonardo Ramirez of the same address. The FDEP website identifies the property as having an unverified CSQG in 1997. The facility status is out of business. No additional information is available for this site. The field review found no signs of contamination. Based on current information found in the FDEP and EPA databases, and the site field review, Site 124 received a risk rating of NO.



Site 125 – CW Motorsports (Facility ID no. 136734) is located at 10109 Tanner Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065123-0000, PIN U-05-29-20-ZZZ-000002-37840.0, being owned by Curtis Lee Wallace of the same address. The FDEP website identifies the property as having a conditionally exempt CSQG as an active waste generator in 2004. Waste types include BDEB – Lead-Acid Batteries, NMRA– Nonhalogenated Solvents – Mixed Liquids, and UPEO – Used Oils and Other Lubricants. No additional information is available for this site. The field review found an active business on the property although a google search and FL SunBiz search did find a business under the name CW Motorsports. The property has three garage bays adjacent to the residential structure facing Tanner Road and approximately four bays and a loading dock located



in a large metal building on the back of the property. As the business was not found on the internet, and the property listed as a single-family residence by the HCPA, the property was not entered. Google Earth aerial shows numerous vehicles lining the periphery of the property on the back. Based on current information found in the FDEP and EPA databases, and the site field review, Site 125 received a risk rating of MEDIUM.

Site 126 – Rollercoat Industries, Inc. (Facility ID no. FLD982174104) is manufacturing facility located at 10135 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065103-0100, PIN U-05-29-20-ZZZ-000002-37640.0, being owned by Joseph and Ellie Maureen Lancaster of the same address. The FDEP database shows the facility registered for a hazardous waste CSQG in 1989 under the name TOG Graphics, Inc. In 1992, the facility name was changed to Rollercoat Industries, Inc. In 2004, an EPC site visit was performed, and the facility found in compliance for waste management regulations. In a 2010 Hazardous Waste Inspection Report, the facility was cited for several minor violations. In a memorandum dated September 21, 2010, it states the facility was returned to compliance. No other information is found for this facility. The property site visit found the facility with one loading bay that had no signs of contamination. Based on current information found in the FDEP and EPA databases, and the site field review, Site 126 received a risk rating of LOW.



Site 127 – Bankston Motor Homes, Inc. (Facility ID no. 110172) is located at 10205 E. Hillsborough Avenue, Tampa, FL 33610. The HCPA website shows the property identified as Folio nos. 065080-0200 and 065080-0200, PINs U-05-29-20-ZZZ-000002-37330.0 and U-05-29-20-ZZZ-000002-37340.0, being owned by Nelson Gordon and Caroline Anthony of Tampa, FL. The property was identified by FDEP as having an unverified CSQG in 1993. The facility status is inactive – does not generate waste. No additional information is available for this site. The property is currently Accurate Equipment Service, Inc. The field review identified the property with a cinder block



building with two truck bays and an office area. The building did not appear to be in use; however, the grounds were being maintained. Several old cars, a semitruck trailer, and several metal barrels could be seen on the southeast side of the property behind the existing building. Based on current information found in the FDEP and EPA databases, and the site field review, Site 127 received a risk rating of MEDIUM.

Site 128 – Scott Montney Forklift Repair (Facility ID no. 47621) is located at 10209 Tanner Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065119-0000, PIN U-05-29-20-ZZZ-000002-37800.0, being owned by Russell and Diane Keene at the adjacent address. The FDEP website identifies the property as having an unverified CSQG in 2000 for an automotive service repair shop. The facility status is out of business. No additional information is available for this site. The field review found the property vacant. Based on current information found in the FDEP and EPA databases, and the site field review, Site 128 received a risk rating of NO.

Site 129 – R & R Keene (Facility ID no. 36300) is located at 10210 Tanner Road, Tampa, FL 33610. The HCPA website shows the property identified as Folio no. 065085-0100, PIN U-05-29-20-ZZZ-000002-37440.0, being owned by Diane Keene of the same address. The FDEP website identifies the property as having an unverified CSQG in 1996 for sheet metal manufacturing work. The facility status is out of business. No additional information is available for this site. The field review found a single wide mobile home on the property as well as a large outbuilding. There were no obvious signs of contamination. Based on current information found in the FDEP and EPA databases, and the site field review, Site 129 received a risk rating of NO.



Site 130 – Frank L. Cason Pressure Washing (Facility ID no. 135854) is a single-family residence located at 5331 Sylvia Place, Tampa, FL 33610; however, the HCPA website does not identify a property at this address. The property appears to have been joined with 5335 Sylvia Place, Folio no. 065065-0000, PIN U-05-29-20-ZZZ-000002-37200.0 Owned by Dale Luther Tanner, Carol Alda Fox, and Janet Loretta McNair of the same address.

The FDEP website identifies the property as having an unverified CSQG in 2005. The facility status is out of business. No additional information is available for this site. The field review did not see obvious signs of contamination. Based on current information found in the FDEP and EPA databases, and the site field review, Site 130 received a risk rating of NO.

Table 4. shows a summary of all newly identified potentially contaminated properties in the I-75/I-4 southwest quadrant project limits.

Table 4. 2021 Newly Identified Potentially Contaminated Properties in the I-75/I-4 Interchange Southwest Quadrant

Site No.	Risk Rating	Facility ID No	Facility	Address	Notes
108	NO	110732	Action Transport Services	5306 Clewis Avenue	Documentation shows the property as having an unverified CSQG. No signs of any contamination at site visit.
109	NO	041093	Foy's Transport Tire Service	5102 Clewis Avenue	Documentation shows the property as having an unverified CSQG. Date on the report is 1995.
110	NO	042746	Timothy Young Coast to Coast	5126 Clewis Avenue	Documentation shows the property as having an unverified CSQG. Date on the report is 1994.
111	NO	110987	Capri Kitchens by Billy Isom	9507 E. Hillsborough Avenue	The FDEP Facility Detailed List Report shows the status as 'not a hazardous waste generator' and out of business in April 2020.
112	LOW	111731	Counter Tops, Inc.	9511 E. Hillsborough Avenue	The FDEP Facility Detailed List Report shows the property status as having a 'potential generator' in 1989.
113	LOW	29064630	Hillsborough County Parks and Recreation	5288 Eureka Springs Road	
114	MEDIUM	9502640	Stepps Towing	9602 E. Hillsborough Avenue	FDEP shows diesels spills in the late 1990's and the facility major out of compliance on several occasions. Site review found abandoned cars on the site.
115	LOW	8624804	Amresco Institutional Inc.	9605 E. Hillsborough Avenue	Documentation shows one 1,000-gallon UST was instilled in 1971 and removed in 1993.

116	LOW	047946	J Ryan Marine	9611 E. Hillsborough Avenue	The property is listed as having a CSQG in 2001 and out of business. Field review found the property is boat repair center.
117	NO	036839	C and C Radiator Shop	9718 E. Hillsborough Avenue	The site is identified as a CSQG. Per the Facilities Detailed List Report, the generator was not a hazardous waste generator. The facility status is out of business.
118	NO	110848	C&S Refinishing	5419 Baptist Church Avenue	FDEP states the property contains an unverified CSQG. The facility status is out of business. Field review identified the property as a residence.
119	MEDIUM	135884	Edward P Fultz All Pro Roofing	9802 E. Hillsborough Avenue	FDEP states the property contains a CSQG. The field review found the property littered with rusted barrels, old refrigerators, and abandoned cars.
120	NO	048322	John R. Lutkus Db a Final Touch	5313 Oakwood Court	The property was identified by FDEP as having an unverified CSQG in 2001.
121	NO	048578	Jay Andrew Burton	10004 Hines Road	The property was identified by FDEP as having an unverified CSQG associated with a welding shop in 2001. The facility status is out of business.
122	MEDIUM	8624968	N&R Express	5320 N. Falkenburg Road	Property has USTs dating back to 1982 (3-8,000-gallon). A discharge occurred in 1987. Three additional USTs installed 1999. All currently in compliance. Field review found metal barrels on the back of the fenced property.

123	NO	123529	W&H Well Drilling, Inc.	5306 N. Falkenburg Road	The property was identified by FDEP as having an unverified CSQG in 2007. The facility status is out of business.
124	NO	043594	Rudolfo Mendoza	5309 N. Falkenburg Road	The FDEP website identifies the property as having an unverified CSQG in 1997. The facility status is out of business.
125	MEDIUM	136734	CW Motorsports	10109 Tanner Road	The FDEP website identifies the property as having a conditionally exempt CSQG as an active waste generator in 2004. Waste types include BDEB – Lead-Acid Batteries, NMRA–Nonhalogenated Solvents – Mixed Liquids, and UPEO – Used Oils and Other Lubricants.
126	LOW	FLD982174104	Rollercoat Industries, Inc.	10135 E. Hillsborough Avenue	FDEP shows the facility registered for a hazardous waste CSQG in 1989. In 2010, the facility was found out of compliance, but reinstated the same year. No additional information available.
127	MEDIUM	110172	Bankston Motor Homes, Inc.	10205 E. Hillsborough Avenue	The property was identified by FDEP as having an unverified CSQG in 1993. The facility status is inactive – does not generate waste. Field review found rested barrels and abandoned cars on the site.
128	NO	047621	Scott Montney Forklift Repair	10209 Tanner Road	FDEP website identifies the property as having an unverified CSQG in 2000 for an automotive service repair shop. The facility status is out of business.

129	NO	036300	R & R Keene	10210 Tanner Road	The FDEP website identifies the property as having an unverified CSQG in 1996 for sheet metal manufacturing work. The facility status is out of business.
130	NO	135854	Frank L. Cason Pressure Washing	5331 Sylvia Place	FDEP identifies the property as having an unverified CSQG in 2005. The facility status is out of business.

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4.0 SUMMARY OF FINDINGS AND RECOMMENDATIONS

Within the project limits, a total of 47 potential SMF sites, 11 potential FPC sites, including nine potential easements were evaluated. Of the potential SMF and FPC sites evaluated, 26 sites were rated NO, 20 sites were rated LOW, 12 sites were rated MEDIUM, and no sites were rated HIGH.

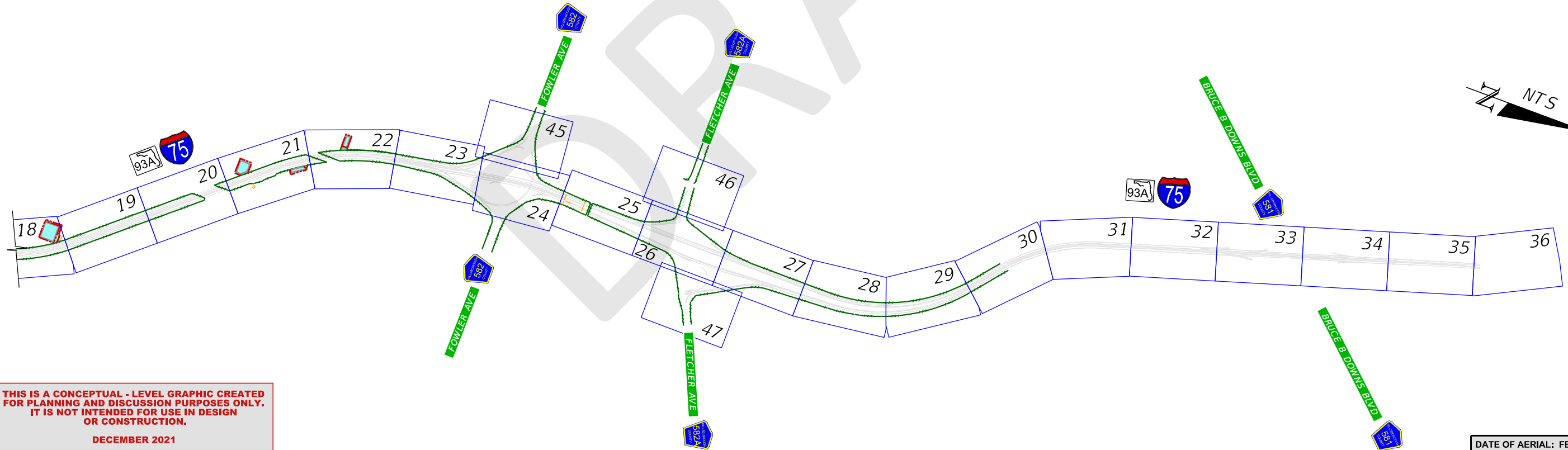
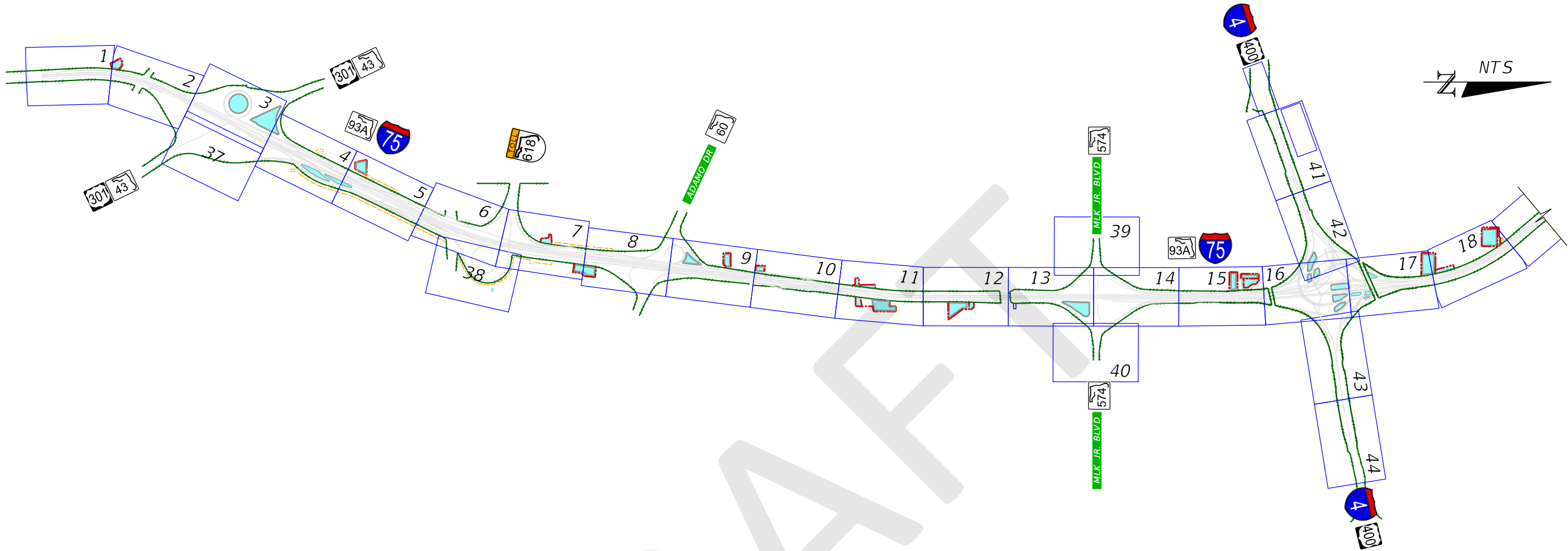
In addition to the SMFs and FPCs, the project limits were reassessed for sites not found in the 2010 CSER and the extended project limits from north of Fletcher Avenue to north of Bruce B. Downs Boulevard were evaluated. The southwest quadrant of the I-75 and I-4 interchange from the Tampa Bypass Canal east to the I-4 ramps was also reviewed for contamination. The northern project limits from north of Fletcher to north of Bruce B. Downs Boulevard identified a total of 23 potentially contaminated properties not previously identified. Of the 23 sites, 17 sites were rated LOW, no sites were rated MEDIUM, no sites were rated HIGH. Six sites were rated NO. The southwest quadrant of the I-75 and I-4 interchange identified 26 potentially contaminated properties. Of these 26 sites, 8 were rated LOW, 5 were rated MEDIUM, no sites were rated HIGH, and 13 sites rated NO.

It is recommended that a Level II Contamination Assessment be performed for the 35 MEDIUM rated sites. The contamination assessment should be conducted to the degree necessary to determine levels of contamination and evaluate clean-up options and the associated costs, if necessary. Subsequent sampling/analysis is recommended in order to avoid and/or minimize the acquisition of contaminated right-of-way areas and potential impacts on construction activities during excavation and/or dewatering in these areas, as appropriate. The Level II Contamination Assessment should include field screening and the collection of soil and groundwater samples for laboratory analysis, where applicable.

Appendix A

Concept Plans

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND		EASEMENT		NON-INTERSTATE FACILITY
		EXISTING ROW		PARKS
		PROPOSED ROW		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	PROPOSED LA ROW		POTENTIALLY CONTAMINATED SITE	
	POTENTIAL NOISE BARRIER WALL		BUSINESS/RESIDENTIAL RELOCATION	
	EXISTING NOISE WALL			
	GENERAL USE BRIDGES			
	EXPRESS BRIDGES			
	EXPRESS LANES			
	GENERAL USE LANES			
	PREFERRED SMF/FPC AREAS			
	TRAFFIC SIGNAL			



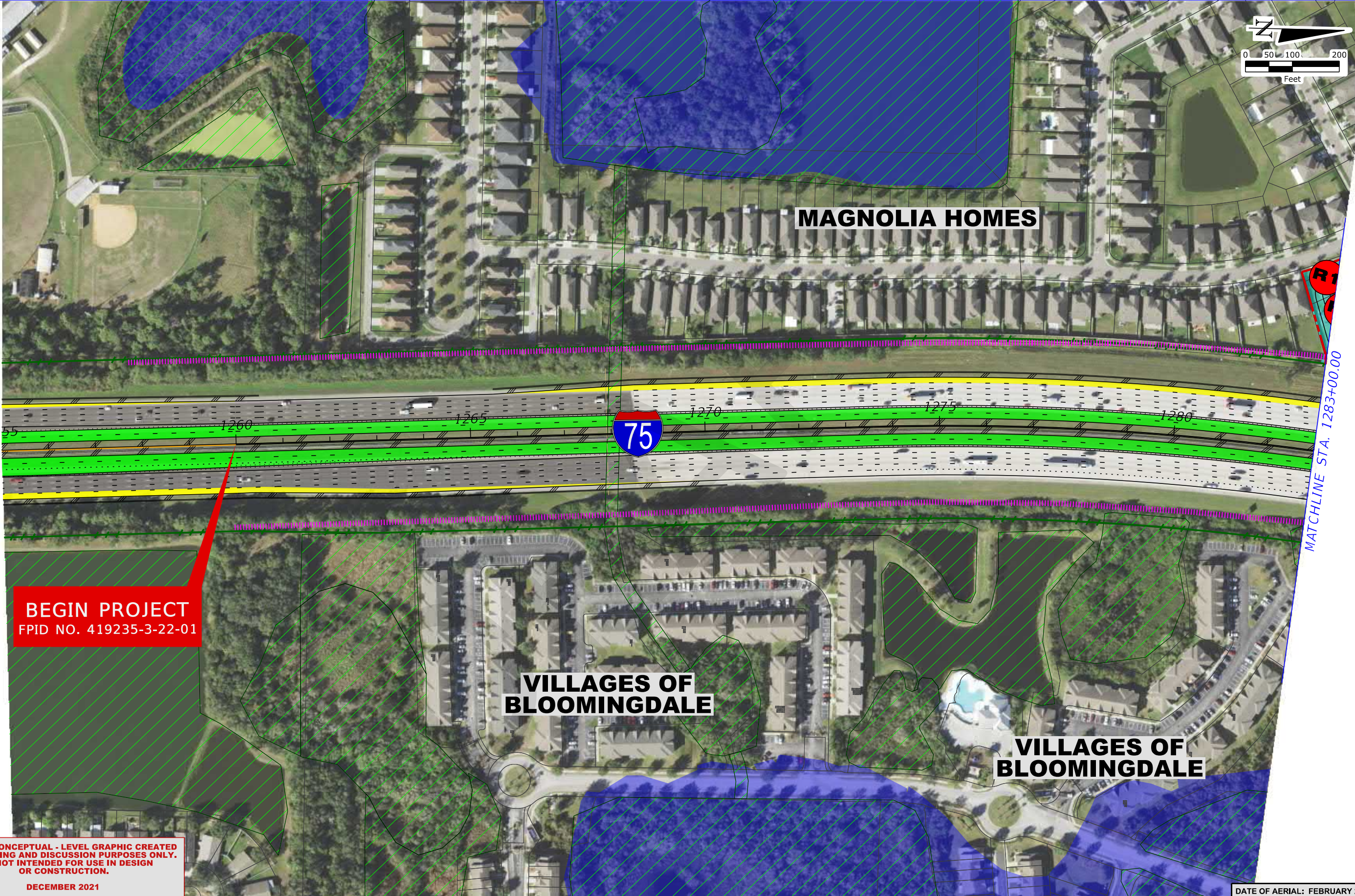
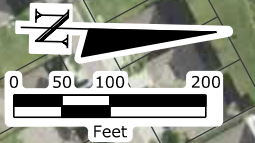
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

CONCEPT PLANS
PREFERRED ALTERNATIVE

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
PL-1



BEGIN PROJECT
FPID NO. 419235-3-22-01

MATCHLINE STA. 1283+00.00

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

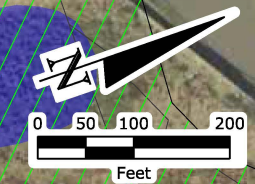
**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
1

MAGNOLIA HOMES

SOLE AT BRANDON



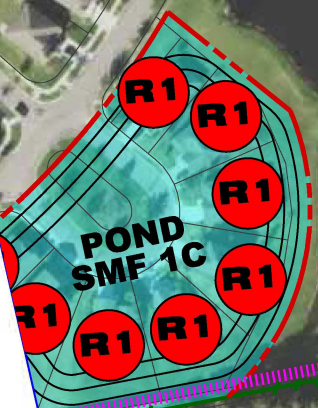
PROGRESS BLVD

PROGRESS BLVD



XSCAPE THEATRES
REVIRVIEW 14

TRANQUILITY
LAKE



MATCHLINE STA. 1283+00.00

MATCHLINE STA. 1311+00.00

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND		EASEMENT		NON-INTERSTATE FACILITY
		EXISTING ROW		PARKS
		PROPOSED ROW		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	PROPOSED LA ROW		POTENTIALLY CONTAMINATED SITE	
	POTENTIAL NOISE BARRIER WALL		BUSINESS/RESIDENTIAL RELOCATION	
	EXISTING NOISE WALL			
	GENERAL USE BRIDGES		EXPRESS BRIDGES	
	EXPRESS LANES		GENERAL USE LANES	
	PREFERRED SMF/FPC AREAS		TRAFFIC SIGNAL	



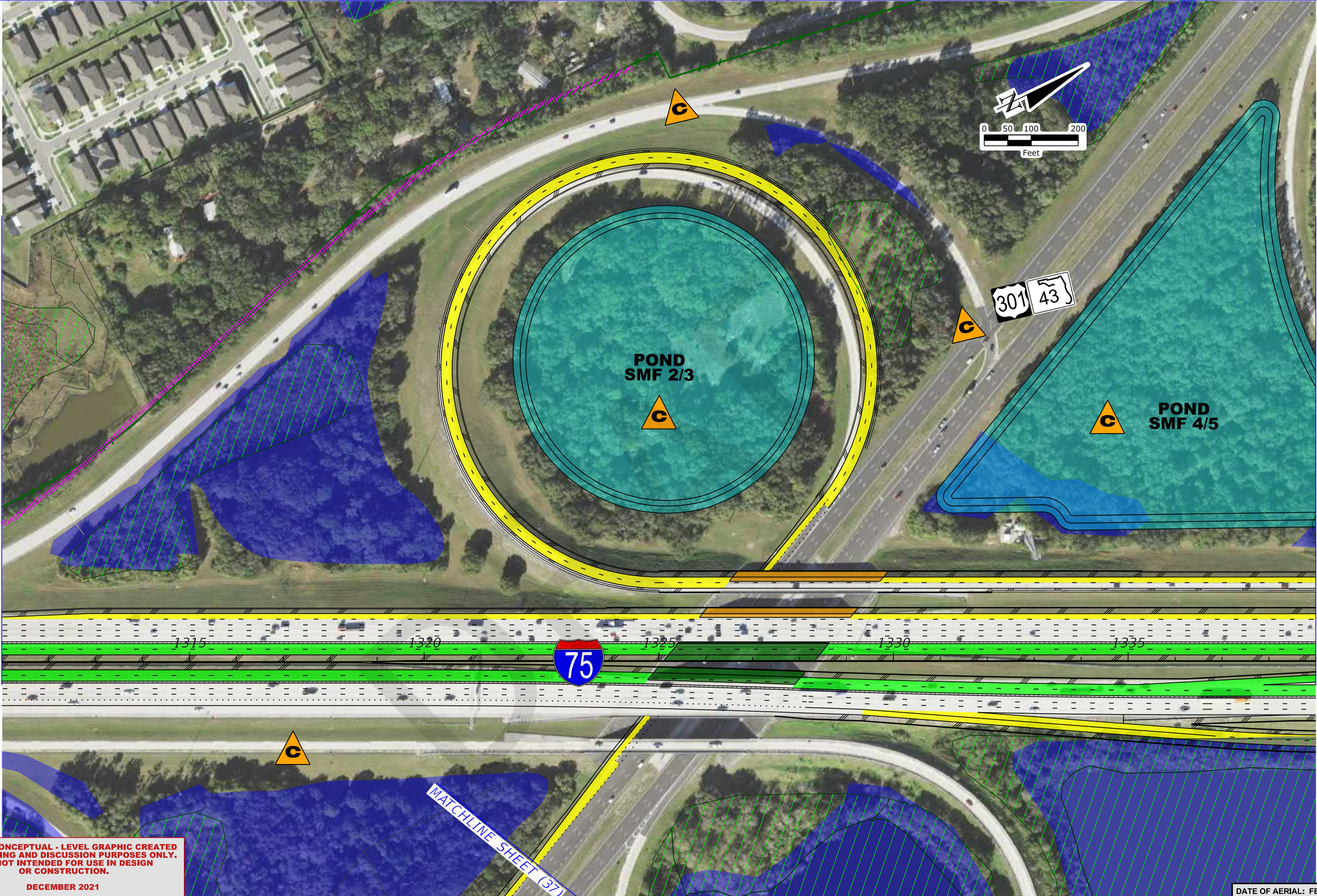
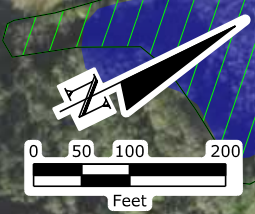
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
2

MATCHLINE STA. 1311+00.00

MATCHLINE STA. 1339+00.00



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

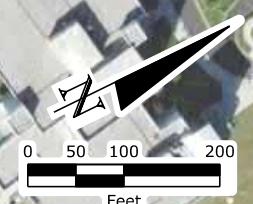
**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
3

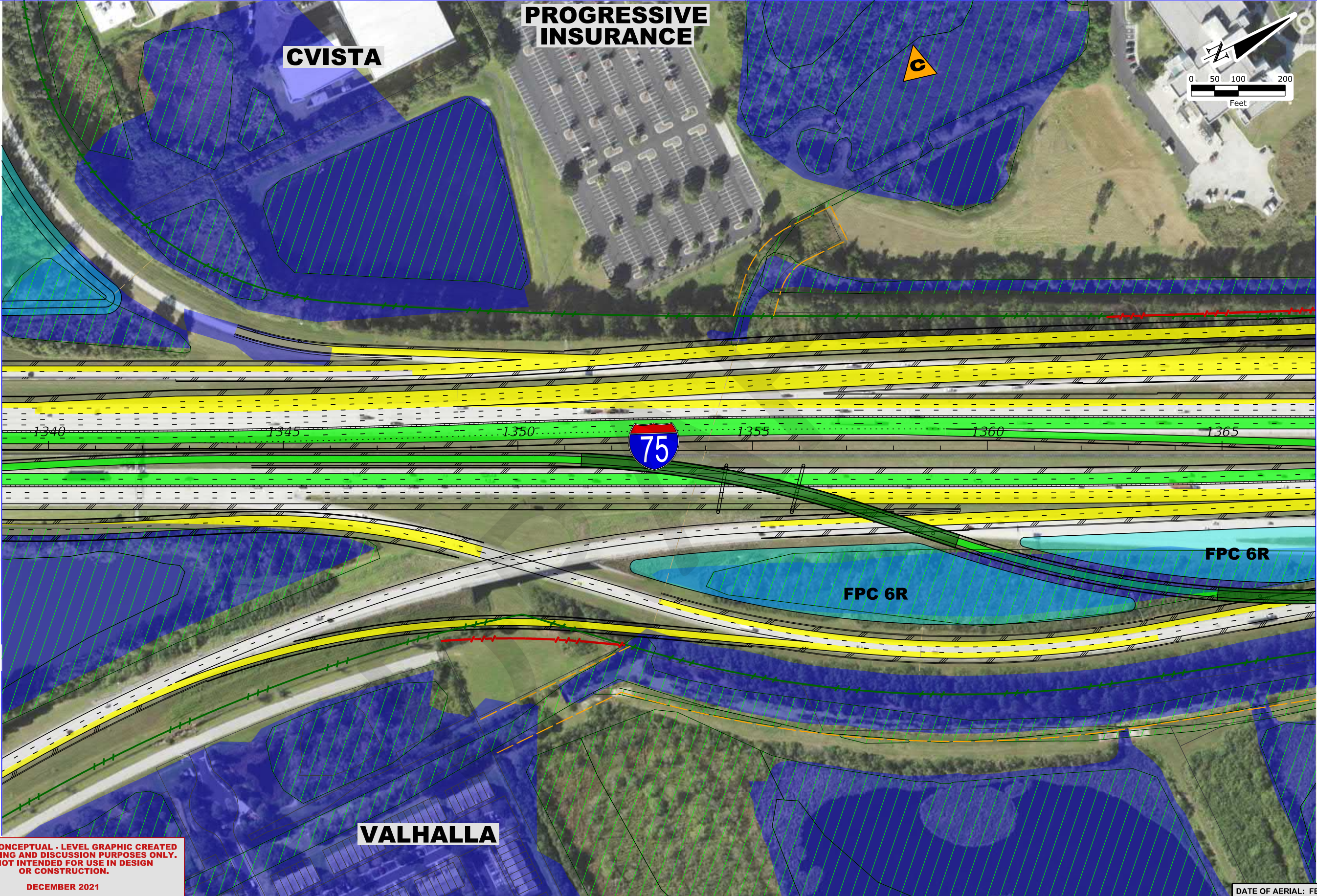
PROGRESSIVE INSURANCE

CVISTA



MATCHLINE STA. 1339+00.00

MATCHLINE STA. 1367+00.00



VALHALLA

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

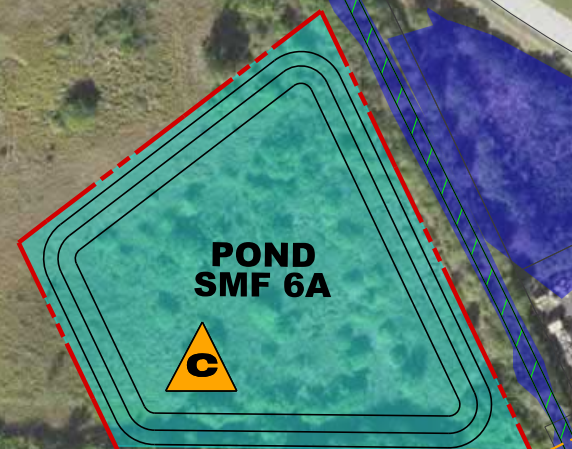
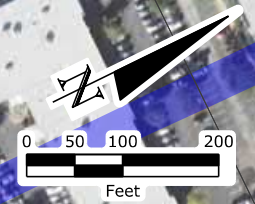
LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
4



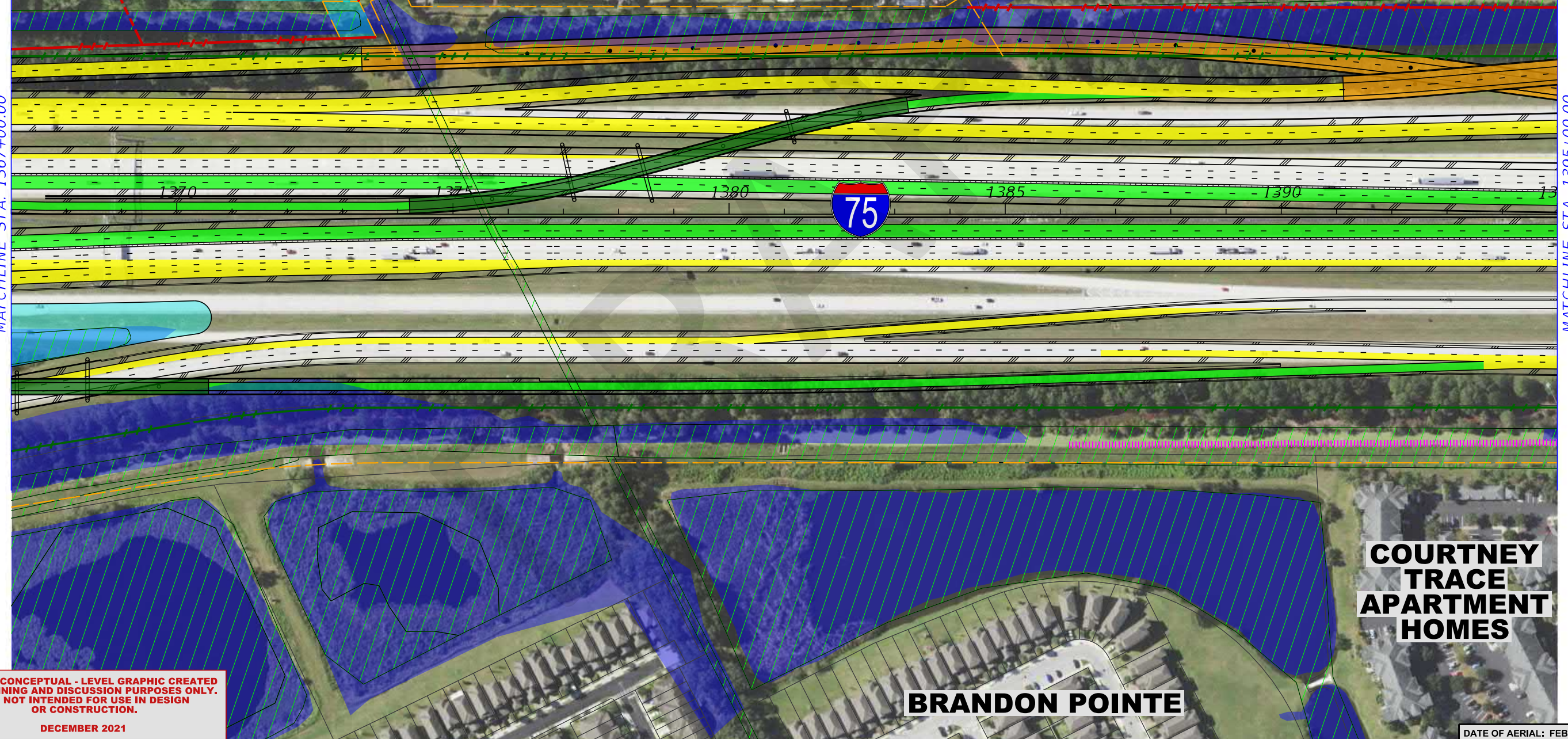
OMNI CABLE

CARDEL HOMES

BRANDON PROFESSIONAL PLAZA

MATCHLINE STA. 1367+00.00

MATCHLINE STA. 1395+00.00



COURTNEY TRACE APARTMENT HOMES

BRANDON POINTE

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DATE OF AERIAL: FEBRUARY 2020

LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			

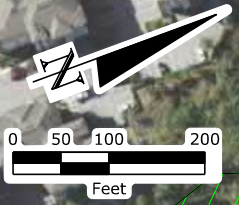


STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
5

BRANDON CROSSROADS



BRANDON PROFESSIONAL PLAZA

CAUSEWAY BLVD



MATCHLINE STA. 1395+00.00

MATCHLINE STA. 1423+00.00



1400

1405

1410

1415

1420

COURTNEY TRACE APARTMENT HOMES

COSTCO



MATCHLINE SHEET (38)

MATCHLINE SHEET (38)

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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



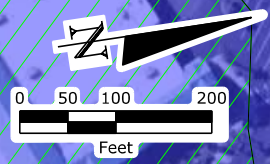
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.	6
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TOPGOLF

BASS PRO SHOPS

FPC 7



POND SMF 7/8

MATCHLINE STA. 1423+00.00

MATCHLINE STA. 1451+00.00

MATCHLINE SHEET (38)

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DATE OF AERIAL: FEBRUARY 2020

LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

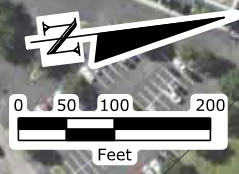
SHEET NO.	7
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EMBASSY SUITES

HOME2 SUITES

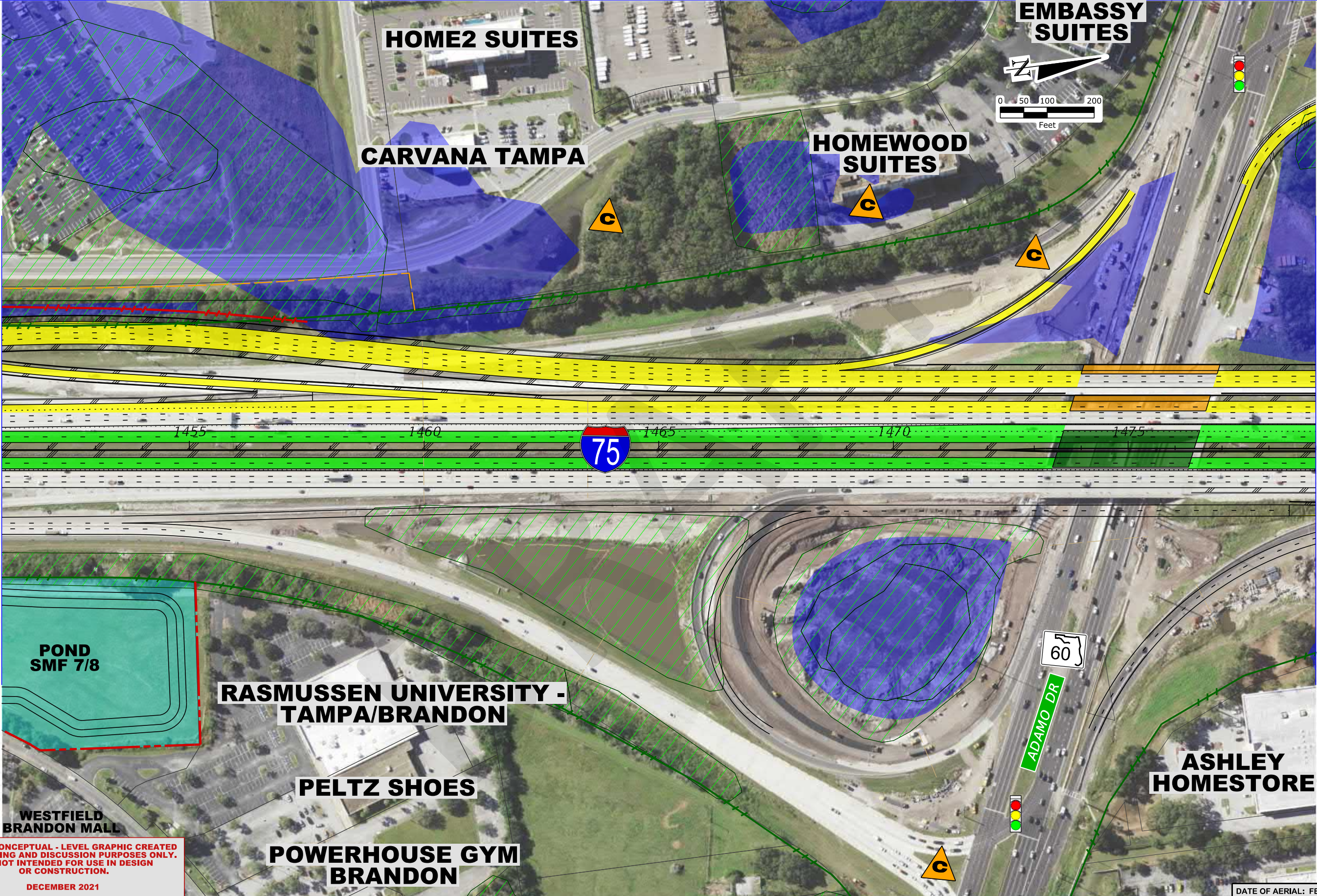
CARVANA TAMPA

HOMEWOOD SUITES



MATCHLINE STA. 1451+00.00

MATCHLINE STA. 1479+00.00



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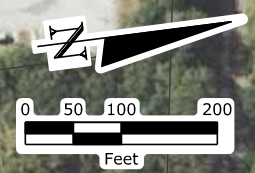
LEGEND		EASEMENT		NON-INTERSTATE FACILITY
		EXISTING ROW		PARKS
		PROPOSED ROW		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	PROPOSED LA ROW		POTENTIALLY CONTAMINATED SITE	
	POTENTIAL NOISE BARRIER WALL		BUSINESS/RESIDENTIAL RELOCATION	
	EXISTING NOISE WALL			
	GENERAL USE BRIDGES			
	EXPRESS BRIDGES			
	EXPRESS LANES			
	GENERAL USE LANES			
	PREFERRED SMF/FPC AREAS			
	TRAFFIC SIGNAL			



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

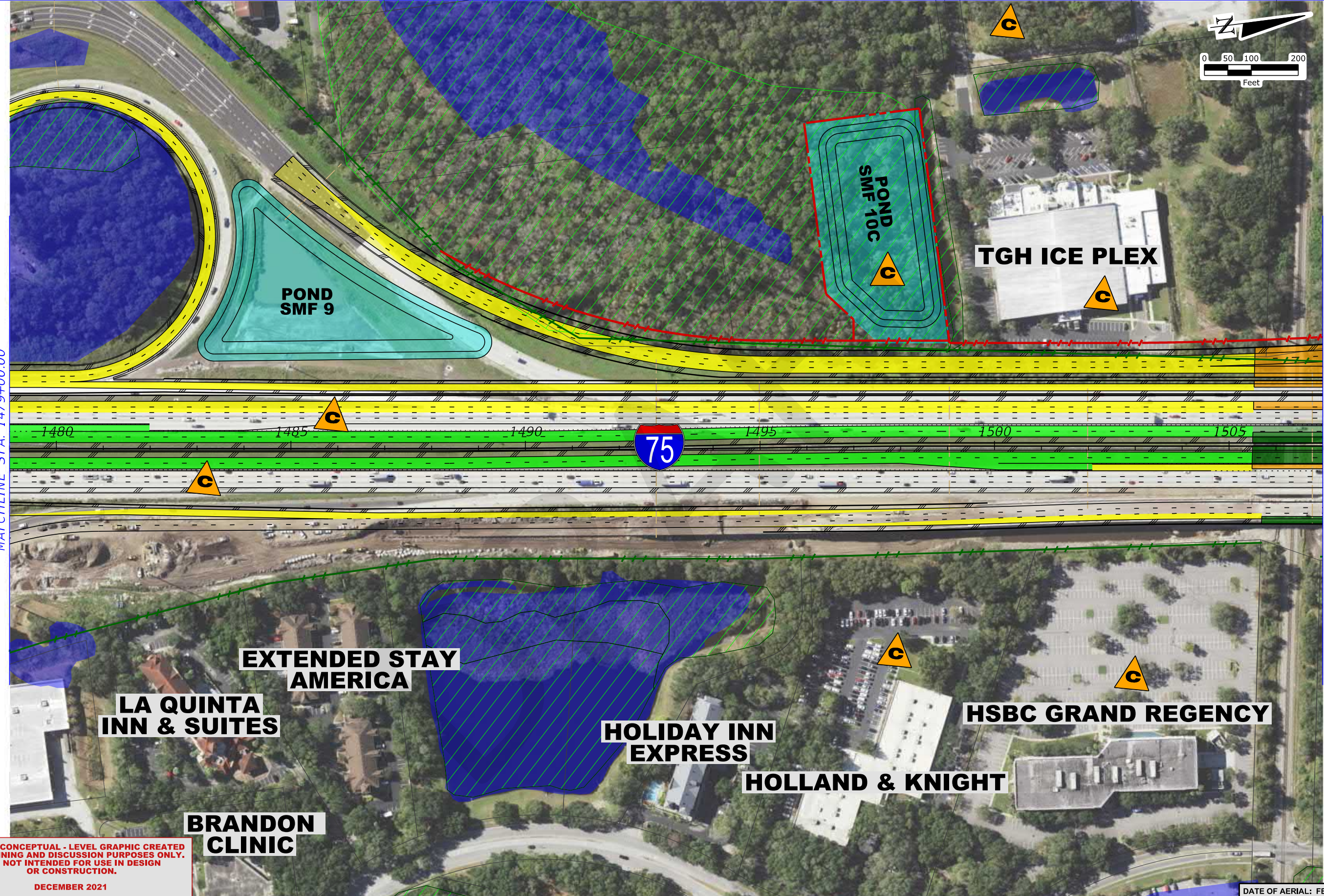
I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
8



MATCHLINE STA. 1479+00.00

MATCHLINE STA. 1507+00.00



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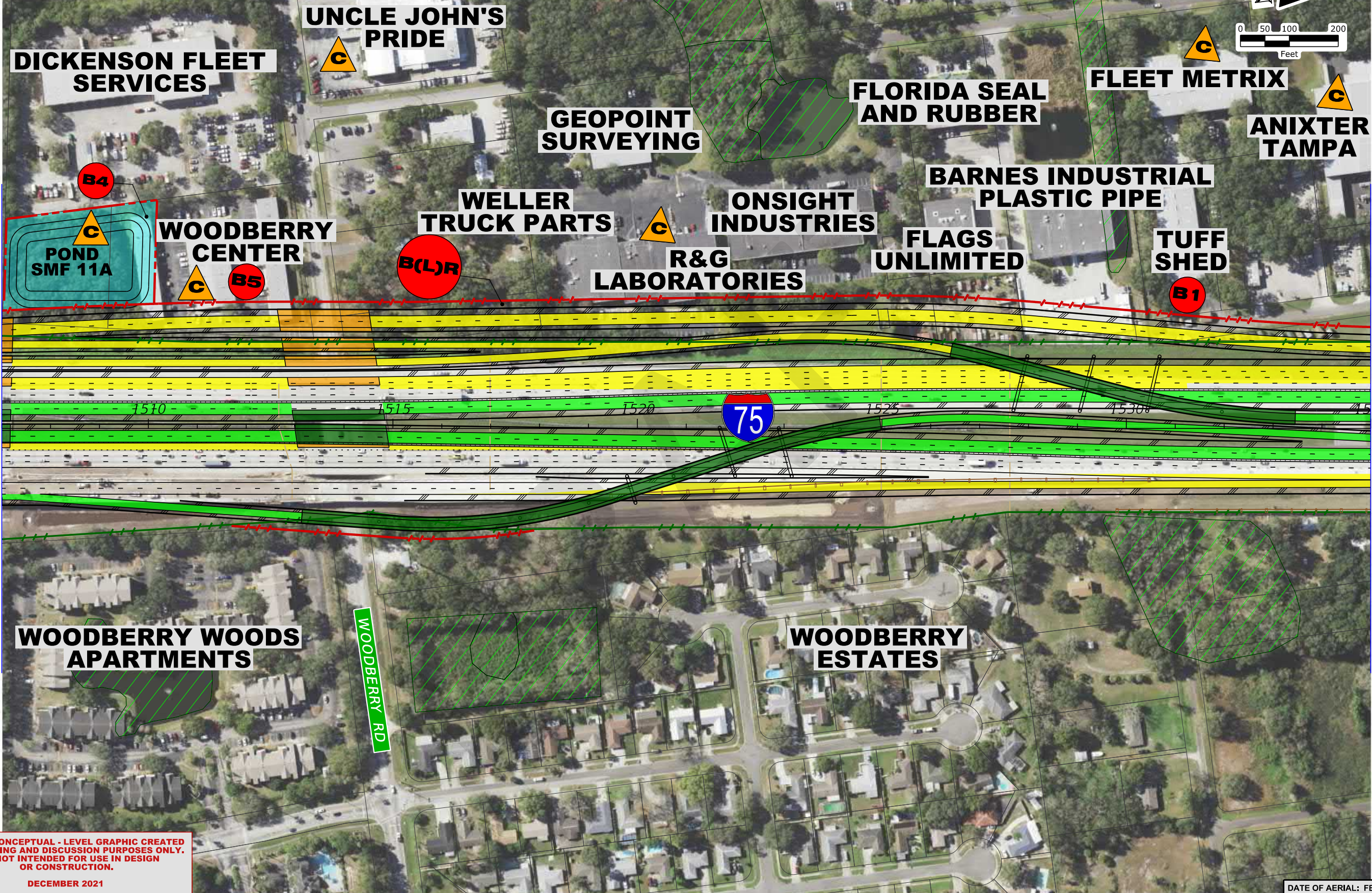
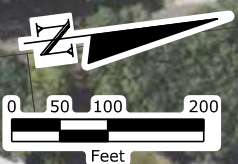
LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
9



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			



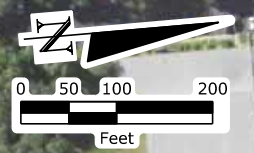
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

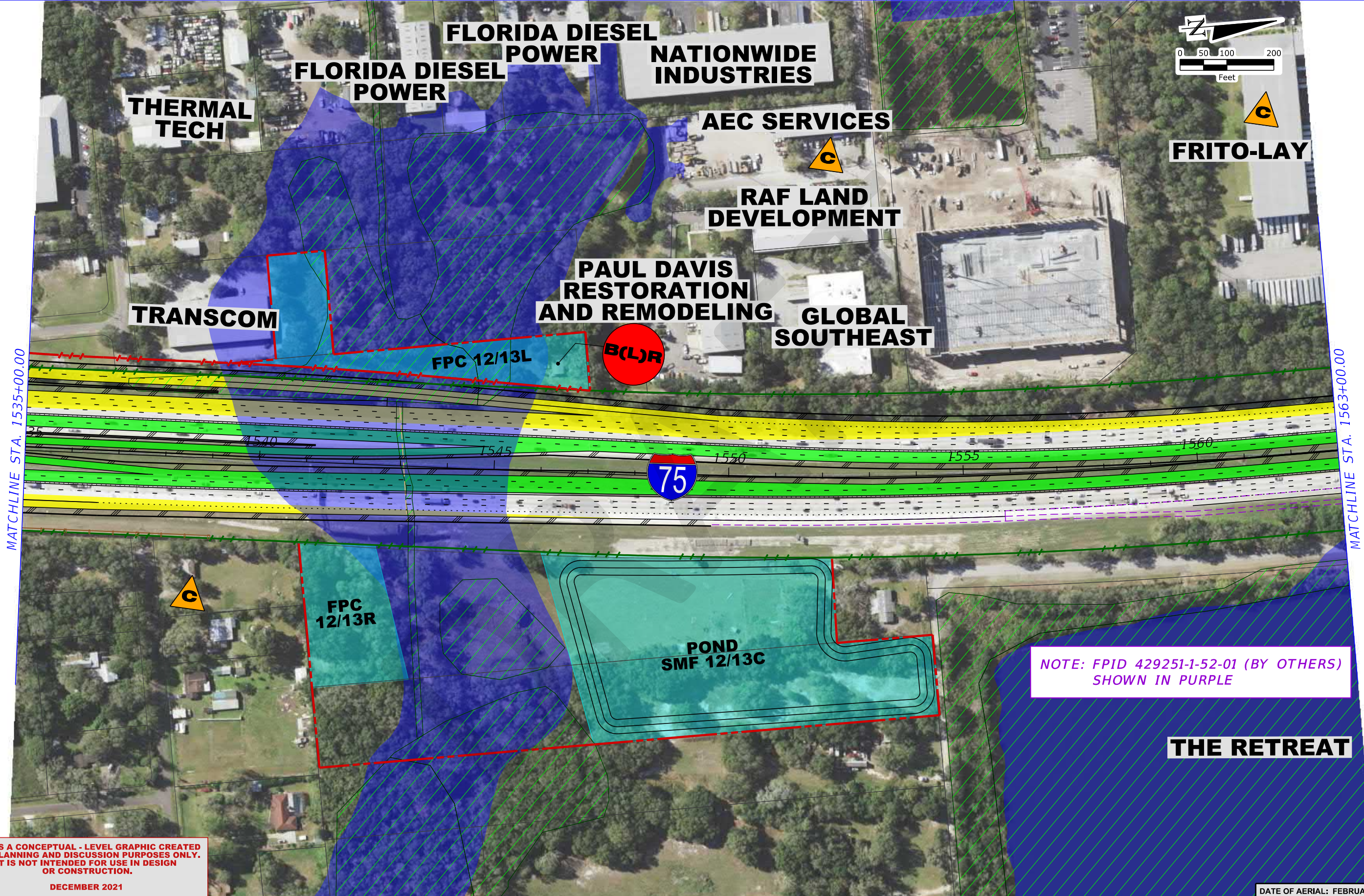
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
10



MATCHLINE STA. 1535+00.00

MATCHLINE STA. 1563+00.00



NOTE: FPID 429251-1-52-01 (BY OTHERS) SHOWN IN PURPLE

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

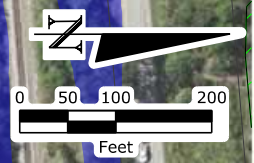
LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
11

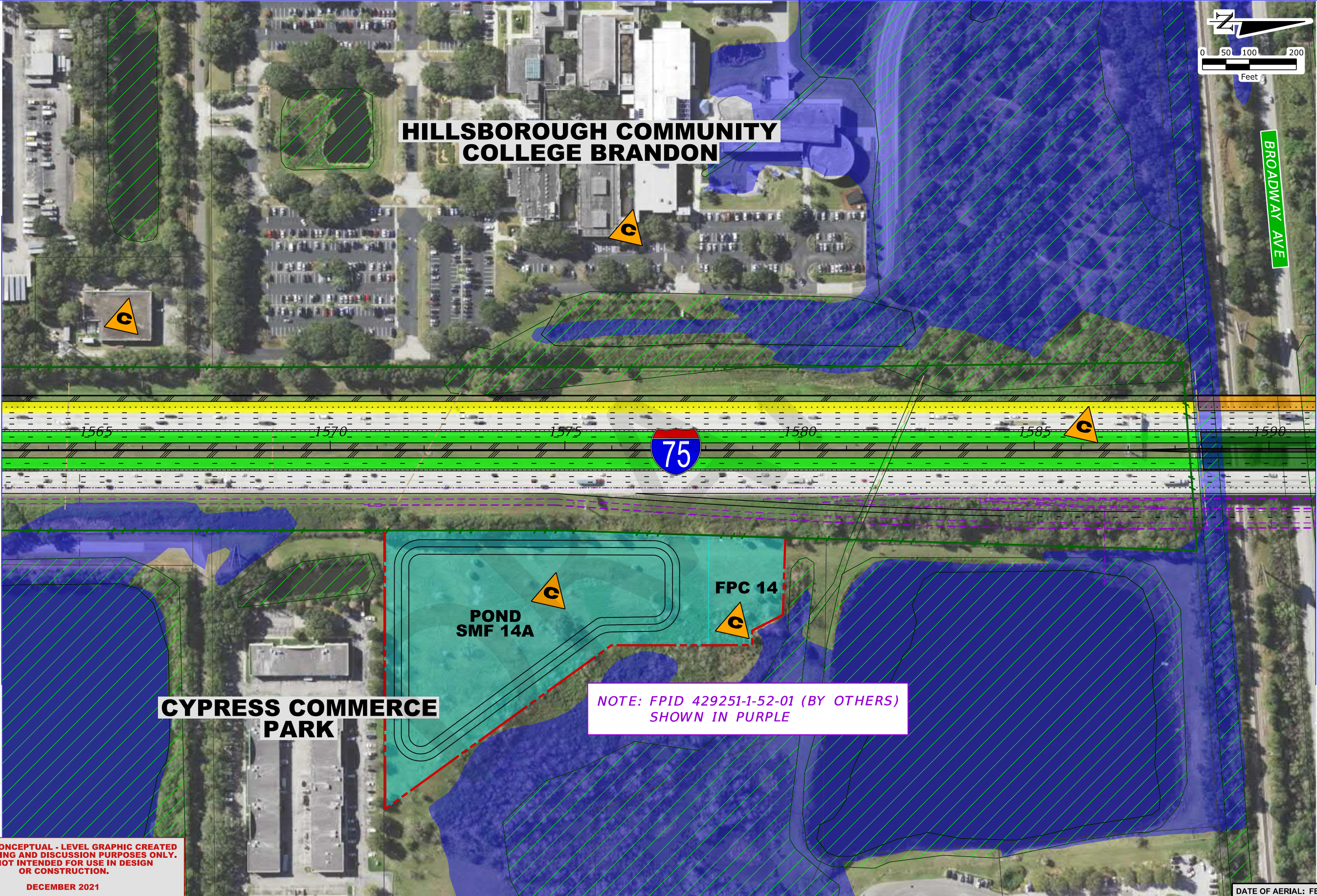


HILLSBOROUGH COMMUNITY COLLEGE BRANDON

BROADWAY AVE

MATCHLINE STA. 1563+00.00

MATCHLINE STA. 1591+00.00



CYPRESS COMMERCE PARK

POND SMF 14A

FPC 14

NOTE: FPID 429251-1-52-01 (BY OTHERS) SHOWN IN PURPLE

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

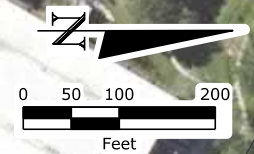
I-75 PD & E STUDY - WPI SEG. NO. 419235-3
**CONCEPT PLANS
 PREFERRED ALTERNATIVE**
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
12

CITIBANK CENTER

SHERATON TAMPA

MATCHLINE SHEET (39)



MATCHLINE STA. 1591+00.00

MATCHLINE STA. 1619+00.00

1595 1600 1605 1610 1615



**POND
SMF 15/16**

NOTE: FPID 429251-1-52-01 (BY OTHERS)
SHOWN IN PURPLE

**REVIVAL MINISTRIES
INTERNATIONAL**

MATCHLINE SHEET (40) FEBRUARY 2020

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DECEMBER 2021

LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
13

MATCHLINE SHEET (39)



CHASE MORTGAGE

CHASE MORTGAGE

COGNIZANT TECHNOLOGY SOLUTIONS

CHASE MORTGAGE

MATCHLINE STA. 1619+00.00

MATCHLINE STA. 1647+00.00



NOTE: FPID 429251-1-52-01 (BY OTHERS) SHOWN IN PURPLE

NEWSOUTH WINDOW SOLUTIONS

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DATE OF AERIAL: FEBRUARY 2020

LEGEND		EASEMENT		GENERAL USE BRIDGES		NON-INTERSTATE FACILITY
		EXISTING ROW		EXPRESS BRIDGES		PARKS
		PROPOSED ROW		EXPRESS LANES		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		GENERAL USE LANES		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	PROPOSED LA ROW		PREFERRED SMF/FPC AREAS		POTENTIALLY CONTAMINATED SITE	
	POTENTIAL NOISE BARRIER WALL		TRAFFIC SIGNAL		BUSINESS/RESIDENTIAL RELOCATION	
	EXISTING NOISE WALL					



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
**CONCEPT PLANS
 PREFERRED ALTERNATIVE**
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
14



MATCHLINE STA. 1647+00.00

MATCHLINE STA. 1675+00.00



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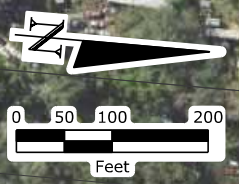
LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
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CONCEPT PLANS
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FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
15



MATCHLINE SHEET (42)

EMS AUTOMOTIVE

ACCENT MARINE

POND SMF 19D

POND SMF 19D

POND SMF 19D

POND SMF 19C

POND SMF 19B

POND SMF 19A

MATCHLINE STA. 1675+00.00

MATCHLINE STA. 1703+00.00

STEINS AUTO GRAVEYARD

E HILLSBOROUGH AVE

CORALUZZO/TORRISSI TRANSPORT

NOTE: WPI SEG. NO. 431746-1 (BY OTHERS) SHOWN IN PURPLE

SOUTHEAST DRILLING SERVICES

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DECEMBER 2021



MATCHLINE SHEET (43)

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION

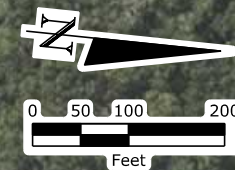


STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
**CONCEPT PLANS
 PREFERRED ALTERNATIVE**
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

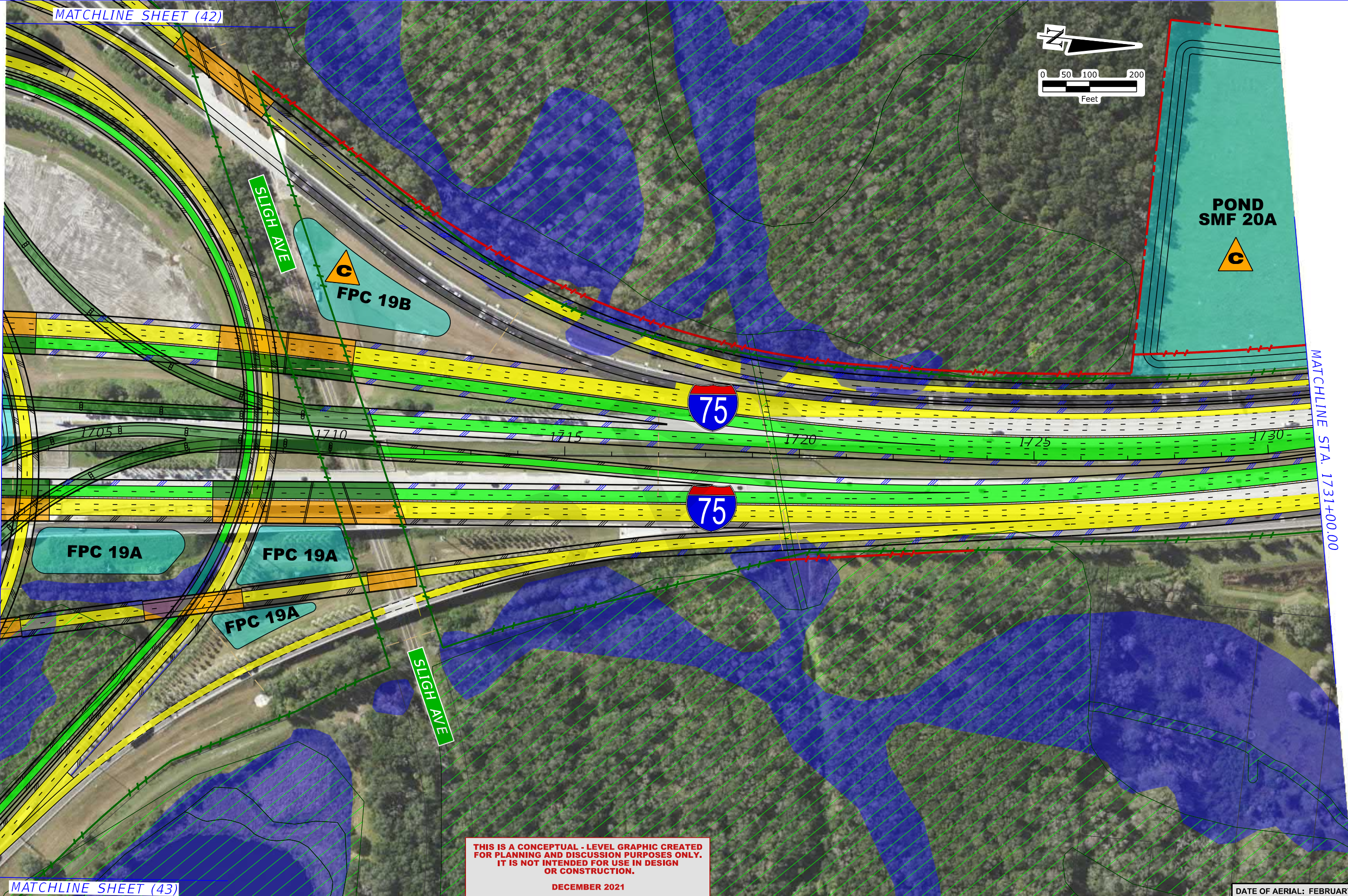
SHEET NO.
16

MATCHLINE SHEET (42)



MATCHLINE STA. 1703+00.00

MATCHLINE STA. 1731+00.00



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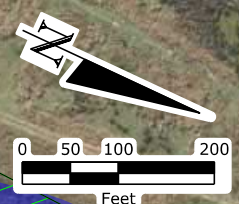
LEGEND		EASEMENT		GENERAL USE BRIDGES		NON-INTERSTATE FACILITY
		EXISTING ROW		EXPRESS BRIDGES		PARKS
		PROPOSED ROW		EXPRESS LANES		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		GENERAL USE LANES		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	PROPOSED LA ROW		PREFERRED SMF/FPC AREAS		POTENTIALLY CONTAMINATED SITE	
	POTENTIAL NOISE BARRIER WALL		TRAFFIC SIGNAL		BUSINESS/RESIDENTIAL RELOCATION	
	EXISTING NOISE WALL					



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
17



MATCHLINE STA. 1731+00.00

MATCHLINE STA. 1759+00.00



**NEW LIFE
TABERNACLE**

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

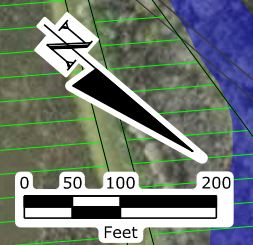
LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
**CONCEPT PLANS
 PREFERRED ALTERNATIVE**
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

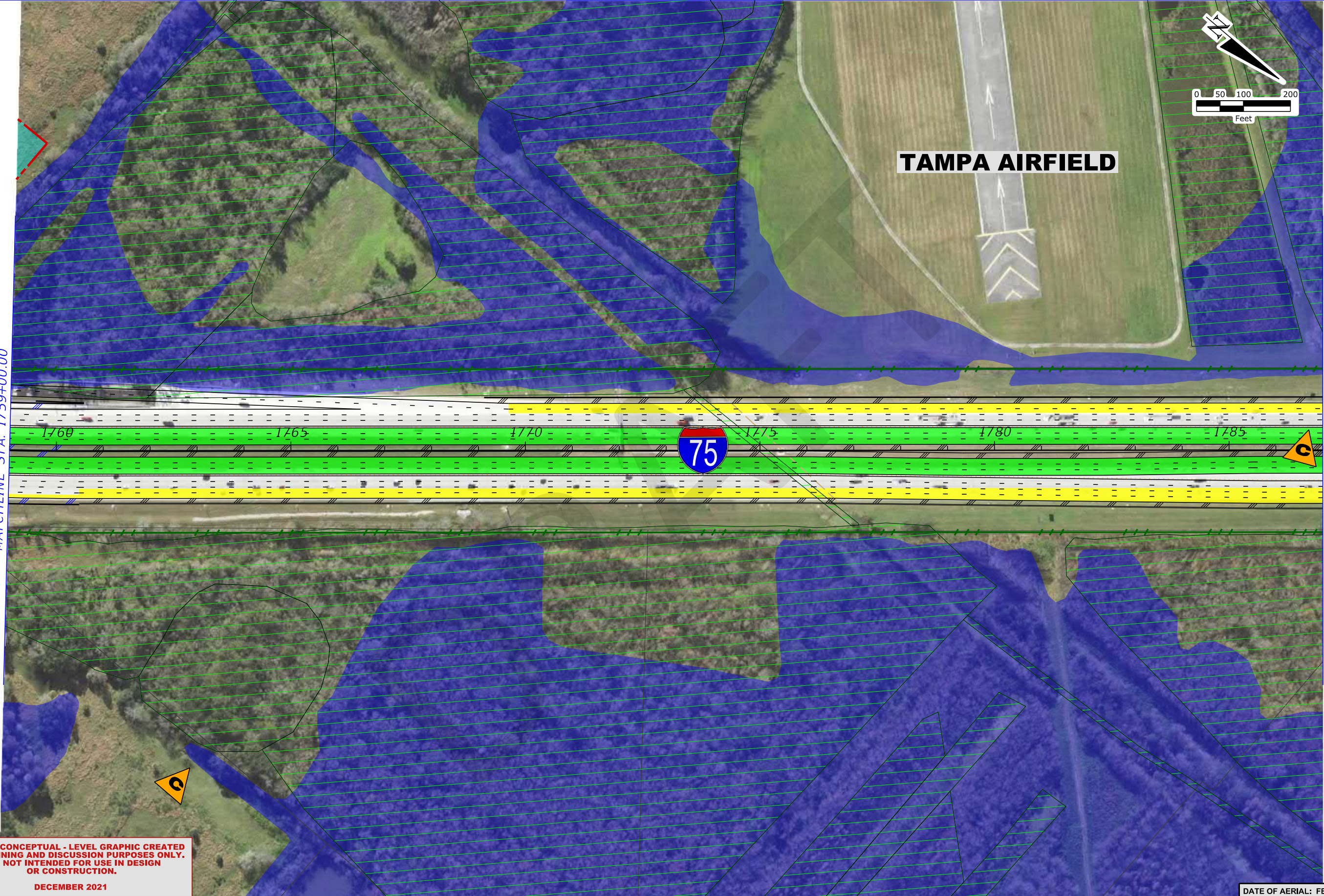
SHEET NO.
18



TAMPA AIRFIELD

MATCHLINE STA. 1759+00.00

MATCHLINE STA. 1787+00.00



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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



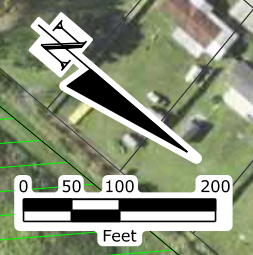
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
19



TAMPA BYPASS CANAL

MATCHLINE STA. 1787+00.00

MATCHLINE STA. 1815+00.00

1790 1795 1800 1805 1810 1815



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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.	20
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BEVERAGE CASTLE

MK FITNESS BOOTCAMP

J&V AUTO WERKS

301 43

HARNEY RD

B(L)R POND SMF 22/23

POND SMF 24B

TAMPA BYPASS CANAL

MATCHLINE STA. 1815+00.00

MATCHLINE STA. 1843+00.00

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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



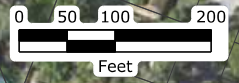
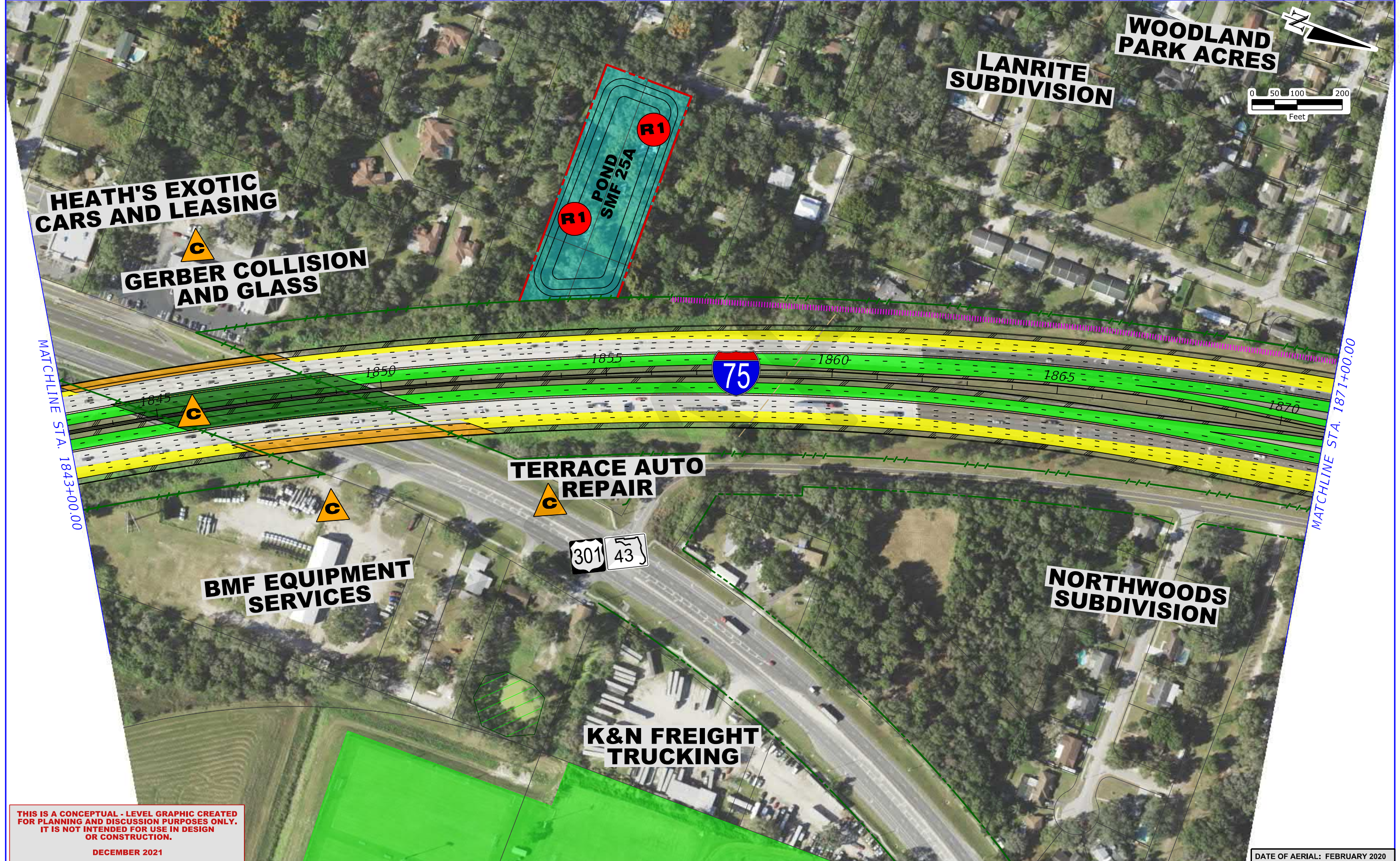
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
21



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



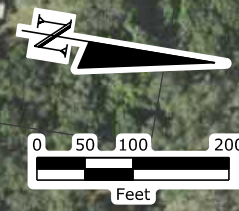
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

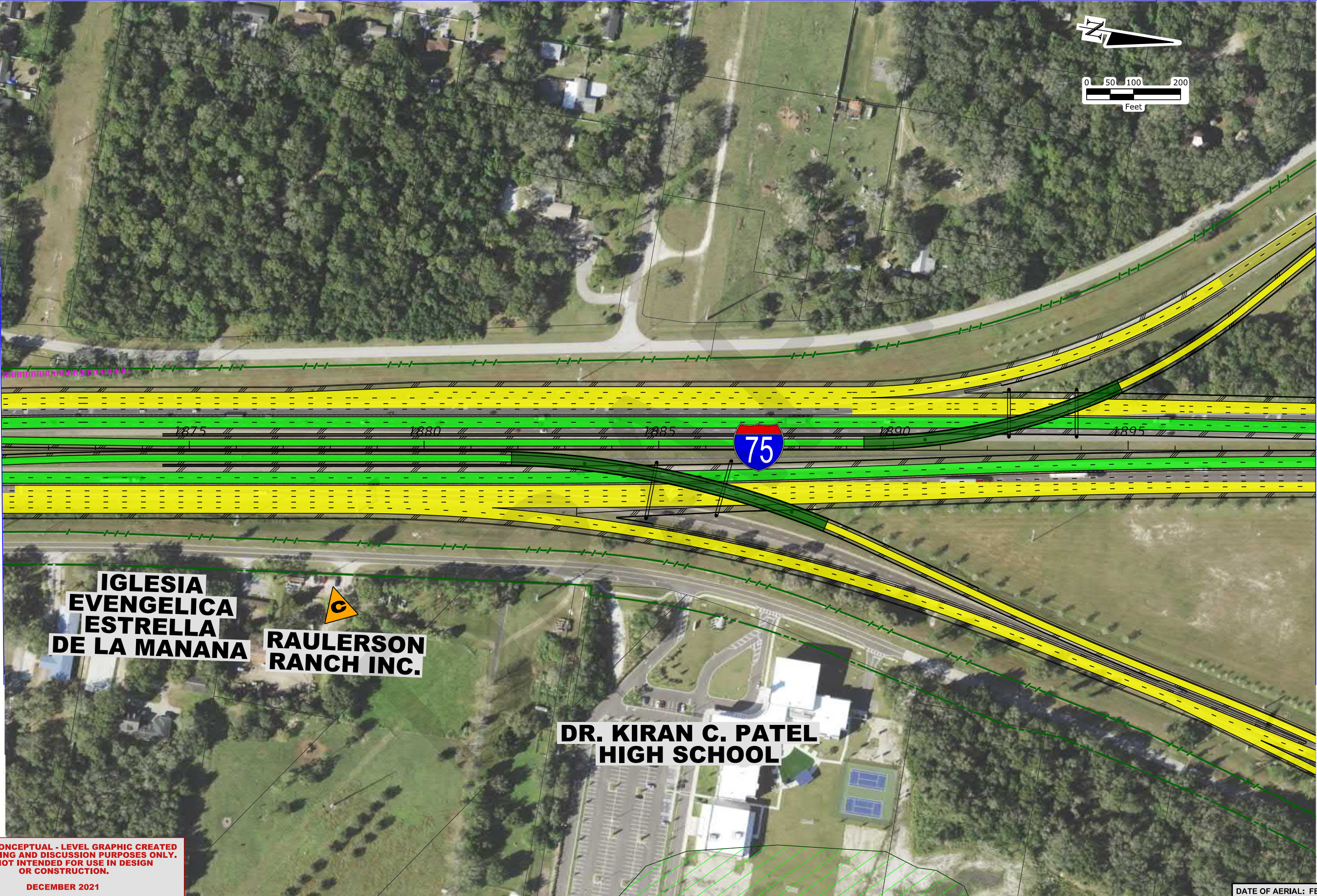
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.	22
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MATCHLINE STA. 1871+00.00

MATCHLINE STA. 1899+00.00



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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



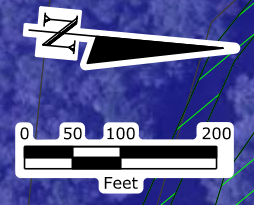
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
23



MATCHLINE SHEET (45)

MATCHLINE SHEET (45)

MATCHLINE STA. 1899+00.00

MATCHLINE STA. 1927+00.00

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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



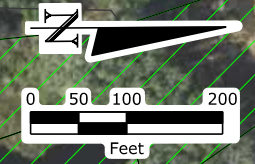
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
24



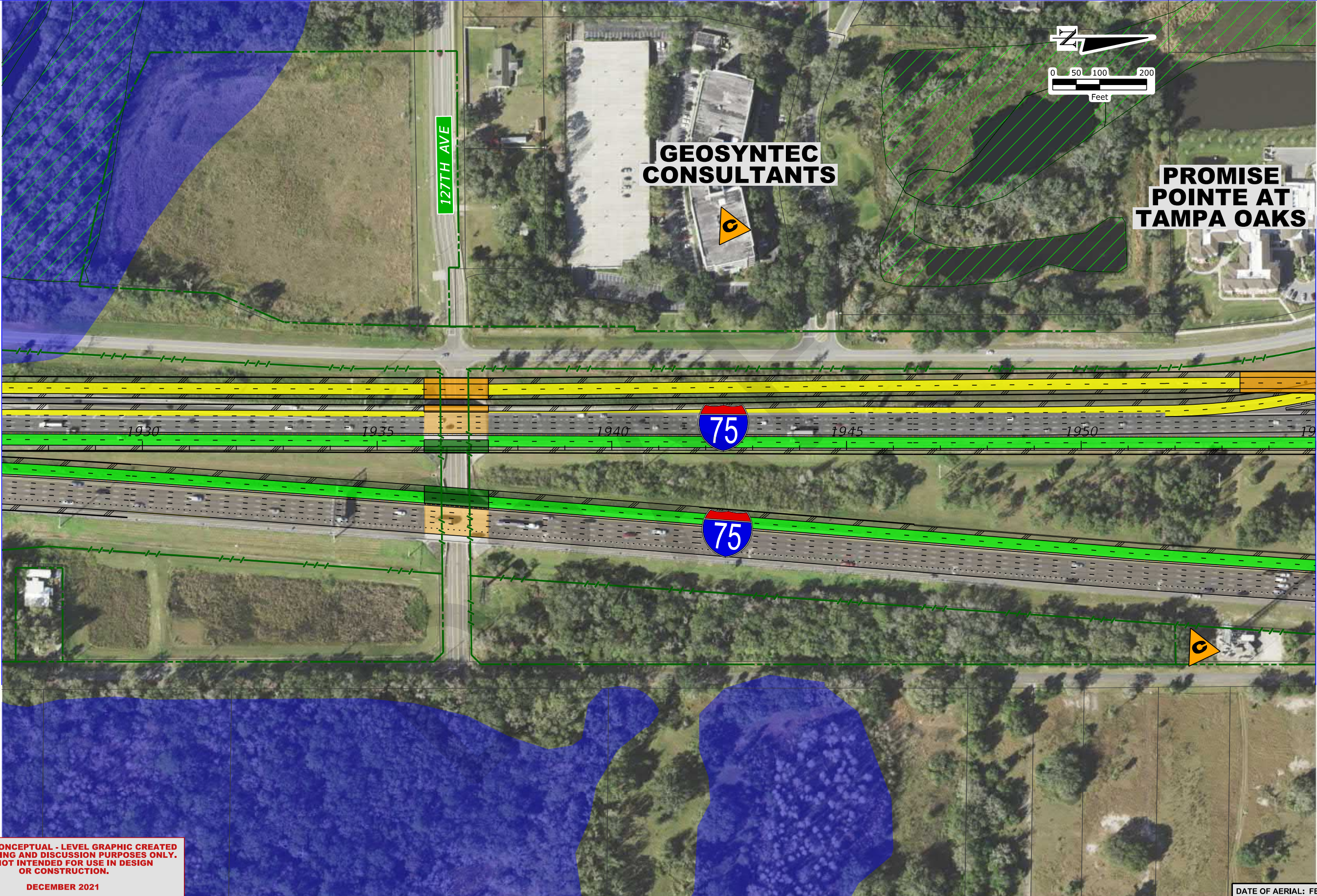
GEOSYNTEC CONSULTANTS

**PROMISE
POINTE AT
TAMPA OAKS**

127TH AVE

MATCHLINE STA. 1927+00.00

MATCHLINE STA. 1955+00.00



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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

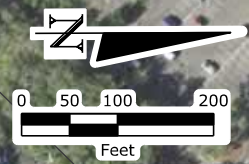
I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
25

MATCHLINE SHEET (46)



WOODSPRING SUITES

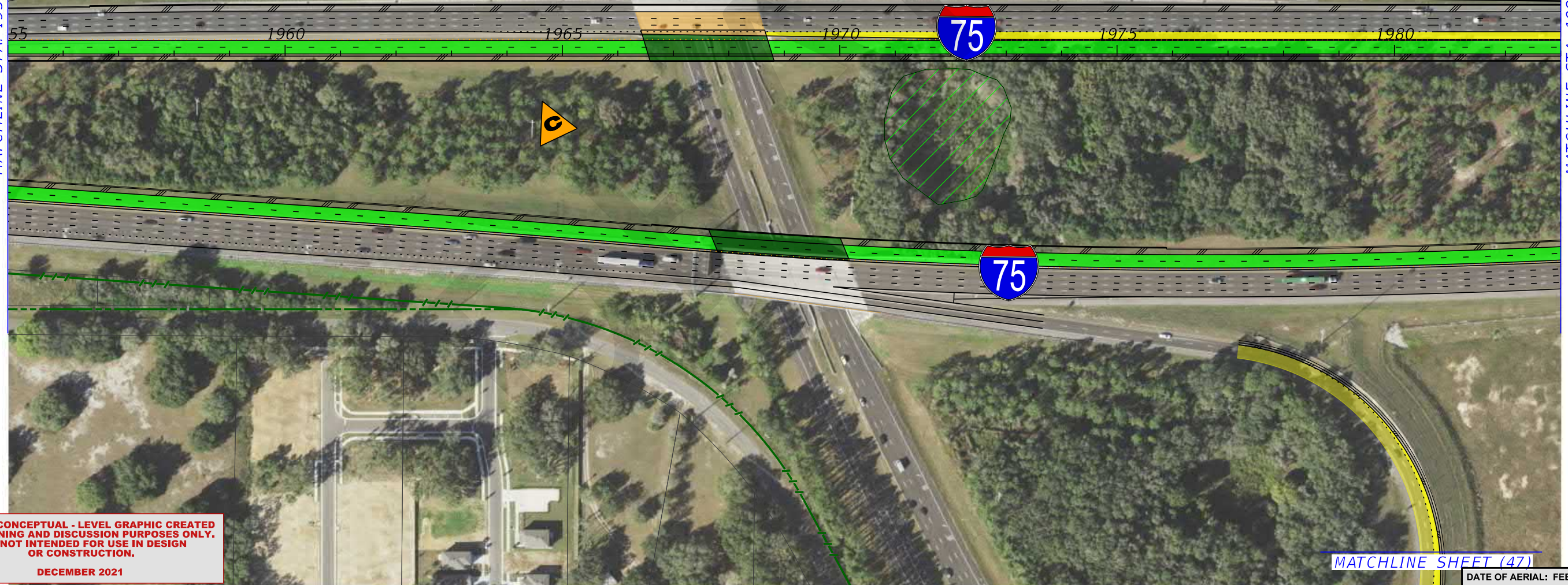
JOHNSON AND JOHNSON

PROMISE
POINTE AT
TAMPA OAKS

582A
FLETCHER AVE

MATCHLINE STA. 1955+00.00

MATCHLINE STA. 1983+00.00



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MATCHLINE SHEET (47)

DATE OF AERIAL: FEBRUARY 2020

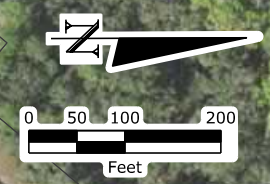
LEGEND		EASEMENT		GENERAL USE BRIDGES		NON-INTERSTATE FACILITY
		EXISTING ROW		EXPRESS BRIDGES		PARKS
		PROPOSED ROW		EXPRESS LANES		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		GENERAL USE LANES		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
		PROPOSED LA ROW		PREFERRED SMF/FPC AREAS		POTENTIALLY CONTAMINATED SITE
		POTENTIAL NOISE BARRIER WALL		TRAFFIC SIGNAL		BUSINESS/RESIDENTIAL RELOCATION
		EXISTING NOISE WALL				



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
**CONCEPT PLANS
 PREFERRED ALTERNATIVE**
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
26



HIDDEN RIVER CORPORATE PARK

DATA LINK SOFTWARE

THE LODGE AT HIDDEN RIVER

MATCHLINE STA. 1983+00.00

MATCHLINE STA. 2011+00.00



MATCHLINE SHEET 147

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DATE OF AERIAL: FEBRUARY 2020

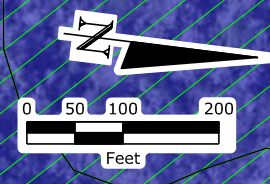
LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

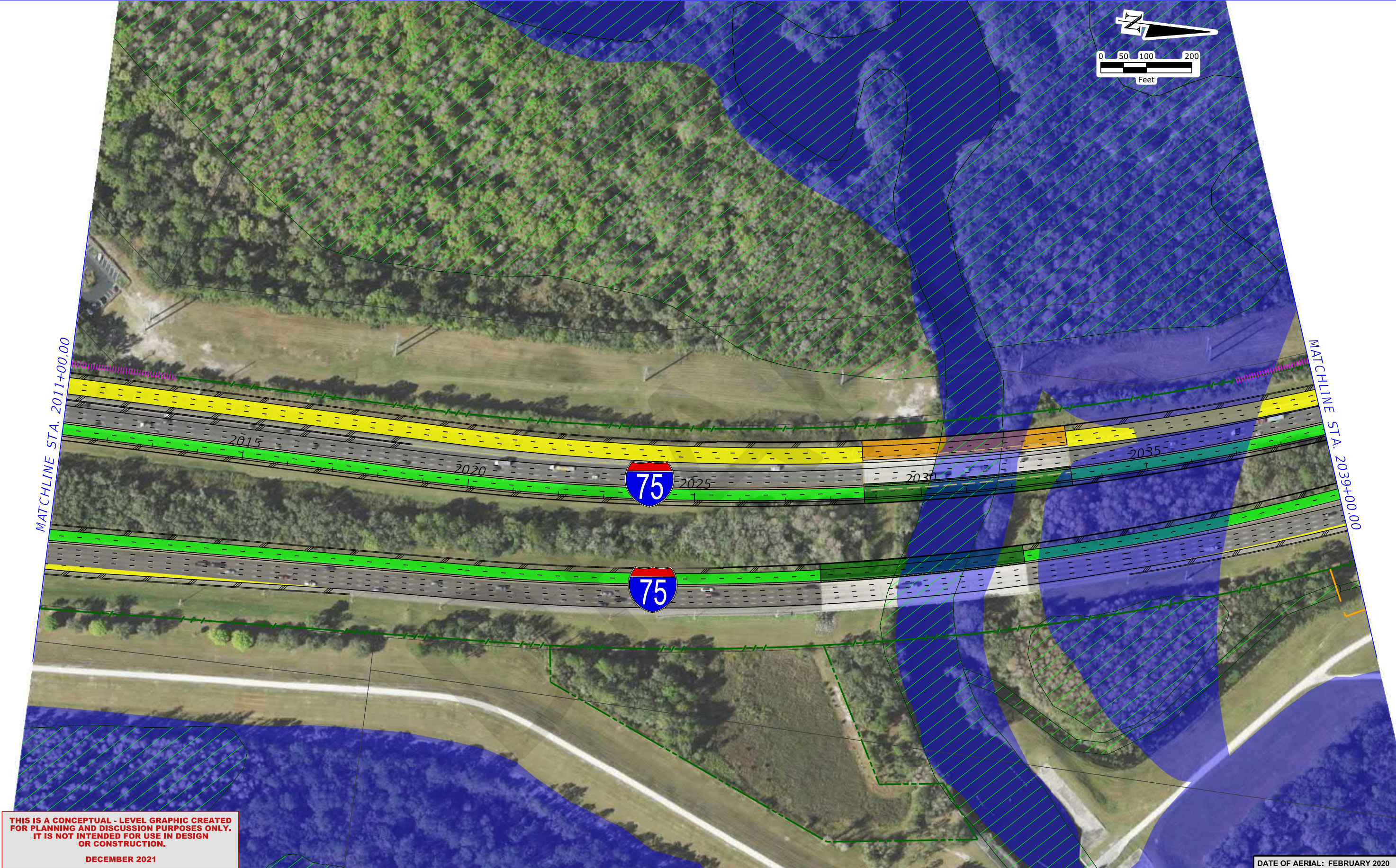
I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
27



MATCHLINE STA. 2011+00.00

MATCHLINE STA. 2039+00.00



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



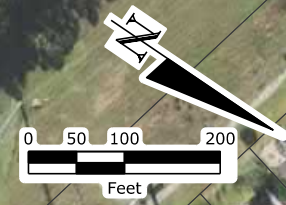
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
28



MATCHLINE STA. 2039+00.00

MATCHLINE STA. 2067+00.00

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DATE OF AERIAL: FEBRUARY 2020

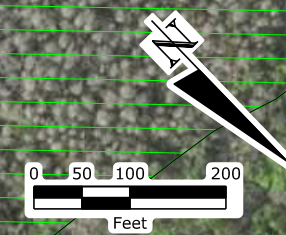
LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE
	POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
29



MATCHLINE STA. 2067+00.00

MATCHLINE STA. 2095+00.00

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



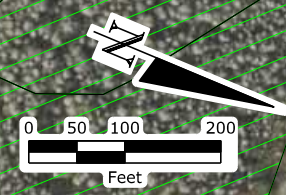
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
30



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



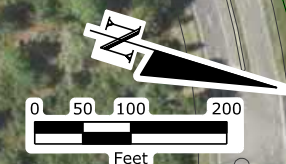
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
31



MATCHLINE STA. 2123+00.00

MATCHLINE STA. 2151+00.00



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DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



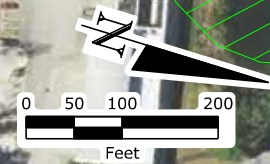
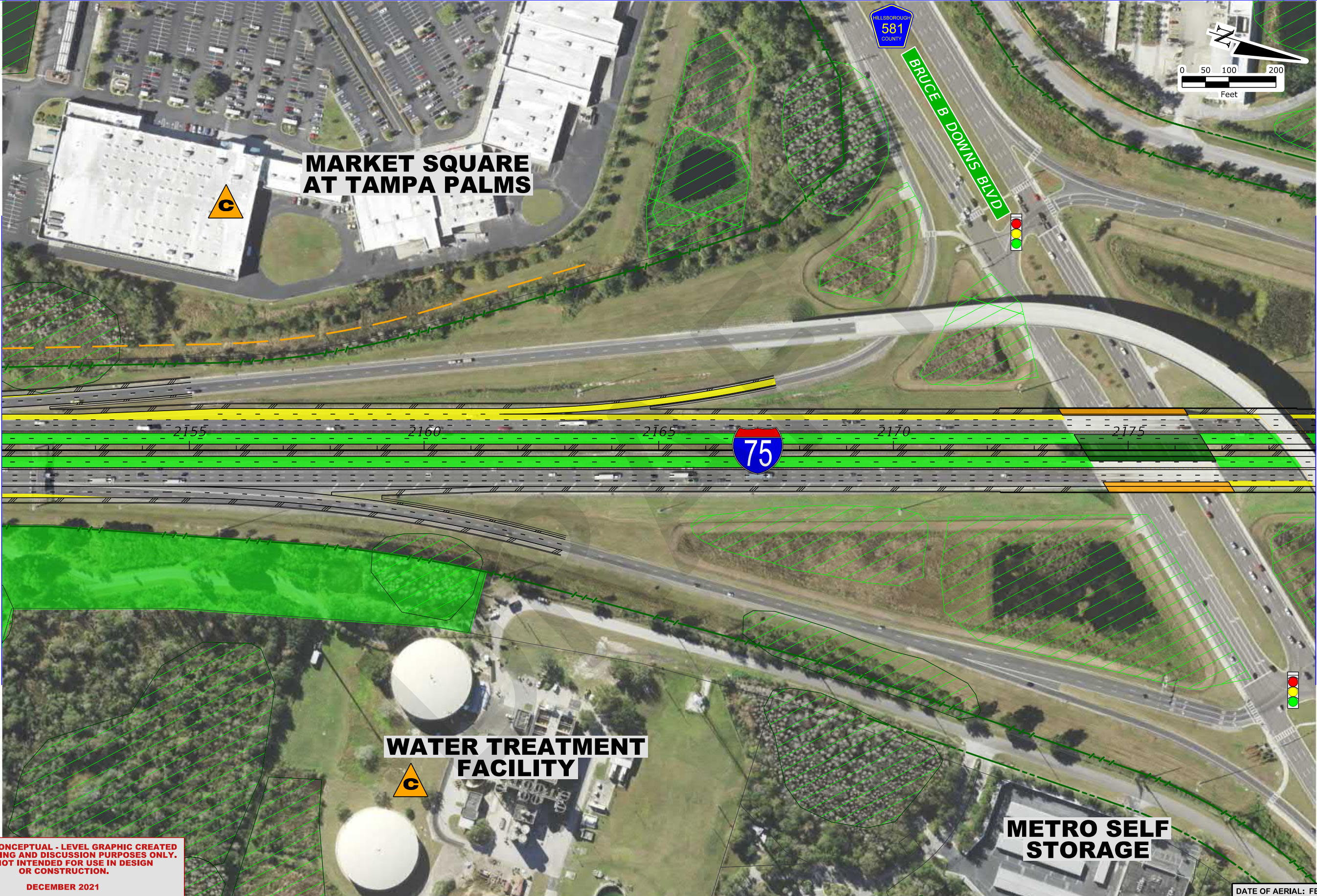
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
32



MATCHLINE STA. 2151+00.00

MATCHLINE STA. 2179+00.00

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



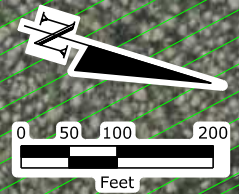
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

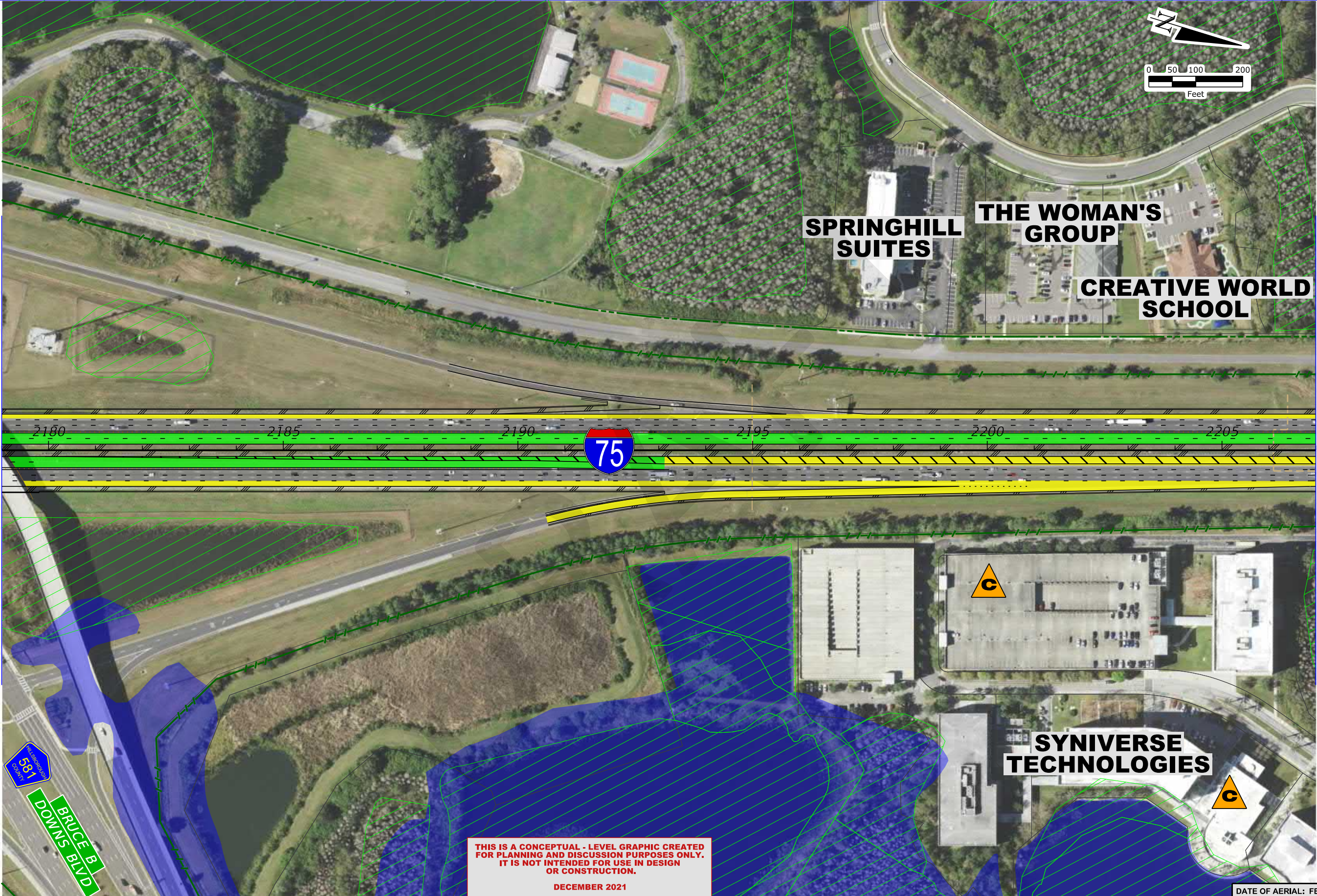
SHEET NO.
33



SPRINGHILL SUITES
THE WOMAN'S GROUP
CREATIVE WORLD SCHOOL

MATCHLINE STA. 2179+00.00

MATCHLINE STA. 2207+00.00



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DATE OF AERIAL: FEBRUARY 2020

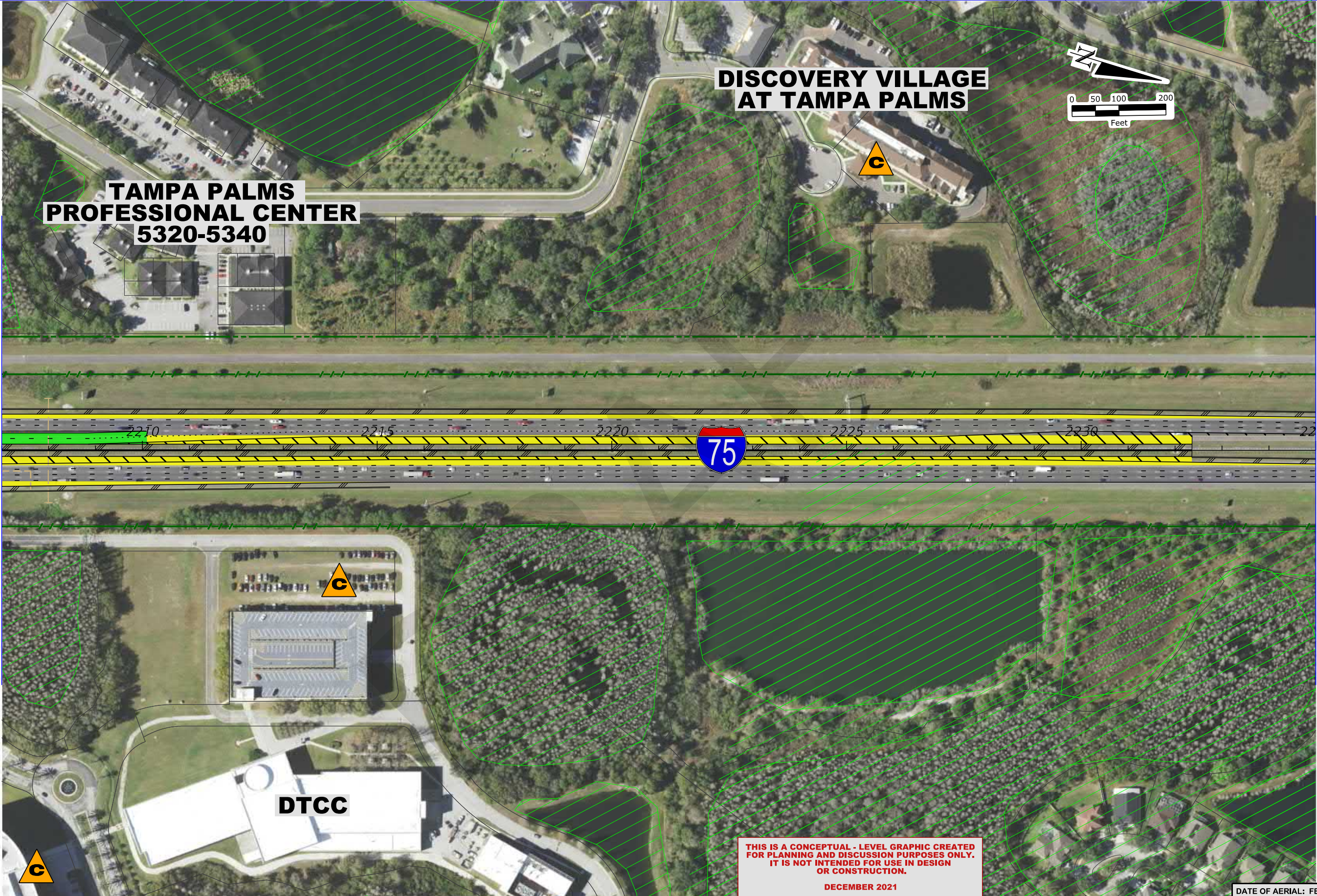
LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

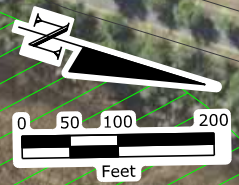
SHEET NO.
34



**DISCOVERY VILLAGE
AT TAMPA PALMS**

**TAMPA PALMS
PROFESSIONAL CENTER
5320-5340**

DTCC



MATCHLINE STA. 2207+00.00

MATCHLINE STA. 2235+00.00

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			



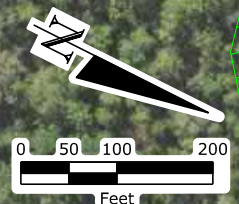
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
35



END PROJECT
FPID NO. 419235-3-22-01

MATCHLINE STA. 2235+00.00

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DECEMBER 2021

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

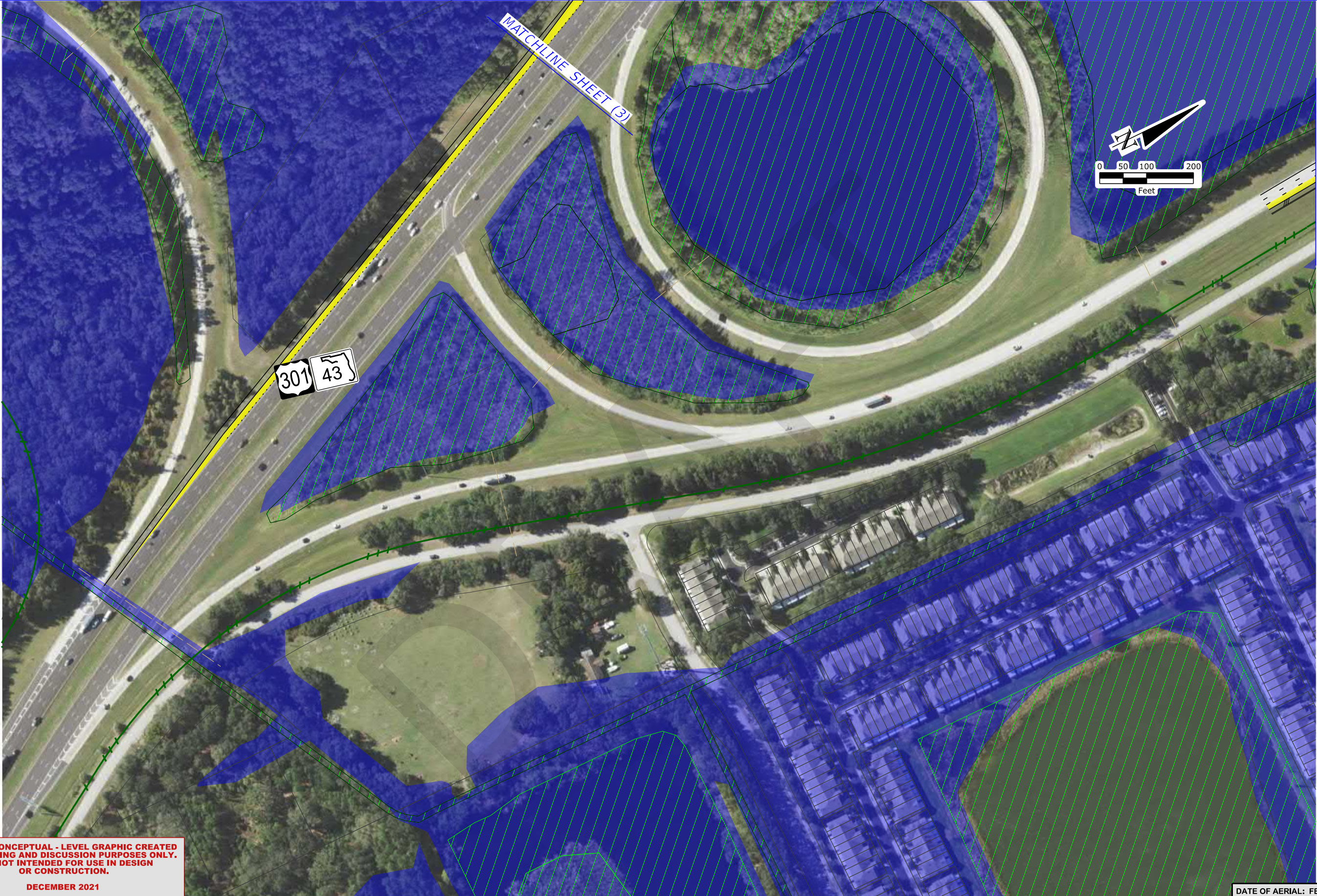
CONCEPT PLANS

PREFERRED ALTERNATIVE

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
36

DATE OF AERIAL: FEBRUARY 2020



MATCHLINE SHEET (4)

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



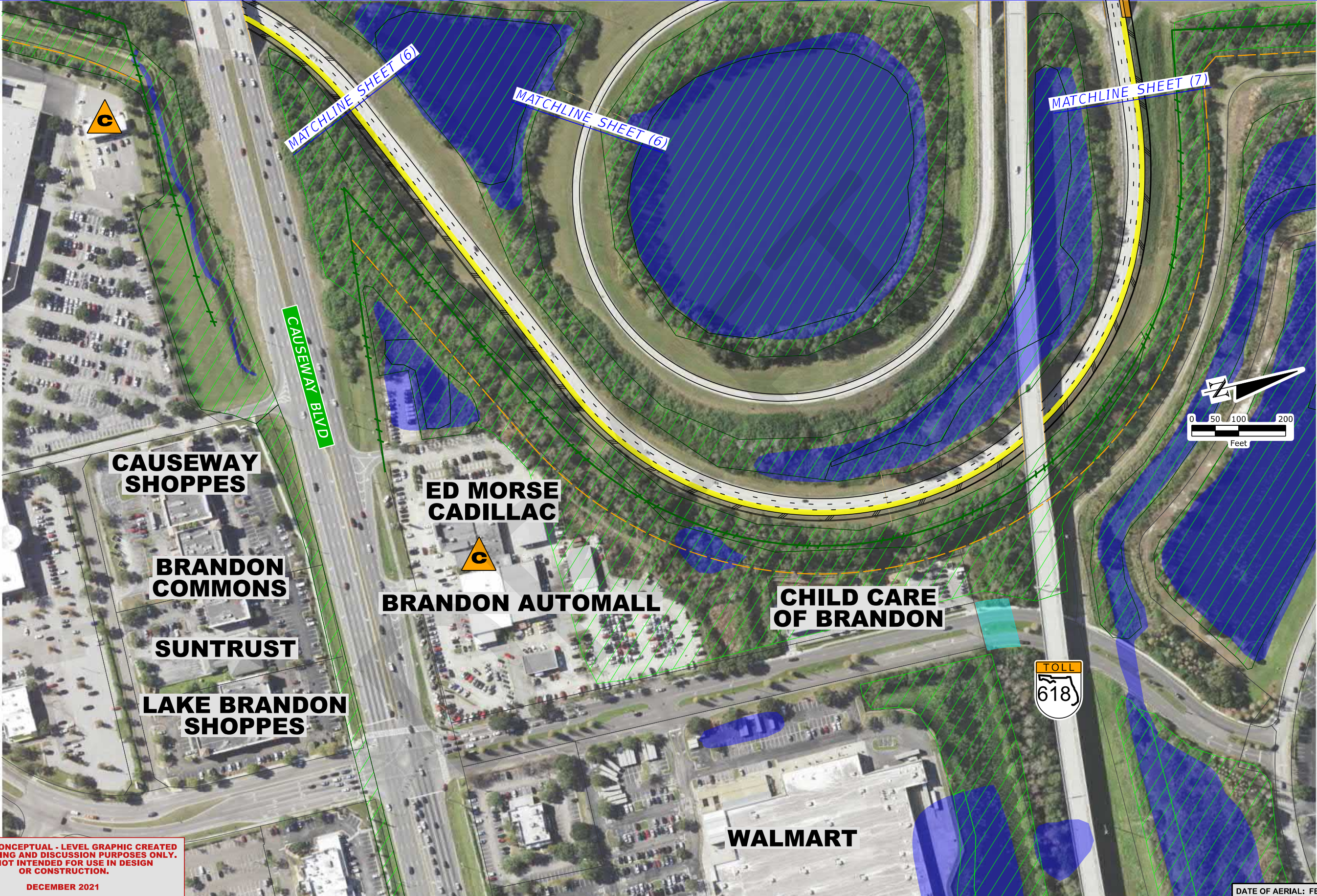
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
37



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



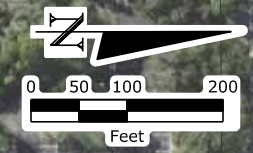
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
38



NOTE: FPID 429251-1-52-01 (BY OTHERS) SHOWN IN PURPLE

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DECEMBER 2021

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION

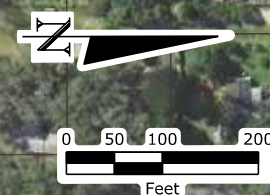


STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
**CONCEPT PLANS
 PREFERRED ALTERNATIVE**
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
39

DATE OF AERIAL: FEBRUARY 2020



REVIVAL MINISTRIES INTERNATIONAL

NOTE: FPID 429251-1-52-01 (BY OTHERS) SHOWN IN PURPLE

WILLIAMS LANDINGS APARTMENTS

C
SHELL GAS
TRANSWORLD TRANSMISSION

574

MLK JR. BLVD

4 BROTHE SUPERMAR

WALPOLE

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

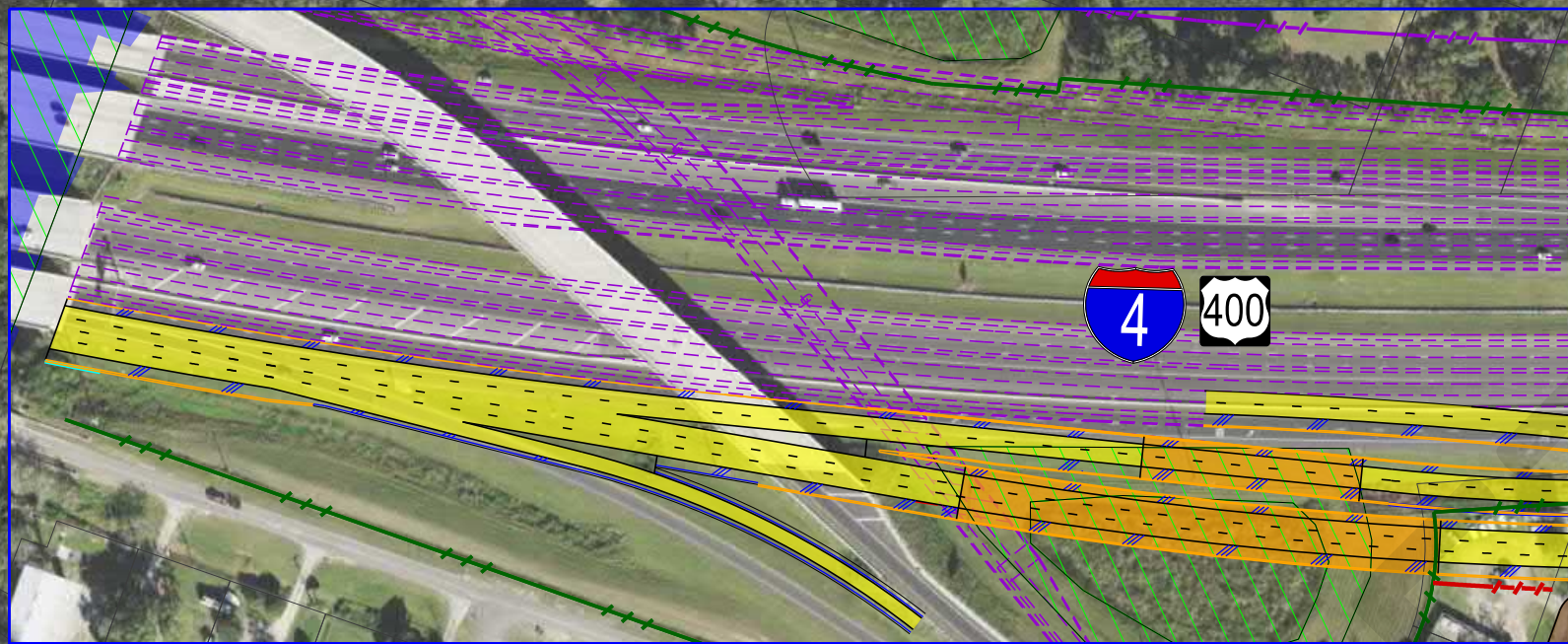
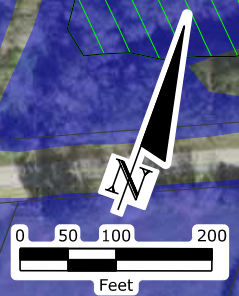
LEGEND		EASEMENT		NON-INTERSTATE FACILITY
		EXISTING ROW		PARKS
		PROPOSED ROW		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	PROPOSED LA ROW		POTENTIALLY CONTAMINATED SITE	
	POTENTIAL NOISE BARRIER WALL		BUSINESS/RESIDENTIAL RELOCATION	
	EXISTING NOISE WALL			
	GENERAL USE BRIDGES			
	EXPRESS BRIDGES			
	EXPRESS LANES			
	GENERAL USE LANES			
	PREFERRED SMF/FPC AREAS			
	TRAFFIC SIGNAL			



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

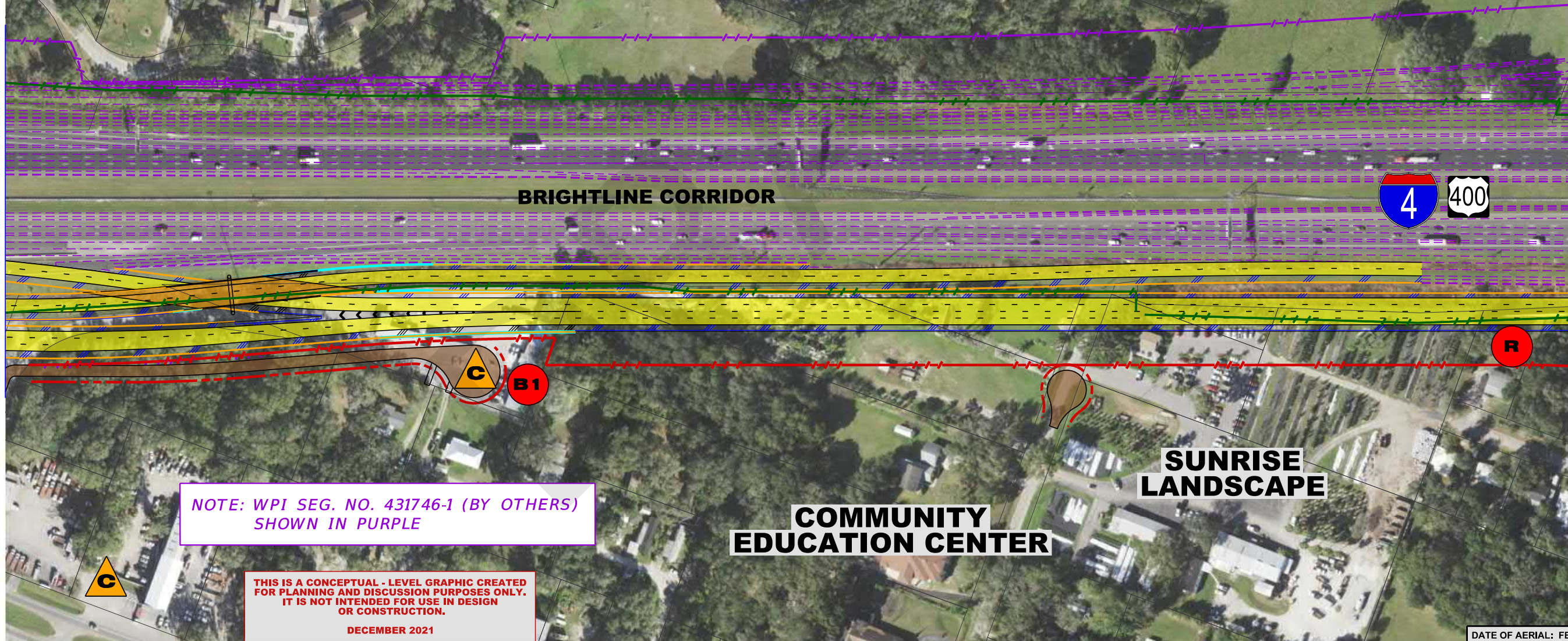
SHEET NO.
40



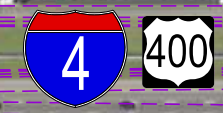
MATCHLINE INSET

MATCHLINE INSET

MATCHLINE SHEET (42)



BRIGHTLINE CORRIDOR



SUNRISE LANDSCAPE

COMMUNITY EDUCATION CENTER

NOTE: WPI SEG. NO. 431746-1 (BY OTHERS) SHOWN IN PURPLE

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



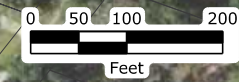
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
41

MATCHLINE SHEET (41)

SLIGH AVE



MATCHLINE SHEET (17)

MATCHLINE SHEET (16)

BRIGHTLINE CORRIDOR



NOTE: WPI SEG. NO. 431746-1 (BY OTHERS) SHOWN IN PURPLE

TRAFFIC CONTROL PRODUCTS OF FLORIDA

DATE OF AERIAL: FEBRUARY 2020

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DECEMBER 2021

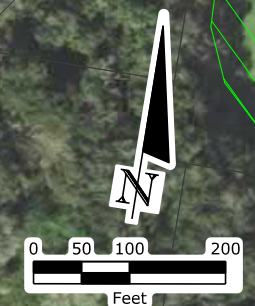
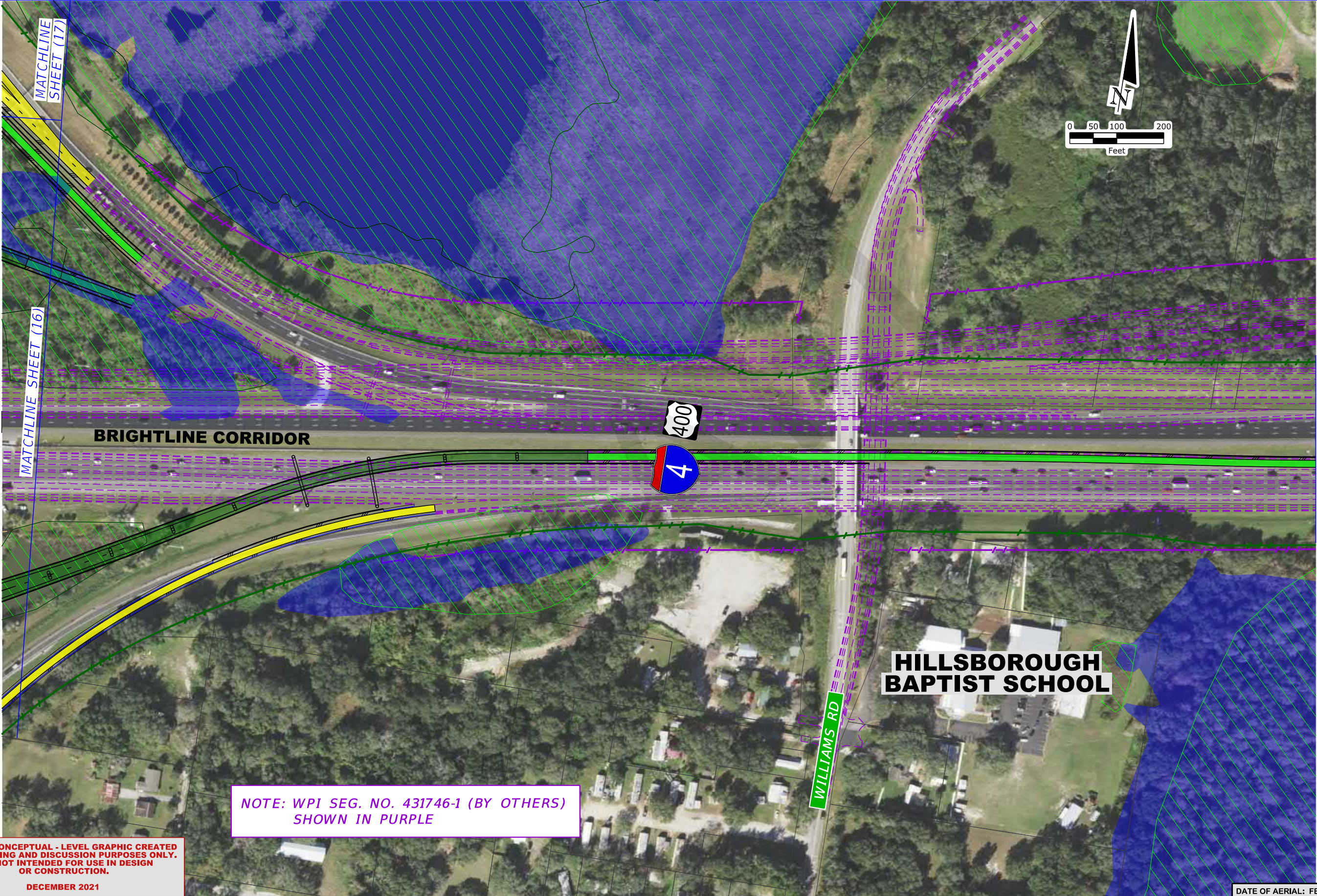
LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
 CONCEPT PLANS
 PREFERRED ALTERNATIVE
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
42



MATCHLINE SHEET (17)

MATCHLINE SHEET (16)

MATCHLINE SHEET (44)

BRIGHTLINE CORRIDOR

HILLSBOROUGH BAPTIST SCHOOL

WILLIAMS RD

NOTE: WPI SEG. NO. 431746-1 (BY OTHERS) SHOWN IN PURPLE

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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			

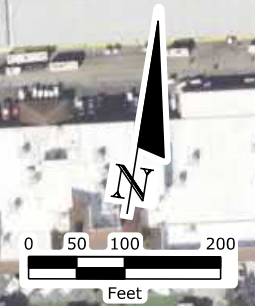


STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
43

MATCHLINE SHEET (43)



BRIGHTLINE CORRIDOR



NOTE: WPI SEG. NO. 431746-1 (BY OTHERS) SHOWN IN PURPLE

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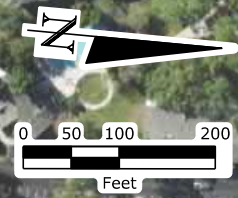
LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAIN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
44



HILLSBOROUGH COUNTY
582

FOWLER AVE

MATCHLINE
SHEET (24)

MATCHLINE
SHEET (24)

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DATE OF AERIAL: FEBRUARY 2020

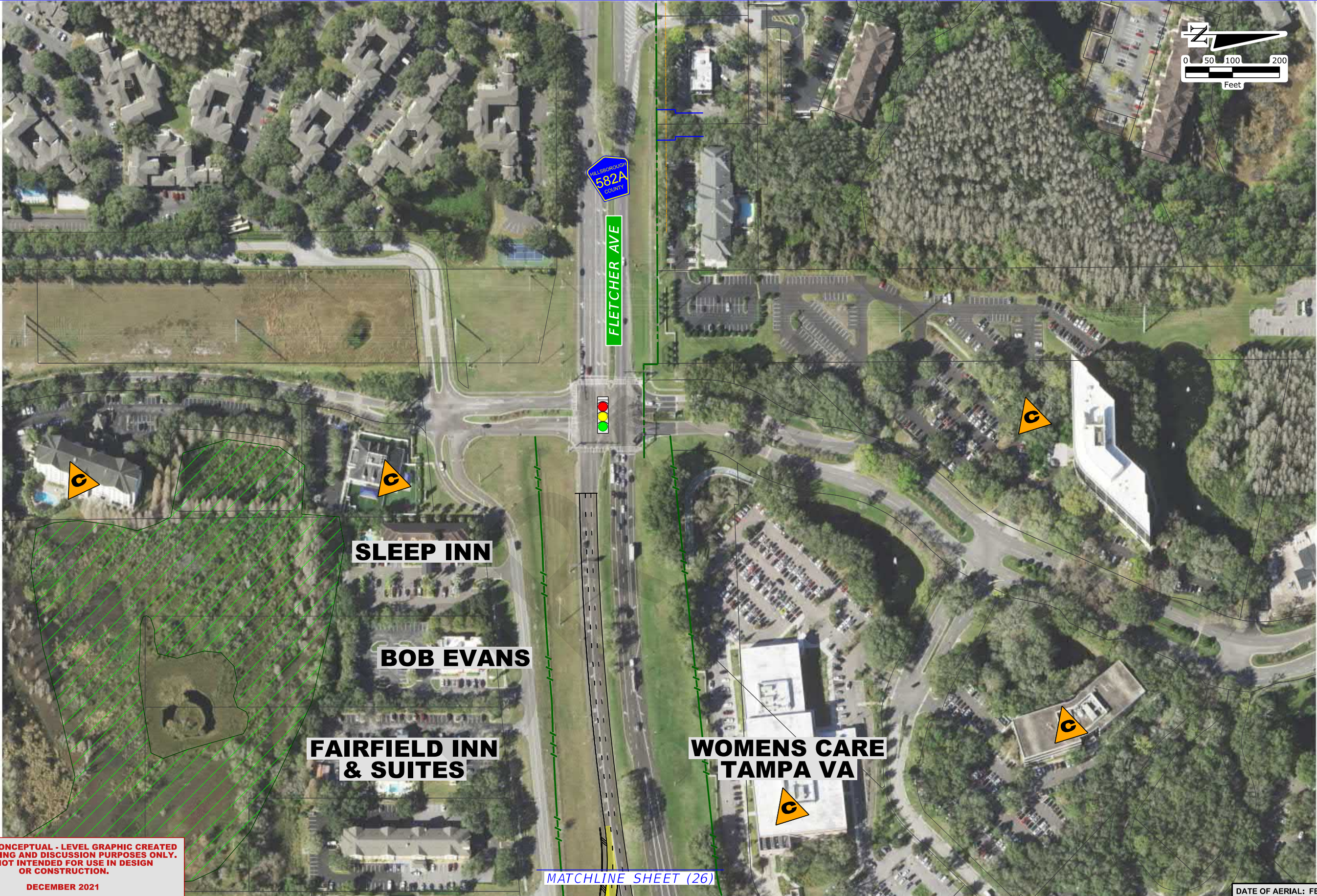
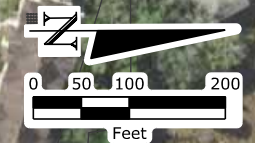
LEGEND		EASEMENT		GENERAL USE BRIDGES		NON-INTERSTATE FACILITY
		EXISTING ROW		EXPRESS BRIDGES		PARKS
		PROPOSED ROW		EXPRESS LANES		FEMA 100 YEAR FLOOD PLAIN
		EXISTING LA ROW		GENERAL USE LANES		WETLANDS OR OTHER SURFACE WATERS BOUNDARY
		PROPOSED LA ROW		PREFERRED SMF/FPC AREAS		POTENTIALLY CONTAMINATED SITE
		POTENTIAL NOISE BARRIER WALL		TRAFFIC SIGNAL		BUSINESS/RESIDENTIAL RELOCATION
		EXISTING NOISE WALL				



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
**CONCEPT PLANS
 PREFERRED ALTERNATIVE**
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
45



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	
	EASEMENT
	EXISTING ROW
	PROPOSED ROW
	EXISTING LA ROW
	PROPOSED LA ROW
	POTENTIAL NOISE BARRIER WALL
	EXISTING NOISE WALL
	GENERAL USE BRIDGES
	EXPRESS BRIDGES
	EXPRESS LANES
	GENERAL USE LANES
	PREFERRED SMF/FPC AREAS
	TRAFFIC SIGNAL
	NON-INTERSTATE FACILITY
	PARKS
	FEMA 100 YEAR FLOOD PLAN
	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
	POTENTIALLY CONTAMINATED SITE
	BUSINESS/RESIDENTIAL RELOCATION



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3

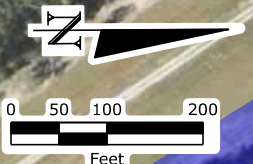
**CONCEPT PLANS
PREFERRED ALTERNATIVE**

FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
46

MATCHLINE SHEET (26)

MATCHLINE SHEET (27)



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DECEMBER 2021

DATE OF AERIAL: FEBRUARY 2020

LEGEND	EASEMENT	GENERAL USE BRIDGES	NON-INTERSTATE FACILITY
	EXISTING ROW	EXPRESS BRIDGES	PARKS
	PROPOSED ROW	EXPRESS LANES	FEMA 100 YEAR FLOOD PLAIN
	EXISTING LA ROW	GENERAL USE LANES	WETLANDS OR OTHER SURFACE WATERS BOUNDARY
PROPOSED LA ROW	PREFERRED SMF/FPC AREAS	POTENTIALLY CONTAMINATED SITE	
POTENTIAL NOISE BARRIER WALL	TRAFFIC SIGNAL	BUSINESS/RESIDENTIAL RELOCATION	
EXISTING NOISE WALL			



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJ. ID
93A	HILLSBOROUGH	419235-3-22-01

I-75 PD & E STUDY - WPI SEG. NO. 419235-3
CONCEPT PLANS
PREFERRED ALTERNATIVE
 FROM S. OF US 301 TO N. OF BRUCE B DOWNS BLVD

SHEET NO.
47

Appendix B

SMF and FPC Site Information

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SMF 1A

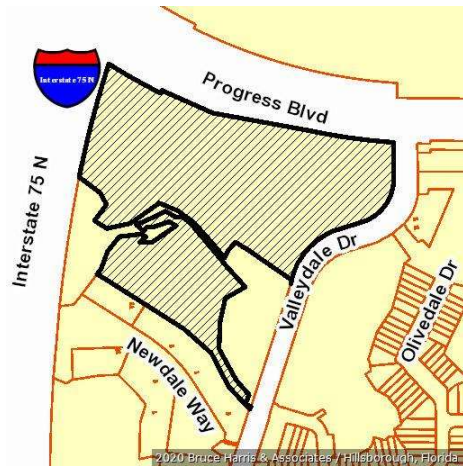
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 047934-0210



Owner Information

Owner Name	30 WEST PERSHING LLC
Mailing Address	C/O EPR PROPERTIES 909 WALNUT ST STE 200 KANSAS CITY, MO 64106-2003
Site Address	6135 VALLEYDALE DR, RIVERVIEW
PIN	U-07-30-20-663-000001-66320.2
Folio	047934-0210
Prior PIN	U-01-30-19-663-000001-66320.1
Prior Folio	047934-0200
Tax District	U - UNINCORPORATED
Property Use	3200 THEATER
Plat Book/Page	6/3
Neighborhood	224001.00 Lake St Charles Area
Subdivision	663 SOUTH TAMPA SUBDIVISION

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$11,278,275	\$11,278,275	\$0	\$11,278,275
Public Schools	\$11,278,275	\$11,278,275	\$0	\$11,278,275
Municipal	\$11,278,275	\$11,278,275	\$0	\$11,278,275
Other Districts	\$11,278,275	\$11,278,275	\$0	\$11,278,275

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26516	0154	03	2019	WD	Qualified	Improved	\$18,168,800
23578	0948	09	2015	TR	Qualified	Vacant	\$2,100,000
21457	0567	10	2012	WD	Qualified	Vacant	\$310,000
20505	0058	04	2011	CD	Unqualified	Vacant	\$100
20482	1677	04	2011	CT	Unqualified	Vacant	\$175,000
16855	1615	08	2006	WD	Unqualified	Vacant	\$1,626,500

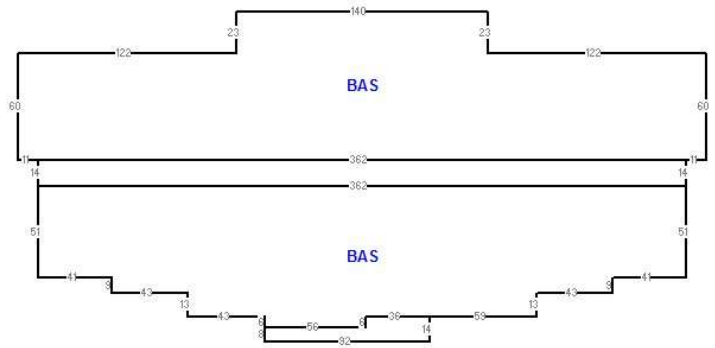
Building Information

Building 1

Type	61 THEATER
Year Built	2016

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	10	Precast Panel
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	7	Tile
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	14.0	
Wall Height	40.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	26,260	26,260	\$3,673,091
BAS	5,068	5,068	\$708,881
FUS	5,068	5,068	\$708,881
BAS	23,840	23,840	\$3,334,596
CAN	952		\$40,004
Totals	61,188	60,236	\$8,465,453

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2017	0	0	141,851.00	\$240,216
0060	CONCRETE PAVEMENT	0	2017	0	0	2,298.00	\$10,192

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE1	Comm Class 5	PD	0.0	0.0	SF SQUARE FEET	507,784.00	\$2,562,075
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	0.45	\$338

Legal Description

THAT PART OF LESS OUT PARCEL 'D' IN VILLAGES OF BLOOMINGDALE PHASE 1 PB104 PG66 DESC AS: BEG AT N'MOST COR OF TRACT H OF SD VILLAGES OF BLOOMINGDALE PHASE 1 THN NLY 392.08 FT ALG CURVE AND ELY R/W LINE OF I-75 CB N 14 DEG 44 MIN 32 SEC E 391.88 FT TO SLY R/W LINE OF PROGRESS BLVD AND BEG OF CURVE CONCAVE TO NE W/RAD 2050.61 FT THN SELY 199.86 FT CB S 60 DEG 34 MIN 42 SEC E 199.78 FT THN N 26 DEG 10 MIN 16 SEC E 10 FT TO BEG OF CURVE CONCAVE NELY W/RAD 2040.61 FT THN SELY 186.28 FT CB S 66 DEG 03 MIN 40 SEC E 186.22 FT THN ALG CURVE S 79 DEG 40 MIN 50 SEC E 316.23 FT TO BEG OF CURVE CONCAVE TO NORTH W/RAD 2004.86 FT THN ELY 299.84 FT ALG CURVE WITH CB S 81 DEG 56 MIN 12 SEC E 299.56 FT TO WLY R/W LINE OF VALLEYDALE DR THN S 00 DEG 23 MIN 59 SEC W 123.86 FT TO BEG OF CURVE CONCAVE TO NW W/RAD 151 FT THN SWLY 193.20 FT ALG CURVE WITH CB S 37 DEG 03 MIN 15 SEC W 180.29 FT THN S 73 DEG 42 MIN 31 SEC W 69.30 FT TO BEG OF CURVE CONCAVE TO SOUTHEAST W/RAD 244 FT THN SWLY 235.03 FT WITH CB S 46 DEG 06 MIN 52 SEC W 226.04 FT TO BEG OF COMPOUND CURVE CONCAVE TO EAST W/RAD 25 FT THN SLY 8.96 FT WITH CB S 08 DEG 15 MIN 12 SEC W 8.91 FT TO BEG OF REVERSE CURVE CONCAVE TO WEST W/RAD 25 FT THN SLY 8.68 FT ALG CURVE WITH CB S 07 DEG 56 MIN 19 SEC W 8.64 FT THN S 17 DEG 53 MIN 26 SEC W 13.01 FT TO NLY BDY LINE OF TRACT 'H' THN N 04 DEG 03 MIN 04 SEC E 13.56 FT THN N 55 DEG 35 MIN 08 SEC W 78.75 FT THN N 55 DEG 12 MIN 18 SEC W 91.86 FT THN N 58 DEG 12 MIN 48 SEC W 54.89 FT THN S 41 DEG 10 MIN 52 SEC W 36.95 FT THN S 26 DEG 19 MIN 24 SEC W 27.77 FT THN N 39 DEG 23 MIN 14 SEC W 63.17 FT THN N 42 DEG 12 MIN 04 SEC W 94.27 FT THN N 52 DEG 59 MIN 53 SEC W 34.88 FT THN N 54 DEG 00 MIN 22 SEC W 31.47 FT THN N 67 DEG 47 MIN 22 SEC W 67.52 FT THN S 54 DEG 05 MIN 45 SEC W 71 FT THN S 55 DEG 16 MIN 02 SEC W 46.62 FT THN S 77 DEG 53 MIN 33 SEC W 81.07 FT THN N 58 DEG 10 MIN 53 SEC W 49.02 FT THN N 36 DEG 30 MIN 12 SEC E 67.84 FT THN N 28 DEG 09 MIN 21 SEC W 43.76 FT THN N 52 DEG 59 MIN 59 SEC W 89.68 FT TO POB ... THAT PART OF LESSOUT PARCEL 'C' IN THE VILLAGES OF BLOOMINGDALE PHASE 1 DESC AS: BEG AT S'MOST COR OF TRACT 'H' OF SD VILLAGES OF BLOOMINGDALE PHASE 1 ALSO BEING A PT ON WLY R/W LINE OF VALLEYDALE DR THN CONT ALG SD WLY R/W LINE RUN S 17 DEG 53 MIN 26 W 1.57 FT TO BEG OF CURVE CONCAVE TO NW W/RAD 25 FT THN SWLY 8.70 FT ALG CURVE WITH CB S 27 DEG 51 MIN 53 SEC W 8.66 FT TO BEG OF REVERSE CURVE CONCAVE TO SE W/RAD 25 FT CB S 34 DEG 11 MIN 03 SEC W 3.19 FT THN N 40 DEG 50 MIN 37 SEC W 55.20 FT THN N 42 DEG 1 1MIN 29 SEC W 50.35 FT THN N 27 DEG 25 MIN 22 SEC W 125.72 FT THN N 48 DEG 24 MIN 19 SEC W 122.04 FT THN N 57 DEG 36 MIN 24 SEC W 314.75 FT THN N 60 DEG 43 MIN 33 SEC W 30.26 FT TO PT ON BDY LINE OF TRACT 'H' THN N 36 DEG 45 MIN 30 SEC E 23.85 FT THN N 20 DEG 17 MIN 38 SEC E 62.79 FT THN N 38 DEG 48 MIN 08 SEC E 61.96 FT THN N 83 DEG 58 MIN 36 SEC E 47.65 FT THN N 82 DEG 21 MIN 16 SEC E 25.11 FT THN S 61 DEG 39 MIN 32 SEC E 18.90 FT THN S 47 DEG 42 MIN 15 SEC W 27.15 FT THN N 89 DEG 52 MIN 12 SEC E 40.73 FT THN N 55 DEG 17 MIN 57 SEC E 40.07 FT THN N 56 DEG 26 MIN 25 SEC E 58.70 FT THN N 60 DEG 25 MIN 39 SEC W 28.02 FT THN S 70 DEG 50 MIN 00 SEC W 53.47 FT THN S 88 DEG 21 MIN 52 SEC W 23.85 FT THN S 40 DEG 13 MIN 28 SEC W 18.08 FT THN N 48 DEG 23 MIN 00 SEC W 32.09 FT THN N 66 DEG 02 MIN 59 SEC E 69.16 FT THN N 63 DEG 18 MIN 48 SEC E 38.88 FT THN S 60 DEG 50 MIN 48 SEC E 40.23 FT THN S 87 DEG 56 MIN 29 SEC E 23.92 FT THN S 51 DEG 13 MIN 30 SEC E 33.26 FT THN S 41 DEG 31 MIN 34 SEC E 29.40 FT THN S 40 DEG 48 MIN 39 SEC E 62.86 FT THN S 38 DEG 46 MIN 13 SEC E 94.07 FT THN S 42 DEG 18 MIN 43 SEC E 94.39 FT THN S 60 DEG 09 MIN 48 SEC W 77.21 FT THN S 12 DEG 3 3MIN 30 SEC W 82.26 FT THN S 02 DEG 06 MIN 45 SEC W 88.69 FT THN S 28 DEG 48 MIN 34 SEC E 120.55 FT THN S 41 DEG 26 MIN 25 SEC E 64.68 FT THN S 20 DEG 29 MIN 23 SEC W 34.21 FT THN S 69 DEG 16 MIN 11 SEC E 20.23 FT TO POB

SMF 1B

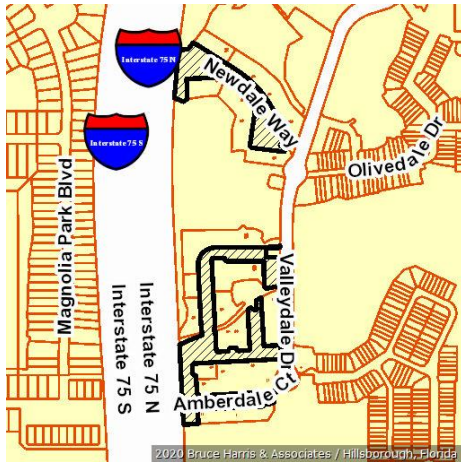
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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 047934-0200



Owner Information

Owner Name	VILLAGES OF BLOOMINGDALE HOA INC
Mailing Address	C/O TERRA MANAGEMENT SERVICES 14914 WINDING CREEK CT TAMPA, FL 33613-1600
Site Address	6305 VALLEYDALE DR, RIVERVIEW
PIN	U-07-30-20-663-000001-66320.1
Folio	047934-0200
Prior PIN	U-01-30-19-663-000001-66320.0
Prior Folio	047934-0000
Tax District	U - UNINCORPORATED
Property Use	0910 HOA ROW
Plat Book/Page	6/3
Neighborhood	224001.00 Lake St Charles Area
Subdivision	663 SOUTH TAMPA SUBDIVISION

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$100	\$100	\$0	\$100
Public Schools	\$100	\$100	\$0	\$100
Municipal	\$100	\$100	\$0	\$100
Other Districts	\$100	\$100	\$0	\$100

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
14167	0641	08	2004	WD	Unqualified	Vacant	\$7,000,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9990	Common Area	PD	0.0	0.0	LT LOTS	1.00	\$100

Legal Description

SOUTH TAMPA SUBDIVISION THAT PART OF TRACTS 15 AND 16 AND CLOSED R/W IN SW 1/4 OF SEC 06 TWP 30 RGE 20 DESC AS COM AT N 1/4 COR OF SEC 07 TWP 30 RGE 20 THN S 00 DEG 23 MIN 59 SEC W 28 FT ALG ELY BDRY LINE OF SD SEC 07 TO SLY R/W LINE OF PROGRESS BLVD AND POB THN CONT S 00 DEG 23 MIN 59 SEC W 2652.94 FT ALG ELY BDRY LINE OF NW 1/4 OF SD SEC 07 SD LINE ALSO BEING ELY BDRY LINE OF FIRST ADDITION TO SOUTH TAMPA TO THE SE COR OF NW 1/4 OF SD SEC 07 THN S 89 DEG 31 MIN 43 SEC W 1595.17 FT ALG SLY BDRY LINE OF NW 1/4 OF SD SEC 07 TO ELY LTD ACCESS R/W LINE INTERSTATE 75 THN ALG SD R/W LINE THE FOLLOWING TWO COURSES : N 00 DEG 39 MIN 05 SEC W 163.80 FT THN N02 DEG 53 MIN 48 SEC W 1060.91 FT TO BEG OF CURVE CONCAVE TO E W/ RAD OF 5531.58 FT THN NLY 1202.54 FT ALG SD CURVE CHD BRG N 03 DEG 10 MIN 42 SEC E 1200.17 FT TO COMPOUND CURVE CONCAVE TO SE W/ RAD OF 3492.07 FT THN NELY 519.49 FT ALG SD CURVE CHD BRG N 13 DEG 41 MIN 50 SEC E 518.96 FT TO SLY R/W LINE OF PROGRESS BLVD THN SELY 199.85 FT ALG CURVE CONCAVE TO NE W/ RAD OF 2050.61 FT CHD BRG S 60 DEG 34 MIN 42 SEC E 199.78 FT THN N 26 DEG 10 MIN 16 SEC E 10 FT TO BEG OF CURVE CONCAVE TO NE W/RAD OF 2040.61 FT THN SELY 186.28 FT ALG SD CURVE CHD BRG S 66 DEG 03 MIN 33 SEC E 186.21 FT THN NON-TANGENT TO SD CURVE S 79 DEG 40 MIN 50 SEC E 316.23 FT THN ELY 421.46 FT ALG SD CURVE CHD BRG S 83 DEG 40 MIN 28 SEC E 420.68 FT THN N 00 DEG 17 MIN 54 SEC E 10 FT THN S 89 DEG 42 MIN 04 SEC E 401.69 FT TO POB LESS VILLAGES OF BLOOMINGDALE PHASE 1 PB 104-66 2006 AND LESS VILLAGES OF BLOOMINGDALE - PHASE 2 & 3 PB 105-170 2006 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 4 CB 20-272 2007 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 5 CB 20-286 2007 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 6 CB 21-38 2007 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 7 CB 21-42 2007 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 8 CB 21-195 2007 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 9 CB 21-199 2007 AND LESS THAT PART DESC AS FOLLOWS: BEG AT N'MOST COR OF TRACT H OF SD VILLAGES OF BLOOMINGDALE PHASE 1 THN NLY 392.08 FT ALG CURVE AND ELY R/W LINE OF I-75 CB N 14 DEG 44 MIN 32 SEC E 391.88 FT TO SLY R/W LINE OF PROGRESS BLVD AND BEG OF CURVE CONCAVE TO NE W/RAD 2050.61 FT THN SELY 199.86 FT CB S 60 DEG 34 MIN 42 SEC E 199.78 FT THN N 26 DEG 10 MIN 16 SEC E 10 FT TO BEG OF CURVE CONCAVE NELY W/RAD 2040.61 FT THN SELY 186.28 FT CB S 66 DEG 03 MIN 40 SEC E 186.22 FT THN ALG CURVE S 79 DEG 40 MIN 50 SEC E 316.23 FT TO BEG OF CURVE CONCAVE TO NORTH W/RAD 2004.86 FT THN ELY 299.84 FT ALG CURVE WITH CB S 81 DEG 56 MIN 12 SEC E 299.56 FT TO WLY R/W LINE OF VALLEYDALE DR THN S 00 DEG 23 MIN 59 SEC W 123.86 FT TO BEG OF CURVE CONCAVE TO NW W/RAD 151 FT THN SWLY 193.20 FT ALG CURVE WITH CB S 37 DEG 03 MIN 15 SEC W 180.29 FT THN S 73 DEG 42 MIN 31 SEC W 69.30 FT TO BEG OF CURVE CONCAVE TO SOUTHEAST W/RAD 244 FT THN SWLY 235.03 FT WITH CB S 46 DEG 06 MIN 52 SEC W 226.04 FT TO BEG OF COMPOUND CURVE CONCAVE TO EAST W/RAD 25 FT THN SLY 8.96 FT WITH CB S 08 DEG 15 MIN 12 SEC W 8.91 FT TO BEG OF REVERSE CURVE CONCAVE TO WEST W/RAD 25 FT THN SLY 8.68 FT ALG CURVE WITH CB S 07 DEG 56 MIN 19 SEC W 8.64 FT THN S 17 DEG 53 MIN 26 SEC W 13.01 FT TO NLY BDRY LINE OF TRACT 'H' THN N 04 DEG 03 MIN 04 SEC E 13.56 FT THN N 55 DEG 35 MIN 08 SEC W 78.75 FT THN N 55 DEG 12 MIN 18 SEC W 91.86 FT THN N 58 DEG 12 MIN 48 SEC W 54.89 FT THN S 41 DEG 10 MIN 52 SEC W 36.95 FT THN S 26 DEG 19 MIN 24 SEC W 27.77 FT THN N 39 DEG 23 MIN 14 SEC W 63.17 FT THN N 42 DEG 12 MIN 04 SEC W 94.27 FT THN N 52 DEG 59 MIN 53 SEC W 34.88 FT THN N 54 DEG 00 MIN 22 SEC W 31.47 FT THN N 67 DEG 47 MIN 22 SEC W 67.52 FT THN S 54 DEG 05 MIN 45 SEC W 71 FT THN S 55 DEG 16 MIN 02 SEC W 46.62 FT THN S 77 DEG 53 MIN 33 SEC W 81.07 FT THN N 58 DEG 10 MIN 53 SEC W 49.02 FT THN N 36 DEG 30 MIN 12 SEC E 67.84 FT THN N 28 DEG 09 MIN 21 SEC W 43.76 FT THN N 52 DEG 59 MIN 59 SEC W 89.68 FT TO POB BEG AT S'MOST COR OF TRACT 'H' OF SD VILLAGES OF BLOOMINGDALE PHASE 1 ALSO BEING A PT ON WLY R/W LINE OF VALLEYDALE DR THN CONT ALG SD WLY R/W LINE RUN S 17 DEG 53 MIN 26 W 1.57 FT TO BEG OF CURVE CONCAVE TO NW W/RAD 25 FT THN SWLY 8.70 FT ALG CURVE WITH CB S 27 DEG 51 MIN 53 SEC W 8.66 FT TO BEG OF REVERSE CURVE CONCAVE TO SE W/RAD 25 FT CB S 34 DEG 11 MIN 03 SEC W 3.19 FT THN N 40 DEG 50 MIN 37 SEC W 55.20 FT THN N 42 DEG 1 1MIN 29 SEC W 50.35 FT THN N 27 DEG 25 MIN 22 SEC W 125.72 FT THN N 48 DEG 24 MIN 19 SEC W 122.04 FT THN N 57 DEG 36 MIN 24 SEC W 314.75 FT THN N 60 DEG 43 MIN 33 SEC W 30.26 FT TO PT ON BDRY LINE OF TRACT 'H' THN N 36 DEG 45 MIN 30 SEC E 23.85 FT THN N 20 DEG 17 MIN 38 SEC E 62.79 FT THN N 38 DEG 48 MIN 08 SEC E 61.96 FT THN N 83 DEG 58 MIN 36 SEC E 47.65 FT THN N 82 DEG 21 MIN 16 SEC E 25.11 FT THN S 61 DEG 39 MIN 32 SEC E 18.90 FT THN S 47 DEG 42 MIN 15 SEC W 27.15 FT THN N 89 DEG 52 MIN 12 SEC E 40.73 FT THN N 55 DEG 17 MIN 57 SEC E 40.07 FT THN N 56 DEG 26 MIN 25 SEC E 58.70 FT THN N 60 DEG 25 MIN 39 SEC W 28.02 FT THN S 70 DEG 50 MIN 00 SEC W 53.47 FT THN S 88 DEG 21 MIN 52 SEC W 23.85 FT THN S 40 DEG 13 MIN 28 SEC W 18.08 FT THN N 48 DEG 23 MIN 00 SEC W 32.09 FT THN N 66 DEG 02 MIN 59 SEC E 69.16 FT THN N 63 DEG 18 MIN 48 SEC E 38.88 FT THN S 60 DEG 50 MIN 48 SEC E 40.23 FT THN S 87 DEG 56 MIN 29 SEC E 23.92 FT THN S 51 DEG 13 MIN 30 SEC E 33.26 FT THN S 41 DEG 31 MIN 34 SEC E 29.40 FT THN S 40 DEG 48 MIN 39 SEC E 62.86 FT THN S 38 DEG 46 MIN 13 SEC E 94.07 FT THN S 42 DEG 18 MIN 43 SEC E 92.39 FT THN S 60 DEG 09 MIN 48 SEC W 77.21 FT THN S 12 DEG 3 3MIN 30 SEC W 82.26 FT THN S 02 DEG 06 MIN 45 SEC W 88.69 FT THN S 28 DEG 48 MIN 34 SEC E 120.55 FT THN S 41 DEG 26 MIN 25 SEC E 64.68 FT THN S 20 DEG 29 MIN 23 SEC W 34.21 FT THN S 69 DEG 16 MIN 11 SEC E 20.23 FT TO POB AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 11 CB 22-13 2007 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 12 CB 22-92 2007 AND LESS VILLAGES OF BLOOMINGDALE CONDOMINIUM 10 CB 22-232 2007

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Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 073991-5490



Owner Information

Owner Name	VERZOSA BENITO VERZOSA LINDA K
Mailing Address	9304 BLUEBERRY ASH CIR RIVERVIEW, FL 33578-8667
Site Address	9304 BLUEBERRY ASH CIR, RIVERVIEW
PIN	U-07-30-20-9RO-000014-00029.0
Folio	073991-5490
Prior PIN	U-01-30-19-663-000001-66320.C
Prior Folio	047934-3000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	119/145
Neighborhood	222002.00 Gibsonton Area N of River
Subdivision	9RO MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$170,241	\$159,855	\$50,000	\$109,855
Public Schools	\$170,241	\$159,855	\$25,000	\$134,855
Municipal	\$170,241	\$159,855	\$50,000	\$109,855
Other Districts	\$170,241	\$159,855	\$50,000	\$109,855

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
23731	0815	12	2015	WD	Qualified	Improved	\$205,400
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

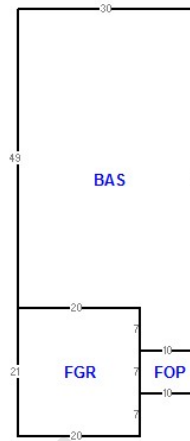
Building Information

Building 1

Type	01 SINGLE FAMILY
Year Built	2012

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	5	Contemporary 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,540	1,540	\$99,792
FGR	420		\$13,608
FOP	70		\$1,166
Totals	2,030	1,540	\$114,566

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0050	CONCRETE PATIO	1	2013	10	12	120.00	\$576

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	50.00	115.00	SE SF LOTS W/ EFF SIZE	5,750.00	\$55,099

Legal Description

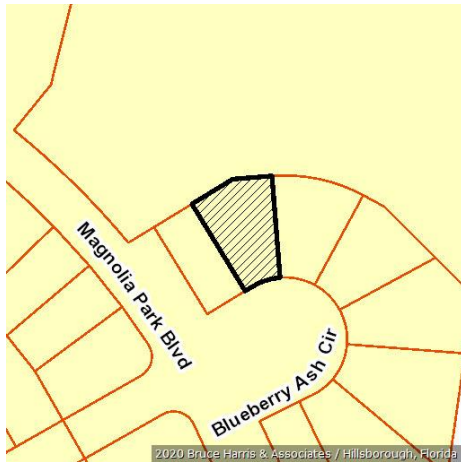
MAGNOLIA PARK SOUTHEAST A2 LOT 29 BLOCK 14



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafll.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 073991-5488



Owner Information

Owner Name	MITCHELL DEXTER M
Mailing Address	9306 BLUEBERRY ASH CIR RIVERVIEW, FL 33578-8667
Site Address	9306 BLUEBERRY ASH CIR, RIVERVIEW
PIN	U-07-30-20-9RO-000014-00028.0
Folio	073991-5488
Prior PIN	U-01-30-19-663-000001-66320.C
Prior Folio	047934-3000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	119/145
Neighborhood	222002.00 Gibsonton Area N of River
Subdivision	9RO MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$237,288	\$237,288	\$50,000	\$187,288
Public Schools	\$237,288	\$237,288	\$25,000	\$212,288
Municipal	\$237,288	\$237,288	\$50,000	\$187,288
Other Districts	\$237,288	\$237,288	\$50,000	\$187,288

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26439	1394	02	2019	WD	Qualified	Improved	\$285,000
23784	0227	12	2015	WD	Qualified	Improved	\$296,000
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

Building Information

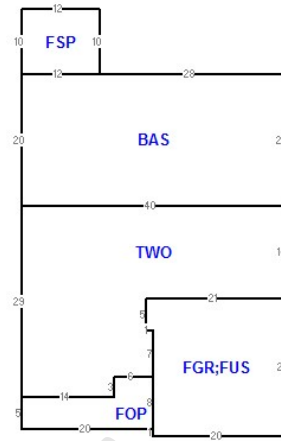
Building 1

Type 01 | SINGLE FAMILY

Year Built 2012

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	5	Wood
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	10	Contemporary Multi-Story
Condition	3	Average
Bedrooms	4.0	
Bathrooms	2.5	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	800	800	\$45,504
FSP	120		\$2,048
TWO	1,674	1,674	\$90,439
FOP	118		\$1,706
FGR	425		\$12,059
FUS	425	425	\$21,728
Totals	3,562	2,899	\$173,484

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	59.07	115.00	SE SF LOTS W/ EFF SIZE	6,793.05	\$63,804

Legal Description

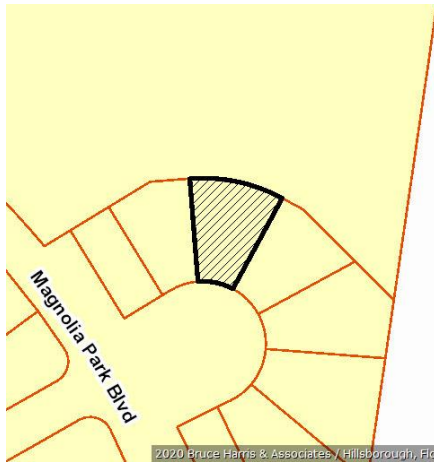
MAGNOLIA PARK SOUTHEASTA2 LOT 28 BLOCK 14



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 073991-5486



Owner Information

Owner Name	ROMERO ALBA H ROMERO FERNANDO M
Mailing Address	9308 BLUEBERRY ASH CIR RIVERVIEW, FL 33578-8667
Site Address	9308 BLUEBERRY ASH CIR, RIVERVIEW
PIN	U-07-30-20-9RO-000014-00027.0
Folio	073991-5486
Prior PIN	U-01-30-19-663-000001-66320.C
Prior Folio	047934-3000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	119/145
Neighborhood	222002.00 Gibsonton Area N of River
Subdivision	9RO MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$248,161	\$248,161	\$0	\$248,161
Public Schools	\$248,161	\$248,161	\$0	\$248,161
Municipal	\$248,161	\$248,161	\$0	\$248,161
Other Districts	\$248,161	\$248,161	\$0	\$248,161

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
27087	0001	10	2019	WD	Qualified	Improved	\$289,300
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

Building Information

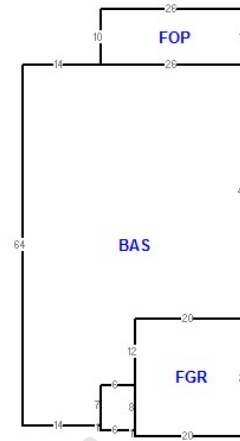
Building 1

Type 01 | SINGLE FAMILY

Year Built 2019

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	5	Contemporary 1-Story
Condition	3	Average
Remodeled	0	None
Bedrooms	4.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FOP	260		\$4,914
BAS	2,138	2,138	\$161,633
FOP	48		\$907
FGR	420		\$15,876
Totals	2,866	2,138	\$183,330

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	60.02	115.00	SE SF LOTS W/ EFF SIZE	6,902.30	\$64,831

Legal Description

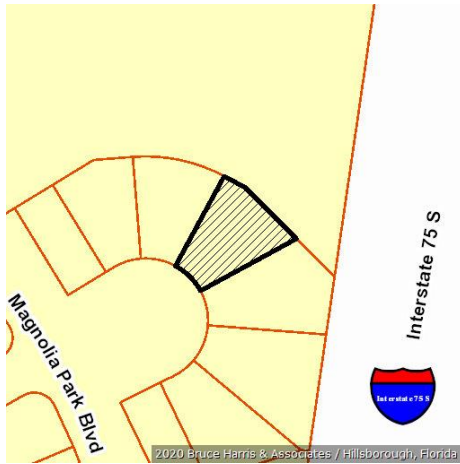
MAGNOLIA PARK SOUTHEASTA2 LOT 27 BLOCK 14



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 073991-5484



Owner Information

Owner Name	PETROSKY KATIE M
Mailing Address	9310 BLUEBERRY ASH CIR RIVERVIEW, FL 33578-8667
Site Address	9310 BLUEBERRY ASH CIR, RIVERVIEW
PIN	U-07-30-20-9RO-000014-00026.0
Folio	073991-5484
Prior PIN	U-01-30-19-663-000001-66320.C
Prior Folio	047934-3000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	119/145
Neighborhood	222002.00 Gibsonton Area N of River
Subdivision	9RO MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$213,348	\$213,348	\$0	\$213,348
Public Schools	\$213,348	\$213,348	\$0	\$213,348
Municipal	\$213,348	\$213,348	\$0	\$213,348
Other Districts	\$213,348	\$213,348	\$0	\$213,348

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26928	0648	08	2019	WD	Qualified	Improved	\$281,300
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

Building Information

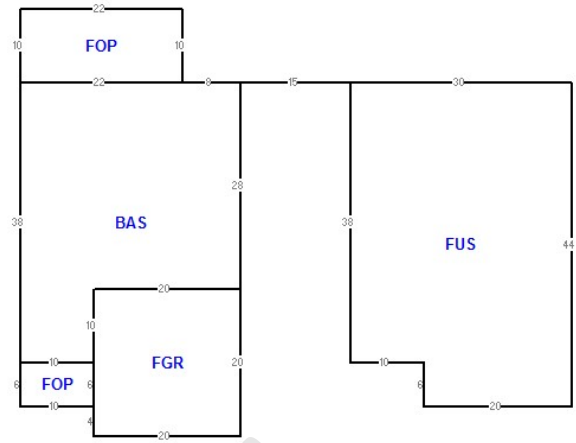
Building 1

Type 01 | SINGLE FAMILY

Year Built 2015

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	7	Tile
Heat/AC	2	Central
Architectural Style	10	Contemporary Multi-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	2.5	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	940	940	\$58,247
FOP	220		\$3,408
FOP	60		\$929
FGR	400		\$12,393
ADD			\$0
FUS	1,260	1,260	\$70,268
Totals	2,880	2,200	\$145,245

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0400	SCREEN ENCLOSURE	1	2019	0	0	378.00	\$1,317

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	60.36	119.00	SE SF LOTS W/ EFF SIZE	7,182.84	\$66,785

Legal Description

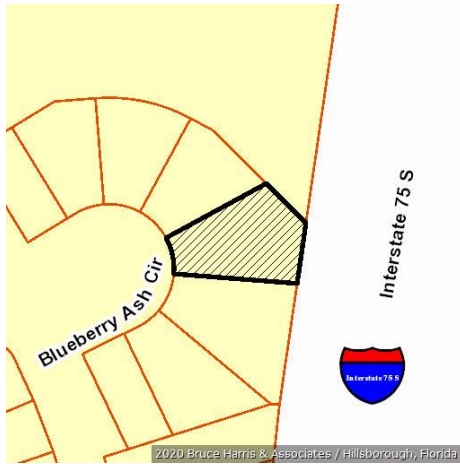
MAGNOLIA PARK SOUTHEASTA2 LOT 26 BLOCK 14



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 073991-5482



Owner Information

Owner Name	JONES LISA MAE
Mailing Address	9312 BLUEBERRY ASH CIR RIVERVIEW, FL 33578-8667
Site Address	9312 BLUEBERRY ASH CIR, RIVERVIEW
PIN	U-07-30-20-9RO-000014-00025.0
Folio	073991-5482
Prior PIN	U-01-30-19-663-000001-66320.C
Prior Folio	047934-3000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	119/145
Neighborhood	222002.00 Gibsonton Area N of River
Subdivision	9RO MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$201,040	\$201,040	\$50,000	\$151,040
Public Schools	\$201,040	\$201,040	\$25,000	\$176,040
Municipal	\$201,040	\$201,040	\$50,000	\$151,040
Other Districts	\$201,040	\$201,040	\$50,000	\$151,040

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26985	0674	09	2019	WD	Qualified	Improved	\$238,500
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

Building Information

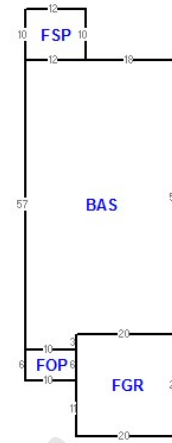
Building 1

Type 01 | SINGLE FAMILY

Year Built 2015

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	5	Contemporary 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,650	1,650	\$105,851
FSP	120		\$2,309
FOP	60		\$962
FGR	400		\$12,830
Totals	2,230	1,650	\$121,952

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	65.77	132.00	SE SF LOTS W/ EFF SIZE	8,681.64	\$79,072
9621	Easement Area	PD	0.0	0.0	AC ACREAGE	0.02	\$15

Legal Description

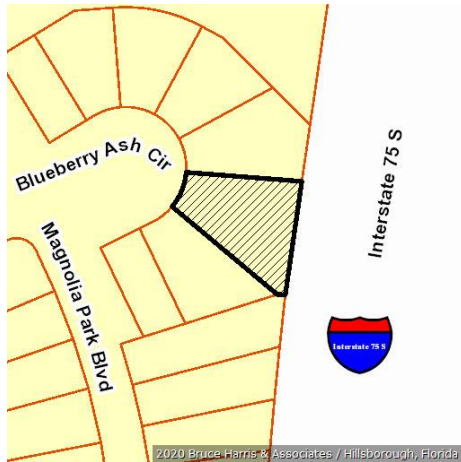
MAGNOLIA PARK SOUTHEASTA2 LOT 25 BLOCK 14



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 073991-5480



Owner Information

Owner Name	WASHINGTON JAMES WOODROW II WASHINGTON ASHLEA MARIE
Mailing Address	9314 BLUEBERRY ASH CIR RIVERVIEW, FL 33578-8667
Site Address	9314 BLUEBERRY ASH CIR, RIVERVIEW
PIN	U-07-30-20-9RO-000014-00024.0
Folio	073991-5480
Prior PIN	U-01-30-19-663-000001-66320.C
Prior Folio	047934-3000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	119/145
Neighborhood	222002.00 Gibsonton Area N of River
Subdivision	9RO MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$271,637	\$271,637	\$0	\$271,637
Public Schools	\$271,637	\$271,637	\$0	\$271,637
Municipal	\$271,637	\$271,637	\$0	\$271,637
Other Districts	\$271,637	\$271,637	\$0	\$271,637

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26998	1556	09	2019	WD	Qualified	Improved	\$345,100
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

Building Information

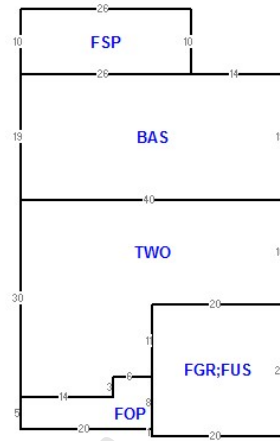
Building 1

Type 01 | SINGLE FAMILY

Year Built 2016

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	7	Tile
Heat/AC	2	Central
Architectural Style	10	Contemporary Multi-Story
Condition	3	Average
Bedrooms	4.0	
Bathrooms	2.5	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	760	760	\$49,173
FSP	260		\$5,047
TWO	1,804	1,804	\$110,898
FOP	118		\$1,941
FGR	400		\$12,940
FUS	400	400	\$23,292
Totals	3,742	2,964	\$203,291

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	59.47	145.00	SE SF LOTS W/ EFF SIZE	8,623.15	\$68,295
9621	Easement Area	PD	0.0	0.0	AC ACREAGE	0.07	\$52

Legal Description

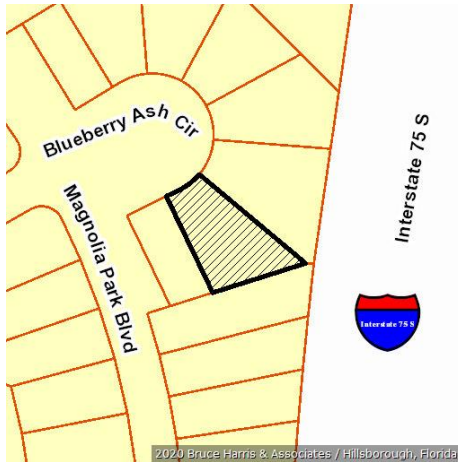
MAGNOLIA PARK SOUTHEAST A2 LOT 24 BLOCK 14



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 073991-5478



Owner Information

Owner Name PABON JUAN JORGE
PABON LILLIAN

Mailing Address 9316 BLUEBERRY ASH CIR
RIVERVIEW, FL 33578-8667

Site Address 9316 BLUEBERRY ASH CIR, RIVERVIEW

PIN U-07-30-20-9RO-000014-00023.0

Folio 073991-5478

Prior PIN U-01-30-19-663-000001-66320.C

Prior Folio 047934-3000

Tax District U - UNINCORPORATED

Property Use 0100 SINGLE FAMILY R

Plat Book/Page 119/145

Neighborhood 222002.00 | Gibsonton Area N of River

Subdivision 9RO | MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$290,098	\$290,098	\$290,098	\$0
Public Schools	\$290,098	\$290,098	\$290,098	\$0
Municipal	\$290,098	\$290,098	\$290,098	\$0
Other Districts	\$290,098	\$290,098	\$290,098	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26324	0368	12	2018	WD	Qualified	Improved	\$326,800
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

Building Information

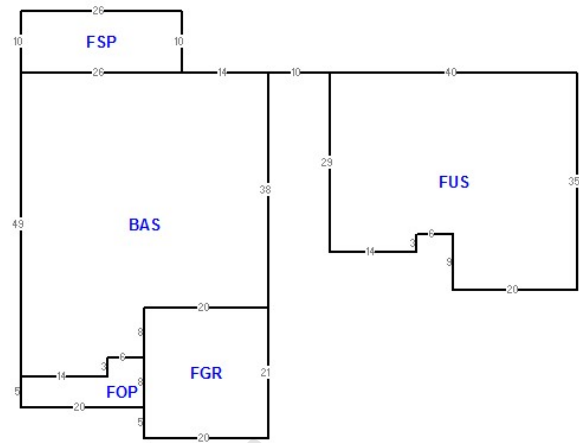
Building 1

Type 01 | SINGLE FAMILY

Year Built 2018

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	10	Contemporary Multi-Story
Condition	3	Average
Remodeled	0	None
Bedrooms	4.0	
Bathrooms	2.5	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,722	1,722	\$124,108
FSP	260		\$5,622
FOP	118		\$2,162
FGR	420		\$15,135
ADD			\$0
FUS	1,262	1,262	\$81,874
Totals	3,782	2,984	\$228,901

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	54.99	139.00	SE SF LOTS W/ EFF SIZE	7,643.61	\$61,168
9621	Easement Area	PD	0.0	0.0	AC ACREAGE	0.04	\$30

Legal Description

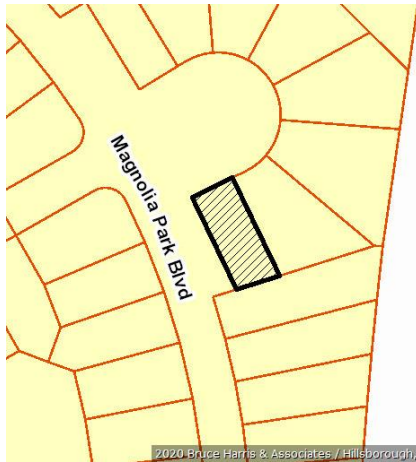
MAGNOLIA PARK SOUTHEASTA2 LOT 23 BLOCK 14



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 073991-5476



Owner Information

Owner Name KELLER JASON A
 KELLER ROSE MARY SANTOS

Mailing Address 9318 BLUEBERRY ASH CIR
 RIVERVIEW, FL 33578-8667

Site Address 9318 BLUEBERRY ASH CIR, RIVERVIEW

PIN U-07-30-20-9RO-000014-00022.0

Folio 073991-5476

Prior PIN U-01-30-19-663-000001-66320.C

Prior Folio 047934-3000

Tax District U - UNINCORPORATED

Property Use 0100 SINGLE FAMILY R

Plat Book/Page 119/145

Neighborhood 222002.00 | Gibsonton Area N of River

Subdivision 9RO | MAGNOLIA PARK SOUTHEASTA2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$235,823	\$235,823	\$50,000	\$185,823
Public Schools	\$235,823	\$235,823	\$25,000	\$210,823
Municipal	\$235,823	\$235,823	\$50,000	\$185,823
Other Districts	\$235,823	\$235,823	\$50,000	\$185,823

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26287	1444	12	2018	WD	Qualified	Improved	\$277,000
17419	1462	02	2007	QC	Unqualified	Vacant	\$100

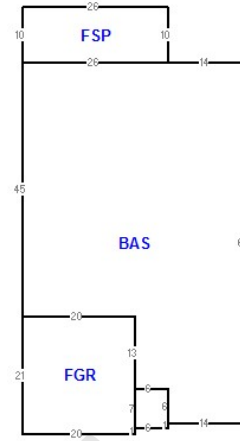
Building Information

Building 1

Type	01 SINGLE FAMILY
Year Built	2018

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Heat/AC	2	Central
Architectural Style	5	Contemporary 1-Story
Condition	3	Average
Remodeled	0	None
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,144	2,144	\$163,302
FSP	260		\$5,941
FGR	420		\$15,995
FOP	42		\$762
Totals	2,866	2,144	\$186,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REH1	Res SF Class 8.25	PD	51.18	118.00	SE SF LOTS W/ EFF SIZE	6,039.24	\$49,824

Legal Description

MAGNOLIA PARK SOUTHEASTA2 LOT 22 BLOCK 14

SMF 2/3

DRAFT



1310 Cross Creek Circle
Suite B
Tallahassee, FL 32301-3728




Petroleum Cleanup Program
Division of Waste Management
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Facility Locations - Comparison of DEP and DOH Data

Distance between DOH and DEP locations (ft.)

DEP Data

 DEP Facility ID

DESCRIPTION: STATUS

NAME:

ADDRESS1:

CITY: DEP District:

ZIP5: COUNTY:

OPERATOR:

DEP Longitude

DEP Latitude

DEP location method NREQ_count:

Collection Date

Reference

Facility Cleanup Status Status Effective Date

LAST_PBC_Report

LAST_SR_Report:

LAST_RAP_Report


LAST_SA_Report

_LAST_PBC_Report

LAST_RA_Report

Number_discharges CURRENT_SCORE

DOH Data

 DIVISION OF Environmental Health

DOH Facility ID

Facility Name:

STREET:

CITY:

ZIPCODE:

Type of Facility

DOH Longitude

DOH Latitude

DOH location method

DOH GPS Date

Selection Criteria

Fac_ID DOH CORRECT DEP CORRECT OTHER CORRECT

correct latitude NO CORRECT

correct longitude Incorrect Facility ID

Vehicular Spill Deliverable completed




Selection Based on OCULUS Documents

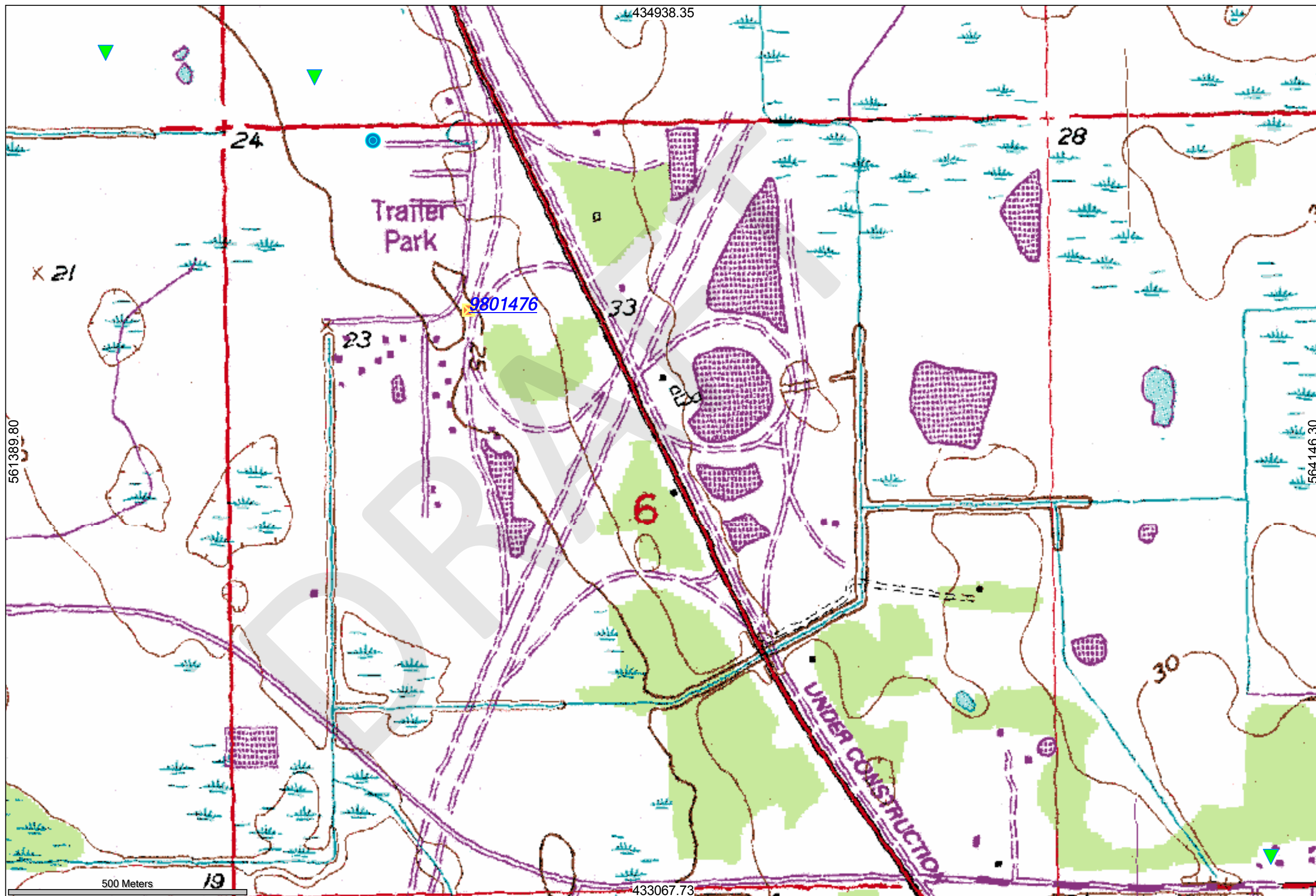
Insufficient OCULUS Documentation

Selection Based on Address

DEP's point is located in the Gulf. DOH's point is located on the US 301 southbound on ramp to I-75. Based on the site assessment map, DOH's point appears to be within feet of where the tanker came to rest on the side of the road.

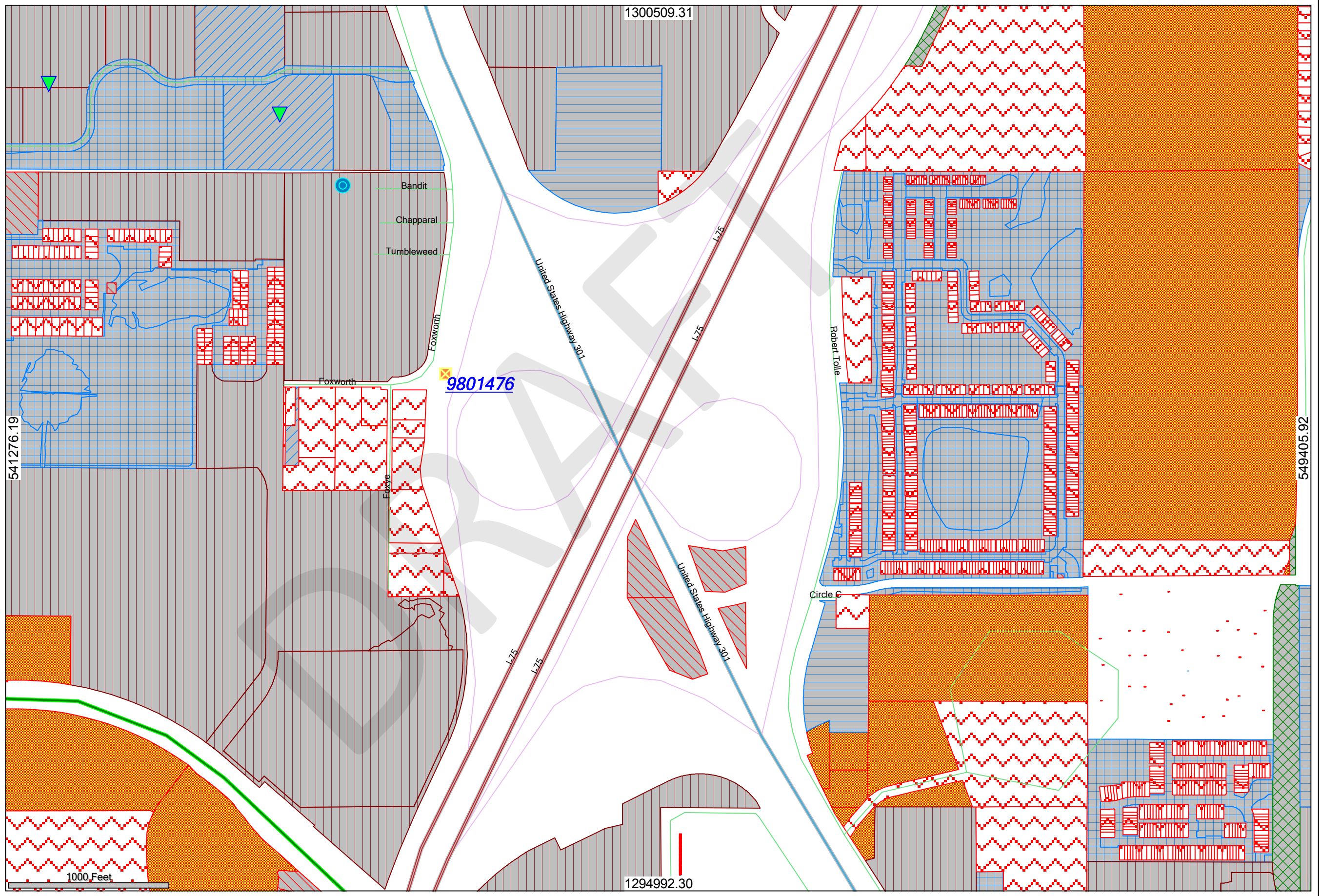
Are any Locations in Gulf?:

-  dohfacshp
-  stcmfacshp
-  wellshp



County

- DOH_facilities.shp
- STCMfacilites.shp
- Wells.shp
- roads06.shp**
 - Interstate
 - Local
 - Primary
 - Secondary
 - Special/cloverleaf/round
 - Trail
 - Walkway/Alley
- Hillsborough.shp**
 - ACREAGE NON AGRIC
 - AGRICULTURAL
 - CENTRALLY ASSESSI
 - COMMERCIAL
 - GOVERNMENT
 - INDUSTRIAL
 - INSTITUTIONAL
 - Miscellaneous
 - RESIDENTIAL
 - Unknown



Search Results

Storage Tanks
25 total

Result/Page **5** Sort **Document Date**

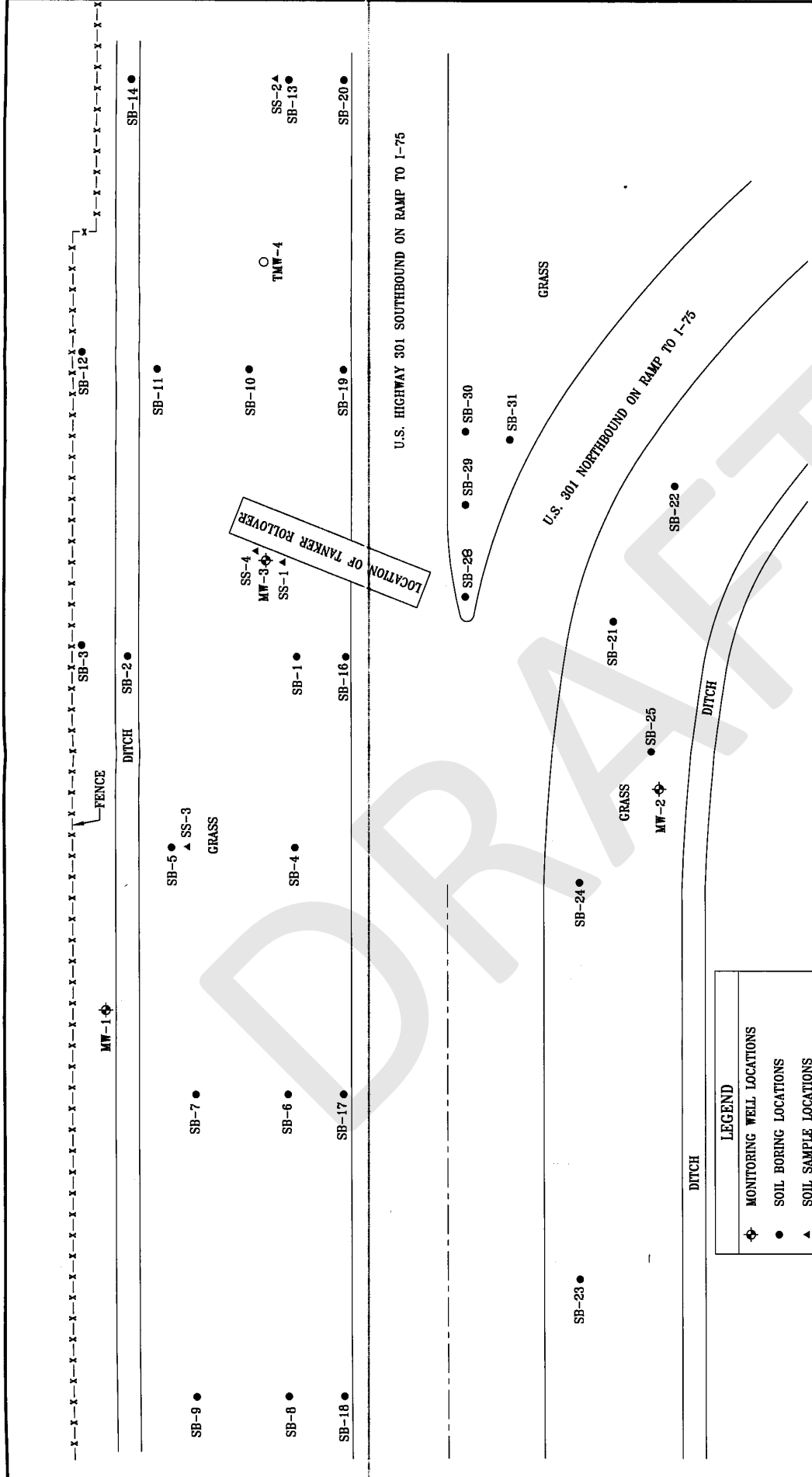
Operations **View**

[Storage Tanks_Restricted \(0\)](#)

Showing Result(s) 1 to 25

Pages: 1

			Profile	Facility-Site ID	Document Date	Received Date	Document Type	Document Subject County	Facilit
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	10-27-1999	10-27-1999	SITE ASSESSMENT RELATED	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	12-09-1999	12-09-1999	APPROVAL RELATED	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	04-26-2000	09-15-2000	MONITORING PLANS AND REPORTS R	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	06-05-2000	06-08-2000	REVIEW COMMENTS	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	10-20-2000	11-15-2000	MONITORING PLANS AND REPORTS R	HILLSBOROUGH	STCM
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	01-11-2001	02-22-2002	MONITORING PLANS AND REPORTS R	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	02-07-2001	03-05-2001	REVIEW COMMENTS	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	03-09-2001	04-02-2001	MONITORING PLANS AND REPORTS R	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	05-31-2001	06-04-2001	REVIEW COMMENTS	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	08-16-2001	09-21-2001	MONITORING PLANS AND REPORTS R	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	09-24-2001	09-24-2001	REVIEW COMMENTS	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	10-24-2001	11-19-2001	MONITORING PLANS AND REPORTS R	HILLSBOROUGH	STCM
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cleanup	9801476	11-08-2001	11-29-2001	APPROVAL RELATED	HILLSBOROUGH	STCM



PROJECT NO.: 16174.0001
 SCALE: 1" = 20'
 DATE: 4-26-99
 FIGURE NO.: 1

MONITORING WELL/SOIL BORING/SOIL SAMPLE LOCATION MAP
 PCT TANKER INCIDENT
 U.S. HIGHWAY 301 AND I-75
 TAMPA, FLORIDA

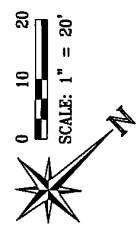
ATC Associates Inc.
 1000 N. Ashley Drive, Suite 1000
 Tampa, Florida 33602
 (813) 221-8717
 (813) 221-9663 FAX

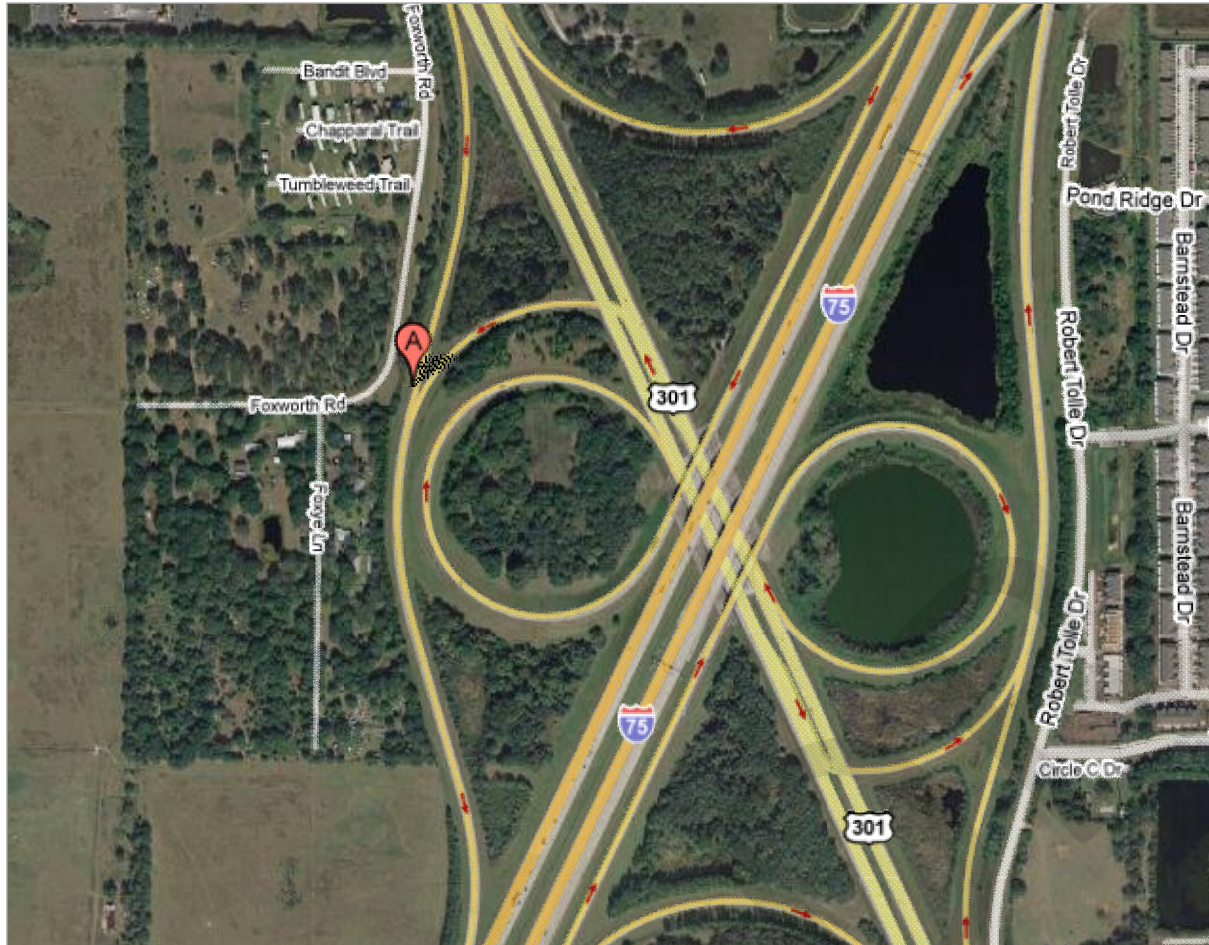
DRAWN BY: J.T.D. CHECKED BY:

LEGEND

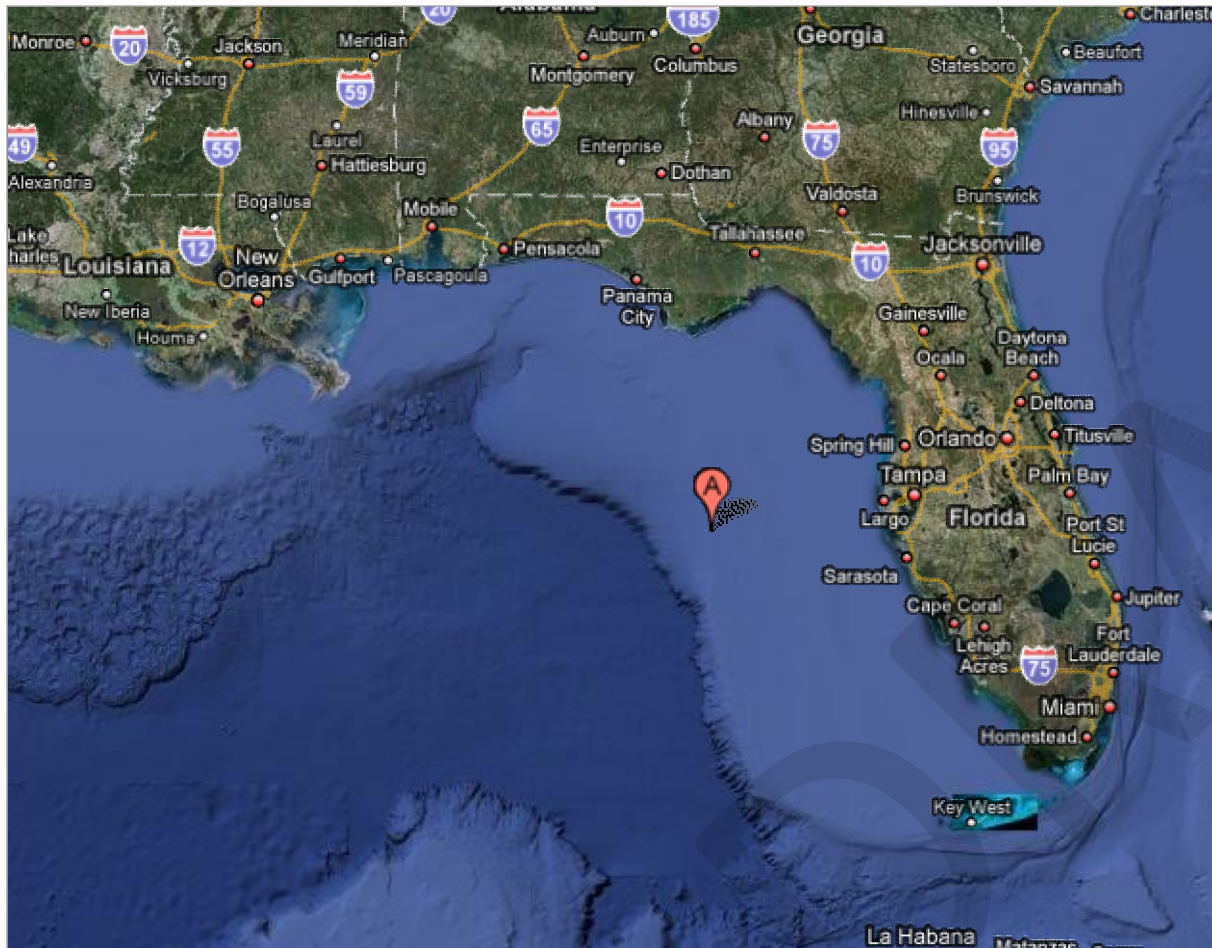
- ◆ MONITORING WELL LOCATIONS
- SOIL BORING LOCATIONS
- ▲ SOIL SAMPLE LOCATIONS
- TEMPORARY MONITORING WELL

NOTES:
 SB-15 IS APPROXIMATELY 20 FT. NNW OF SB-13.
 SB-26 IS APPROXIMATELY 65 FT. NNW OF SB-13.
 SB-27 IS APPROXIMATELY 90 FT. NNW OF SB-13.



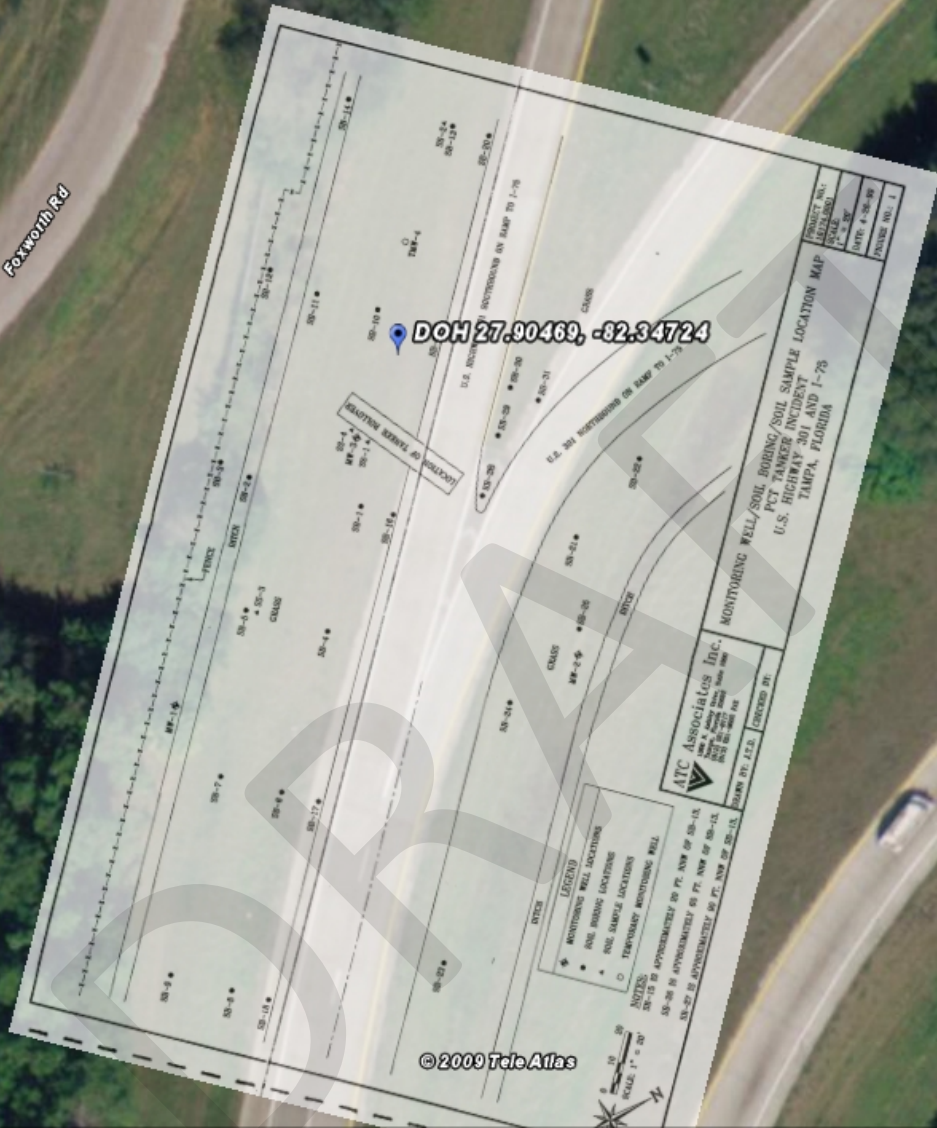


Google™ Address
Maps



Foxworth Rd

DOH 27.90469, -82.34724

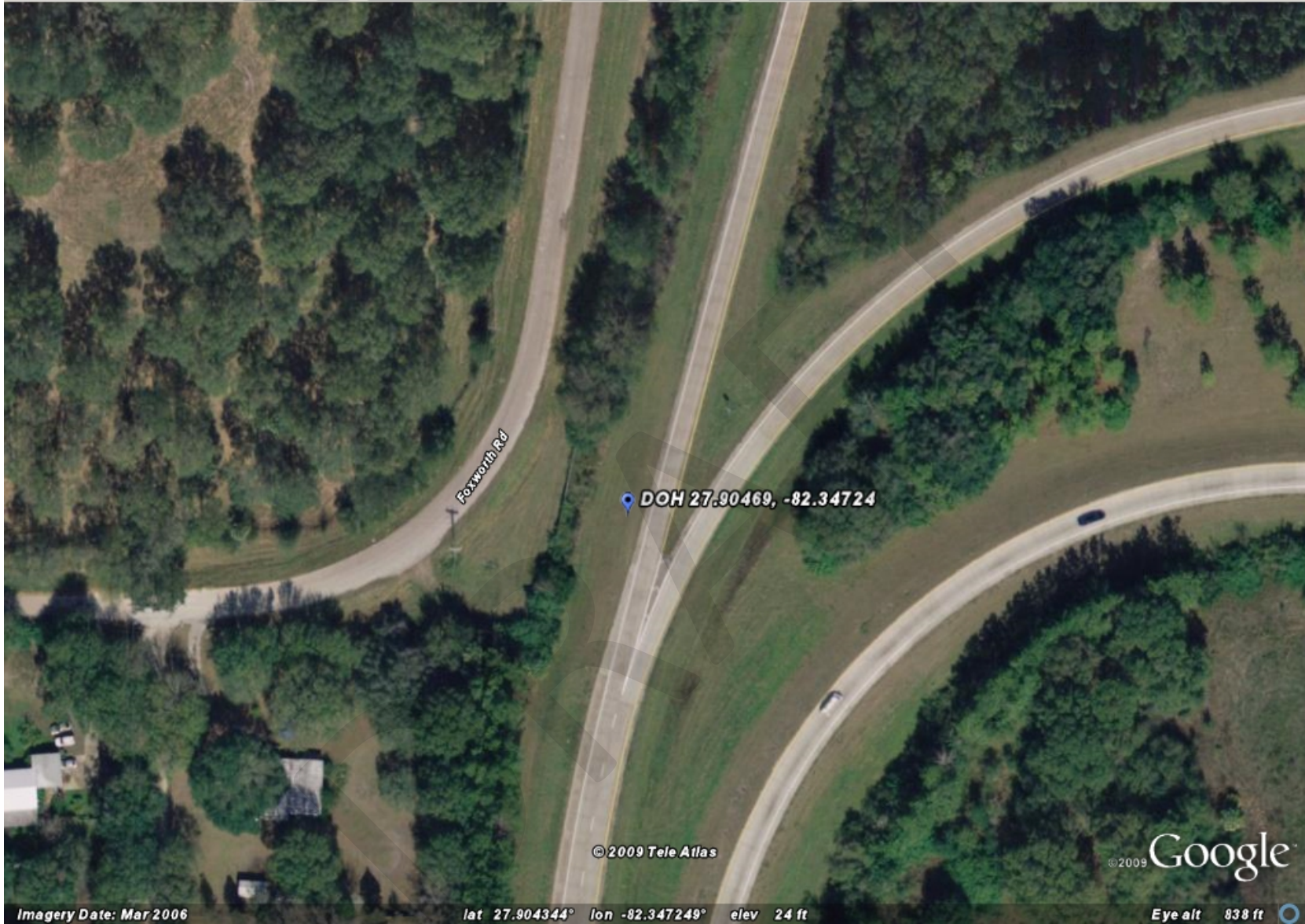


© 2009 Tele Atlas

© 2009 Google

lat 27.904356° lon -82.346806° elev 24 ft

Eye alt 433 ft



© 2009 Tele Atlas

©2009 Google

Imagery Date: Mar 2006

lat 27.904344° lon -82.347249° elev 24 ft

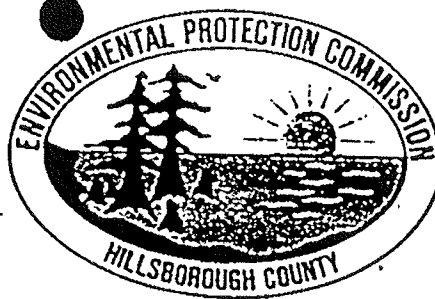
Eye alt 838 ft

COMMISSION

PAT FRANK
CHRIS HART
JIM NORMAN
JAN PLATT
THOMAS SCOTT
RONDA STORMS
STACEY EASTERLING

EXECUTIVE DIRECTOR

RICHARD D. GARRITY, Ph.D.



ADMINISTRATIVE OFFICES,
REGAL & WATER MANAGEMENT DIVISION
THE ROGER P. STEWART ENVIRONMENTAL CENTER
1900 - 9TH AVENUE • TAMPA, FLORIDA 33605
PHONE (813) 272-5960 • FAX (813) 272-5157

AIR MANAGEMENT DIVISION
FAX (813) 272-5603

WASTE MANAGEMENT DIVISION
FAX (813) 276-2256

WETLANDS MANAGEMENT DIVISION
FAX (813) 272-7144

1410 N. 21ST STREET • TAMPA, FLORIDA 33605

January 17, 2002

Mr. Scott Eaton
CITGO Petroleum Corporation
Post Office Box 47427
Doraville, Georgia 30362

Dear Mr. Eaton:

**SUBJECT: NATURAL ATTENUATION MONITORING REPORT – THIRD
QUARTER, PETRO-CHEMICAL TRANSPORT TANKER
ACCIDENT, INTERSTATE 75 & U.S. HIGHWAY 301,
RIVERVIEW, HILLSBOROUGH COUNTY, FLORIDA, FDEP
FACILITY NO. 299801476 (RECEIVED ON JANUARY 17, 2002)**

Environmental Protection Commission (EPC) staff has reviewed the above-entitled third quarter Natural Attenuation Monitoring Report (NAMR) in accordance with both the December 9, 1999 Natural Attenuation Monitoring Plan (NAMP) Approval Order and the May 31, 2001 NAMP Approval Order Modification. A review of Table 1 of the third quarter NAMR does not reveal any action level exceedences for the January 3, 2002 sampling event.

ATC Associates, Inc., (ATC) recommends: "... that the natural attenuation monitoring continue and that groundwater samples be collected from monitoring wells MW-1 and MW-3 in April 2002 (fourth quarter) ... Additionally, per the NAMP Approval Order and Modification, a proposal for additional soil assessment at the conclusion of the groundwater monitoring period should be submitted to Hillsborough County."

Please proceed with the fourth quarter natural attenuation monitoring in accordance with the May 31, 2001 NAMP Approval Order Modification. If no action level exceedences are exhibited for the fourth quarter natural attenuation monitoring event, please provide a proposal for additional soil assessment in accordance with the third paragraph on page two of the December 9, 1999 NAMP Approval Order.

Please contact me at (813) 272-5955 ext. 1302 if you wish to discuss these matters.

www.epchc.org

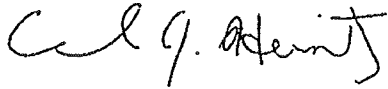
E-Mail: epcinfo@epchc.org



Page 2 of 2
January 17, 2002
Mr. Eaton

Please reference the FDEP facility ID # if you call.

Sincerely,



Carl J. Heintz, P.G.
Professional Geologist

c: Grace Rivera, FDEP Tallahassee
Lee Clark, ATC Associates, Inc.
Monthly Report File
Correspondence File
FDEP Facility ID #299801476 File

DRAFT

COMMISSION
Kathy Castor
Pat Frank
Ken Hagan
Jim Norman
Jan K. Platt
Thomas Scott
Ronda Storms



Administrative Offices,
Legal & Water Management Division
The Roger P. Stewart Environmental Center
1900 - 9th Ave. • Tampa, FL 33605
Ph. (813) 272-5960 • Fax (813) 272-5157
Air Management Fax 272-5605
Waste Management Fax 276-2256
Wetlands Management Fax 272-7144
1410 N. 21st Street • Tampa, FL 33605

Executive Director
Richard D. Garrity, Ph.D.

CERTIFIED MAIL #7000 0520 0016 2433 5170
RETURN RECEIPT REQUESTED

May 20, 2003

Mr. Tom Soluri
Citgo Petroleum Corporation
P.O. Box 3758
Tulsa, OK 74102-3758

Dear Mr. Soluri:

SUBJECT: PETROLEUM DISCHARGE 2/10/98: PETRO-CHEMICAL TRANSPORT TANKER ACCIDENT, INTERSTATE 75 & US HIGHWAY 301, RIVERVIEW, FACILITY ID #299801476

RECEIVED
DEPARTMENT OF
ENVIRONMENTAL PROTECTION
2003 MAY 21 A 10: 27
BUREAU OF PETROLEUM
STORAGE SYSTEMS
DOCUMENT MANAGEMENT
CENTER

Petroleum contamination was discovered at the above-referenced site on February 10, 1998 and a Discharge Report Form (DFR) was filed with the Florida Department of Environmental Protection (FDEP). On January 17, 2002, the Environmental Protection Commission (EPC), under contract with the FDEP, issued a letter outlining the requirement to continue with the fourth quarter natural attenuation monitoring in accordance with the May 31, 2001 NAMP Approval Order Modification. The EPC did receive correspondence dated March 19, 2002 from ATC associates stating the fourth quarter groundwater sampling was to occur the week of April 8, 2002. As specified in the January 17, 2002 letter, if no action level exceedences were exhibited for the fourth quarter monitoring event, a Site Rehabilitation Completion Order (SRCO) should have been submitted as required by Rule 62-770.690(8), F.A.C. If the No Further Action criteria in Rule 62-770.680, F.A.C. were not met, then a report summarizing the monitoring program should have been submitted to the EPC. As of the date of this letter, this documentation has not been received by the EPC.

In accordance with Rule 62-770.800(6), F.A.C., failure to meet any time frame in Chapter 62-770, F.A.C. is a violation of Chapters 376 and 403, Florida Statutes (F.S.). Specifically, it is a violation of Section 376.302(1)(b), F.S., to fail to comply with any rule adopted or issued by the FDEP. Please be advised that failure to complete remedial action may result in formal enforcement action.

Dear Mr. Soluri:
May 20, 2003
Page two

Within fourteen days after receipt of this letter, you must provide the EPC with written notification detailing the actions taken to comply with Chapter 62-770, F.A.C., if any. Correspondence should be submitted to my attention at the letterhead address. The FDEP Facility Number for this site is 299801476. Please use this identification on all future correspondence with the FDEP or EPC.

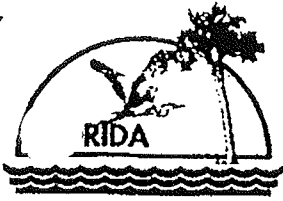
If you have any questions, please contact me at (813) 272-5955, extension 1310. We look forward to your cooperation in resolving this matter.

Sincerely,



Steffanie Wickham
Environmental Specialist II

cc: Grace Rivera, FDEP-Tallahassee
Scott Eaton, Citgo Petroleum Corporation, PO Box 47427, Doraville, GA 30362
File



Department of Environmental Protection

Jeb Bush
Governor

Twin Towers Office Building
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

David B. Struhs
Secretary

MAR 2 2004

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Mr. Scott Eaton
CITGO Petroleum Corporation
Post Office Box 47427
Doraville, Georgia 30362

Subject: Site Rehabilitation Completion Order
Petro Chemical Transport (CITGO) Spill
US Highway 301 Southbound Ramp and Interstate 75 Southbound
Riverview, Hillsborough County
FDEP Facility ID# 299801476
Discharge Date: February 10, 1998 (Non-program)

Dear Mr. Eaton:

The Environmental Protection Commission of Hillsborough County (EPC/HC) has reviewed the Site Rehabilitation Completion Report (SRCR) dated November 12, 2003 (received November 12, 2003, prepared and submitted by ATC Associates, Inc. for the petroleum product discharge discovered at this site. Documentation submitted with the SRCR confirms that criteria set forth in Rule 62-770.700(9), Florida Administrative Code (F.A.C.), have been met. The SRCR is hereby incorporated by reference in this Site Rehabilitation Completion Order (Order). Therefore, you are released from any further obligation to conduct site rehabilitation at the site for petroleum product contamination associated with the discharge listed above, except as set forth below.

- (1) In the event concentrations of petroleum products' contaminants of concern increase above the levels approved in this Order, or if a subsequent discharge of petroleum or petroleum product occurs at the site, the Florida Department of Environmental Protection (Department) may require site rehabilitation to reduce concentrations of petroleum products' contaminants of concern to the levels approved in the SRCR or otherwise allowed by Chapter 62-770, F.A.C.
- (2) Additionally, you are required to properly abandon all monitoring wells within 60 days of receipt of this Order. The monitoring wells must be plugged and abandoned in accordance with the requirements of Rule 62-532.500(4), F.A.C.

"More Protection. Less Process"

Visit Our Internet Site At: www.dep.state.fl.us/waste/categories/pcp/default.htm
Printed on recycled paper.

Legal Issues

The Department's Order shall become final unless a timely petition for an administrative proceeding (hearing) is filed under Sections 120.569 and 120.57, Florida Statutes (F.S.), within 21 days of receipt of this Order. The procedures for petitioning for a hearing are set forth below.

Persons affected by this Order have the following options:

- (A) If you choose to accept the Department's decision regarding the SRCR you do not have to do anything. This Order is final and effective as of the date on the top of the first page of this Order.
- (B) If you choose to challenge the decision, you may do the following:
 - (1) File a request for an extension of time to file a petition for hearing with the Agency Clerk in the Office of General Counsel of the Department within 21 days of receipt of this Order; such a request should be made if you wish to meet with the Department in an attempt to informally resolve any disputes without first filing a petition for hearing; or
 - (2) File a petition for administrative hearing with the Agency Clerk in the Office of General Counsel of the Department within 21 days of receipt of this Order.

Please be advised that mediation of this decision pursuant to Section 120.573, F.S., is not available.

How to Request an Extension of Time to File a Petition for Administrative Hearing

For good cause shown, pursuant to Rule 62-110.106(4), F.A.C., the Department may grant a request for an extension of time to file a petition for hearing. Such a request must be filed (received) by the Agency Clerk in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, within 21 days of receipt of this Order. Petitioner, if different from CITGO Petroleum Corporation, shall mail a copy of the request to CITGO Petroleum Corporation at the time of filing. Timely filing a request for an extension of time tolls the time period within which a petition for administrative hearing must be made.

How to File a Petition for Administrative Hearing

A person whose substantial interests are affected by this Order may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. The petition must contain the information set forth below and must be filed (received) by the Agency Clerk in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station

35, Tallahassee, Florida 32399-3000, within 21 days of receipt of this Order. Petitioner, if different from CITGO Petroleum Corporation, shall mail a copy of the petition to CITGO Petroleum Corporation at the time of filing. Failure to file a petition within this time period shall waive the right of anyone who may request an administrative hearing under Sections 120.569 and 120.57, F.S.

Pursuant to Subsections 120.54(5)(b)4. and 120.569(2), F.S., and Rule 28-106.201, F.A.C., a petition for administrative hearing shall contain the following information:

- (a) The name, address, and telephone number of each petitioner, the name, address, and telephone number of the petitioner's representative, if any, the site owner's name and address, if different from the petitioner, the FDEP facility number, and the name and address of the facility;
- (b) A statement of when and how each petitioner received notice of the Department's action or proposed action;
- (c) An explanation of how each petitioner's substantial interests are or will be affected by the Department's action or proposed action;
- (d) A statement of the material facts disputed by the petitioner, or a statement that there are no disputed facts;
- (e) A statement of the ultimate facts alleged, including a statement of the specific facts the petitioner contends warrant reversal or modification of the Department's action or proposed action;
- (f) A statement of the specific rules or statutes the petitioner contends require reversal or modification of the Department's action or proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action petitioner wishes the Department to take with respect to the Department's action or proposed action.

This Order is final and effective as of the date on the top of the first page of this Order. Timely filing a petition for administrative hearing postpones the date this Order takes effect until the Department issues either a final order pursuant to an administrative hearing or an Order Responding to Supplemental Information provided to the Department pursuant to meetings with the Department.

Judicial Review

Any party to this Order has the right to seek judicial review of it under Section 120.68, F.S., by filing a notice of appeal under Rule 9.110 of the Florida Rules of Appellate Procedure with the Agency Clerk in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, and by filing a copy of the notice of appeal accompanied by the applicable filing fees with the appropriate

Mr. Scott Eaton
FDEP Facility ID# 299801476
Page four

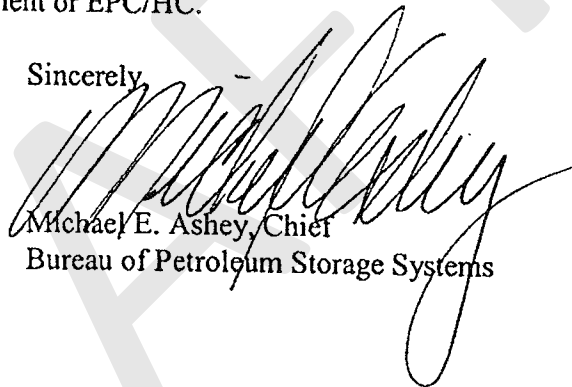
district court of appeal. The notice of appeal must be filed within 30 days after this Order is filed with the clerk of the Department (see below).

Questions

Any questions regarding EPC/HC's review of your SRCR should be directed to Maria S. Bristow at (813) 272-5955 ext. 1341. Questions regarding legal issues should be referred to the Department's Office of General Counsel at (850) 245-2242. Contact with any of the above does not constitute a petition for administrative hearing or request for an extension of time to file a petition for administrative hearing.

The FDEP Facility Number for this site is 299801476. Please use this identification on all future correspondence with the Department or EPC/HC.

Sincerely,



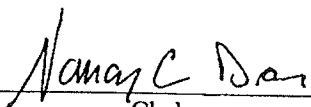
Michael E. Ashley, Chief
Bureau of Petroleum Storage Systems

MEA/msb

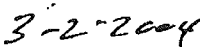
cc:

Grace Rivera, FDEP – BPSS
Maria S. Bristow., EPC/HC
Tom Soluri, CITGO Petroleum Corporation, Post Office Box 3758, Tulsa, Oklahoma
74102-3758
Lee Clark, Project Manager., ATC Associates, Incorporated, 5801 Benjamin Center Drive,
Suite 101, Tampa, Florida 33634
File

FILING AND ACKNOWLEDGMENT
FILED, on this date, pursuant to
§120.52 Florida Statutes, with the
designated Department Clerk, receipt
of which is hereby acknowledged.



Clerk
(or Deputy Clerk)



Date



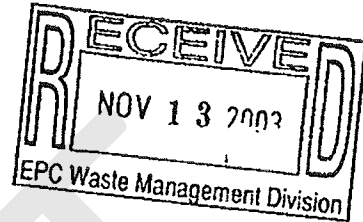
LOGGED

11/17/03
9749

5801 Benjamin Center Drive, Suite 101
Tampa, Florida 33634
www.atc-enviro.com
813.889.8960
Fax 813.889.8754

Mr. Carl Heintz
Environmental Protection Commission of Hillsborough County
1410 N. 21st Street
Tampa, Florida 33605

November 12, 2003



Reference: Site Rehabilitation Completion Report
PCT Tanker Incident
U.S. Highway 301 and I-75, Riverview, Florida
FDEP Facility No. 299801476
ATC Project No. 16174.0001

As stated in the Fourth Quarter Natural Attenuation Monitoring Report dated April 23, 2003, groundwater monitoring data for the fourth quarter of natural attenuation indicated that the Chapter 62-777, FAC groundwater cleanup target levels (GCTLs) were met (Table 1). Therefore, in accordance with the September 17, 2003 Environmental Protection Commission of Hillsborough County correspondence, a soil assessment was completed to verify that the soil cleanup target levels (SCTLs) have also been met during the natural attenuation monitoring.

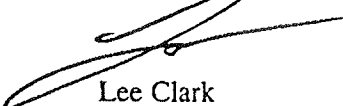
Soil borings SB-A, SB-B and SB-C were completed on October 20, 2003 at the approximate locations indicated on Figure 1. The soil borings were completed in the immediate vicinity of source well MW-3. Soil samples were collected from borings SB-A through SB-C at one-foot intervals to four feet below land surface (bls). Depth to groundwater was measured at 4.21 feet bls in monitoring well MW-3 (Table 2). Organic vapor concentrations for the soil samples were measured with an organic vapor analyzer. The organic vapor concentrations are summarized on Table 3. Organic vapor concentrations were not detected in the samples collected from any soil borings, except SB-B at three to four feet bls, which was observed to be saturated. The depth to groundwater in MW-3 has ranged from 3.65 to 7.63 feet bls. Soil sample SS-5 was collected from SB-A at one to two feet bls and analyzed for BTEX, MTBE, PAHs, and TPH. A copy of the laboratory report is included in Appendix A and the results are summarized in Table 4.


BTEX, MTBE, PAHs, and TPH were not detected in soil sample SS-5 which was collected close to the tanker roll over location and adjacent to the soil sample collected on October 22, 1998 (SS-1 - Table 4) with concentrations in excess of the SCTLs. Therefore, this site meets the requirements of Chapter 62-770.680 FAC for No Further Action and ATC recommends that the site be granted a Site Rehabilitation Completion Order.

Please contact ATC at (813) 889-8960 if you have any questions.

Sincerely,

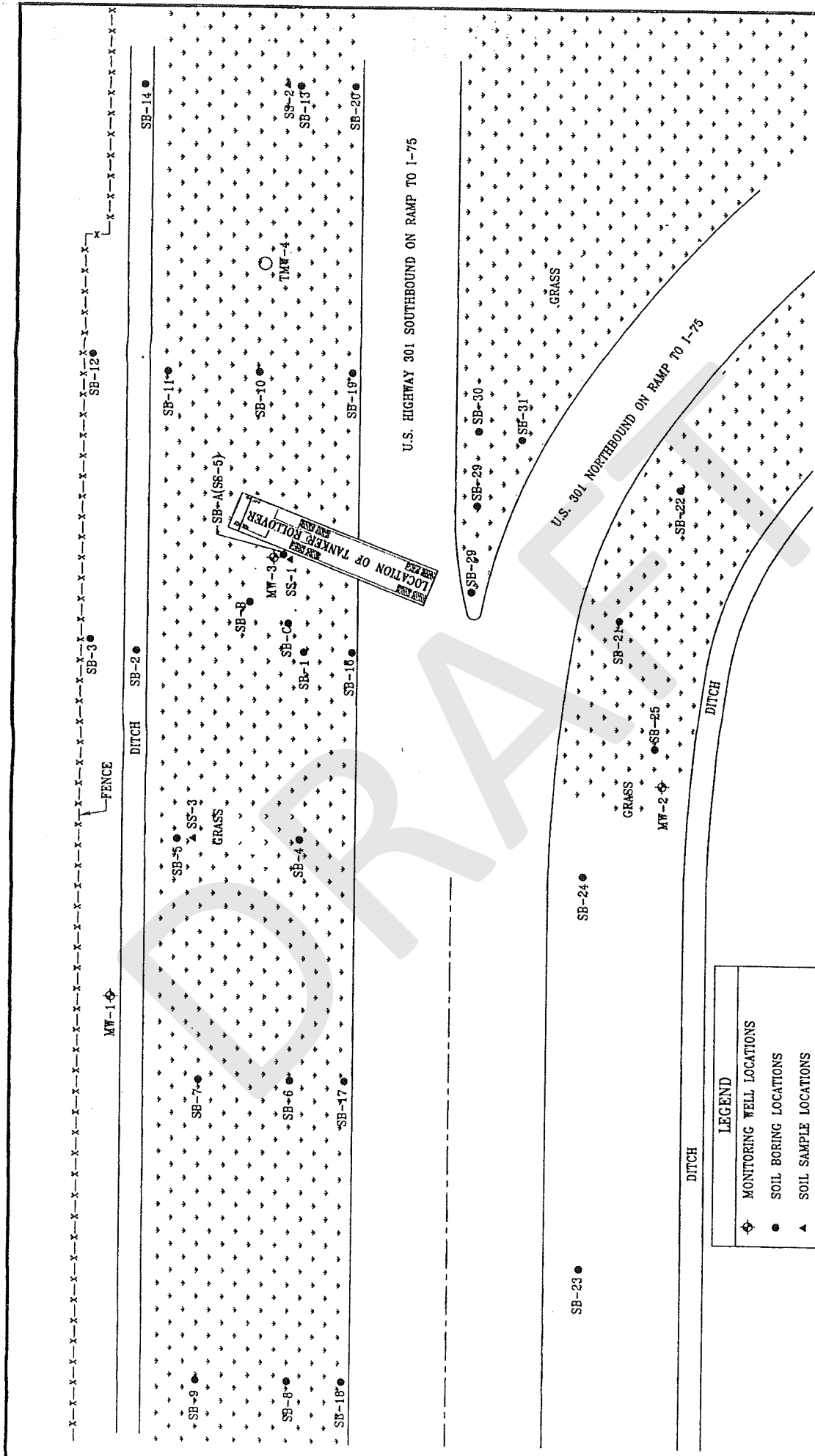
ATC Associates Inc.


Lee Clark
Project Manager


Mark Wallinga
Division Manager

Cc: Mr. Mr. Scott Eaton, CITGO Petroleum Corporation

Attachments



PROJECT NO.:
 05-16174-0001
 SCALE:
 1" = 20'
 DATE: 11-10-03
 FIGURE NO.: 1

MONITORING WELL/SOIL BORING/SOIL SAMPLE LOCATION MAP
 PCT TANKER INCIDENT
 U.S. HIGHWAY 301 AND I-75
 TAMPA, FLORIDA

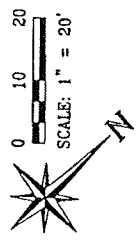
3001 Bayshore Center Drive
 Tampa, Florida 33604
 (813) 888-4900
 (813) 888-9794 FAX

VATC
 Associates Inc.

DRAWN BY: S.A.M. CHECKED BY: L.C.

LEGEND	
◆	MONITORING WELL LOCATIONS
●	SOIL BORING LOCATIONS
▲	SOIL SAMPLE LOCATIONS
○	SOIL SAMPLE LOCATIONS

NOTES:
 SB-15 IS APPROXIMATELY 20 FT. NNW OF SB-13.
 SB-28 IS APPROXIMATELY 65 FT. NNW OF SB-13.
 SB-27 IS APPROXIMATELY 90 FT. NNW OF SB-13.



SMF 4/5

DRAFT

BER Response Information

4

BER On-Scene Coordinator: LetoBarone Domenic	Arrival Date: 09/05/2006 Arrival Time: 09:22:00 US/Eastern	Incident #: 2006-41-6786
--	---	---------------------------------

Enforcements:

Personnel Expenses:

Domenic LetoBarone 5.00 hour(s)

Transportation Expenses:

Response Vehicle 36.10 \$ 0.445 per mile \$ 16,065

PPE Expenses:

Sampling Expenses:

Expendable Expenses:

Instrumentation Expenses:

Miscellaneous Expenses:

Total Photographic Costs	1.00	\$ 5.000	per incident	\$ 5,000
Total Telephone Costs (includes cell)	1.00	\$ 5.000	per incident	\$ 5,000

Incident Narrative:

9/5/06: Per FHP's request, BER responded to an overturned tractor-trailer traveling southbound on I-75, which struck the guardrail and lost diesel fuel in the median.

BER arrived on-scene at 0922 hours. A tractor-trailer operated by CW Johnson Express LLC was overturned in the median of I-75 southbound near mile marker 256 in Riverview. Approximately 70-gallons of diesel fuel and a small amount of engine oil was released to the soil due to the impacts with the guardrail. The tractor-trailer's cargo consisting of soda cans and water bottles, spread all throughout the median. According to FHP, the tractor-trailer swerved to avoid 4 large propane tanks that appeared to have fallen off of another truck earlier that morning, which came to rest in the middle of the travel lanes.

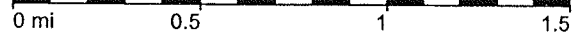
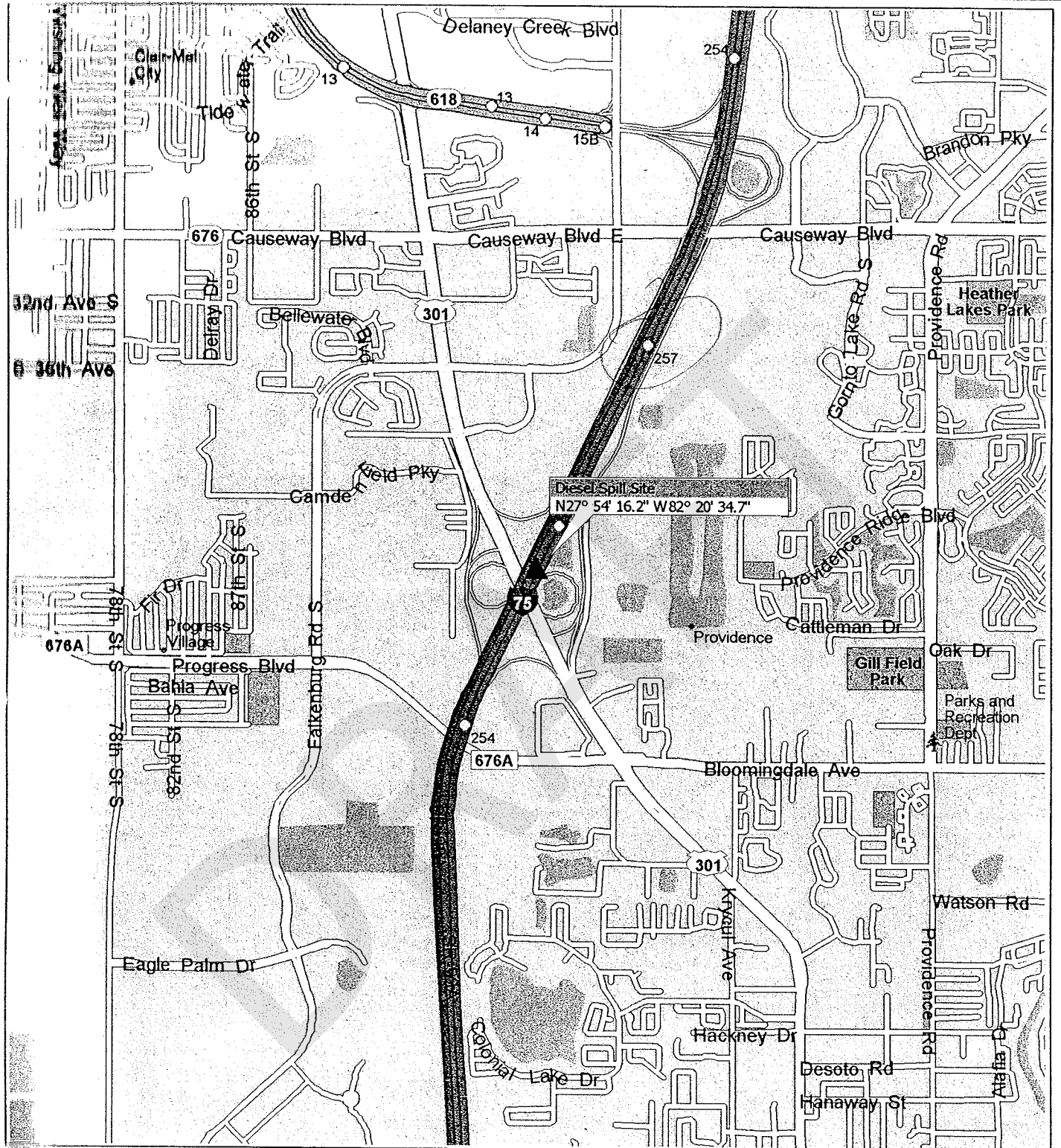
While on-scene, BER made contact with Christopher Cracchiolo, an insurance adjustor with Johns Eastern Company, Inc./Great West Casualty. A contractor list was provided to Mr. Cracchiolo for his reference. ACT, Inc. was selected to perform cleanup. Stepps Towing arrived on-scene to upright the tractor-trailer. FHP Case # is FHPC06OFF095214.

12/19/06: BER received the source removal report. On 10/3/06 ACT returned to the site to excavate contaminated soil. 41.55 tons of contaminated soil was taken to Clark Environmental for disposal. The final excavation was 40' x 12' x 1'. A closure sample was collected and analyzed for petroleum related constituents. Lab analytical confirmed no constituents above the 62-777 F.A.C. Soil Cleanup Target Levels. Neither groundwater nor surface water was discovered during cleanup. All other required documentation was included in the report. The cleanup appears satisfactory. No further action taken by BER. An NFA letter will be submitted to CW Johnson Express and ACT, Inc. BER Case Closed

12/19/06 DL

10-14-06

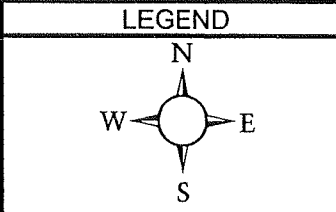
- based on drawing, it appears cont. is in median - on east side of the guardrail in the vicinity of mm 256
- did not find evidence of spill, or distressed veg. at this location during the site visit
- drove area of spill - green grass in median



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 © 2004 NAVTEQ. All rights reserved. This data includes information taken with permission from Canadian authorities © Her Majesty the Queen in Right of Canada. © Copyright 2004
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FIGURE 1: LOCATION MAP
 C&W JOHNSON EXPRESS DIESEL SPILL SITE
 MEDIAN OF I-75, MILE MARKER 256
 RIVERVIEW, HILLSBOROUGH COUNTY, FLORIDA



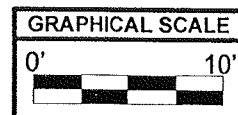
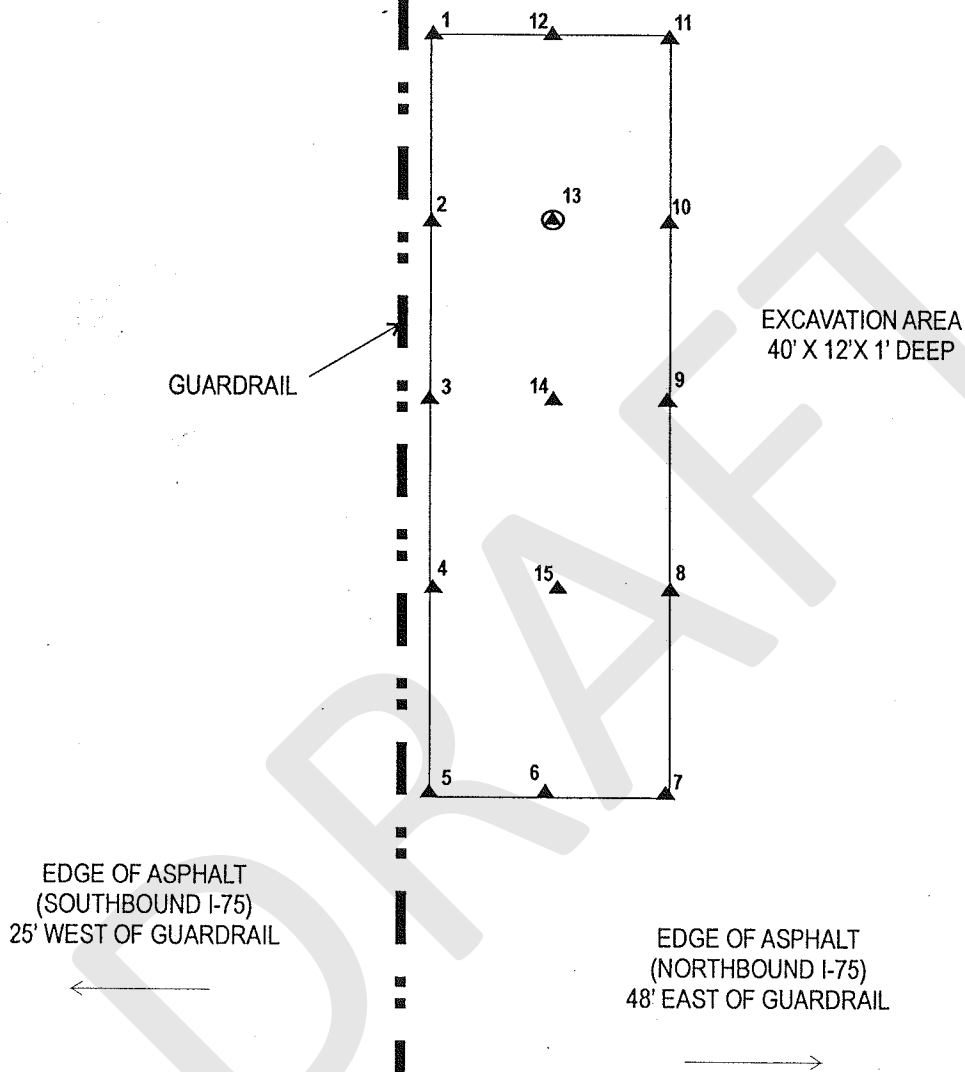
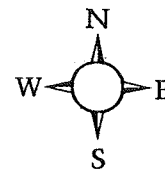


FIGURE 2: SITE MAP

C&W JOHNSON EXPRESS
DIESEL SPILL SITE
MEDIAN OF I-75, MILE MARKER 256
RIVERVIEW, HILLSBOROUGH CO., FLORIDA

DATE: 10/03/06

PROJ. #: 8961.01

SCALE: 1" = 10'

LEGEND

- ▲ OVA SURVEY LOCATION POINT
- ⊙ SOIL CLOSURE SAMPLE POINT

SMF 6A

DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 072303-0106



Owner Information

Owner Name	PROGRESSIVE CASUALTY INSURANCE CO
Mailing Address	REAL ESTATE NOTIFICATIONS OHL31 PO BOX 89429 CLEVELAND, OH 44101-6429
Site Address	3302 CRESCENT PARK DR, RIVERVIEW
PIN	U-31-29-20-2HQ-000000-C0000.0
Folio	072303-0106
Prior PIN	
Prior Folio	072223-0200
Tax District	U - UNINCORPORATED
Property Use	1810 OFF MULT-STY A
Plat Book/Page	84/50
Neighborhood	222006.00 Clair-Mel Area
Subdivision	2HQ THE CRESCENT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$53,221,800	\$53,221,800	\$0	\$53,221,800
Public Schools	\$53,221,800	\$53,221,800	\$0	\$53,221,800
Municipal	\$53,221,800	\$53,221,800	\$0	\$53,221,800
Other Districts	\$53,221,800	\$53,221,800	\$0	\$53,221,800

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
10282	0919	07	2000	WD	Unqualified	Improved	\$100
10282	0916	07	2000	WD	Unqualified	Improved	\$100
9083	1517	06	1998	WD	Unqualified	Vacant	\$1,836,400
8814	0698	12	1997	WD	Qualified	Vacant	\$7,515,000
5441	1885	06	1988	WD	Unqualified	Vacant	\$78,900

Building Information

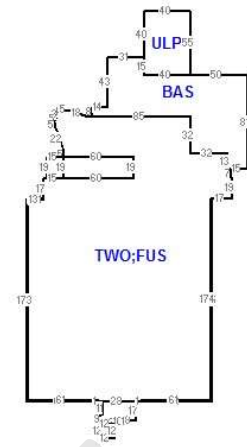
Building 1

Type 50 | OFFICE >2 STORY

Year Built 1998

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	15	Glass Thermopane
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	3.0	
Units	1.0	
Wall Height	14.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	6,767	6,767	\$1,064,816
ULP	2,200		\$51,927
TWO	72,000	72,000	\$11,329,502
FUS	36,000	36,000	\$5,664,751
CAN	285		\$13,532
ATR	1,140	1,140	\$215,261
TWO	498	498	\$78,362
ATR	534	534	\$100,864
CAN	144		\$6,766
TWO	472	472	\$74,271
Totals	120,040	117,411	\$18,600,052

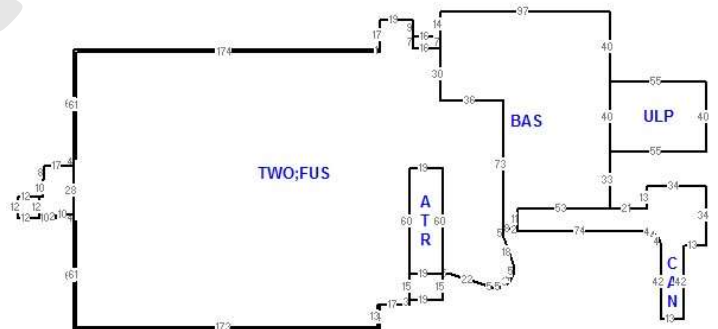
Building 2

Type 50 | OFFICE >2 STORY

Year Built 1998

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	15	Glass Thermopane
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	3.0	
Units	1.0	
Wall Height	14.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	8,817	8,817	\$1,387,392
CAN	112		\$5,350
TWO	70,598	70,598	\$11,108,892

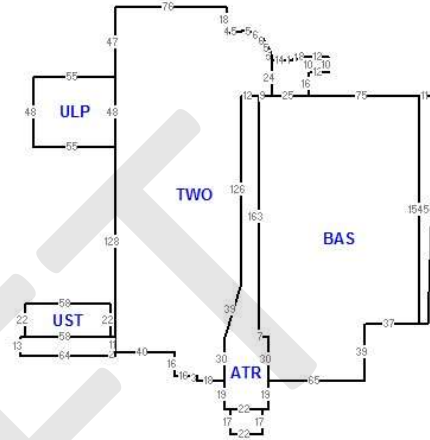
FUS	35,299	35,299	\$5,554,446
TWO	472	472	\$74,271
ATR	536	536	\$101,179
CAN	144		\$6,766
TWO	498	498	\$78,362
CAN	285		\$13,532
ATR	1,140	1,140	\$215,261
CAN	2,616		\$123,523
ULP	2,200		\$51,927
Totals	122,717	117,360	\$18,720,901

Building 3

Type 49 | OFFICE <3 STORY
Year Built 1998

Building 3 Construction Details

Element Class	Code	Construction Detail
	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	15	Glass Thermopane
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	2.0	
Units	1.0	
Wall Height	14.00	



Building 3 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	41,696	41,696	\$4,207,168
ULP	2,640		\$39,957
CAN	832		\$25,225
UST	1,276		\$51,460
ATR	3,630	3,630	\$439,525
CAN	374		\$11,301
BAS	19,384	19,384	\$1,955,865
CAN	1,232		\$37,333
ATR	637	637	\$77,088
CAN	120		\$3,632
Totals	71,821	65,347	\$6,848,554

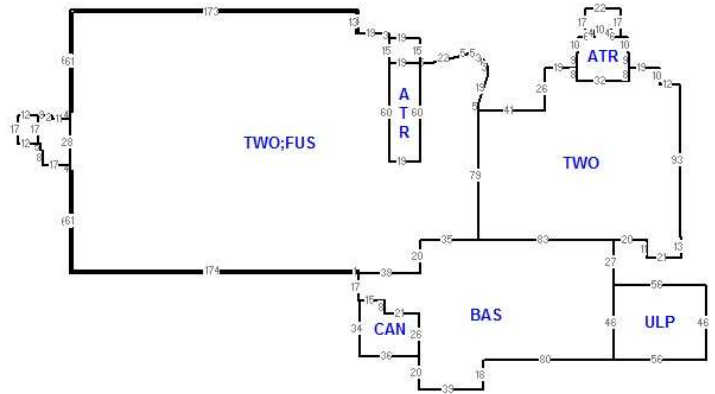
Building 4

Type 50 | OFFICE >2 STORY

Year Built 2004

Building 4 Construction Details

Element Class	Code	Construction Detail
Exterior Wall	15	Glass Thermopane
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Wall Height	12.00	
Units	1.0	
Stories	3.0	



Building 4 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	23,412	23,412	\$3,867,335
ATR	884	884	\$175,262
CAN	334		\$16,519
TWO	71,120	71,120	\$11,748,028
FUS	35,560	35,560	\$5,874,014
CAN	285		\$14,206
ATR	1,140	1,140	\$225,974
TWO	498	498	\$82,263
ATR	544	544	\$107,866
CAN	204		\$10,076
TWO	472	472	\$77,968
BAS	10,166	10,166	\$1,679,281
CAN	1,056		\$52,364
ULP	2,576		\$63,762
Totals	148,251	143,796	\$23,994,918

Extra Features

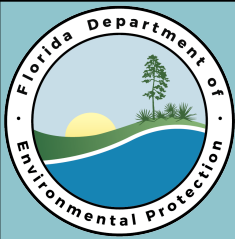
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	1	1998	0	0	680,942.00	\$964,868
0060	CONCRETE PAVEMENT	1	1998	0	0	41,808.00	\$122,213
0640	UTILITY CB	1	1998	12	16	192.00	\$3,653
0020	ASPHALT PAVING	4	2005	0	0	395,142.00	\$600,869
0060	CONCRETE PAVEMENT	4	2005	0	0	34,930.00	\$106,802
0651	SHED NOT PERMANENTLY AFFIXED	0	2011	0	0	1.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	0	2007	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	IPD-3	0.0	0.0	SF SQUARE FEET	3,225,192.90	\$9,644,617
9610	LOWLANDS	IPD-3	0.0	0.0	AC ACREAGE	10.80	\$8,100

Legal Description

THE CRESCENT PARCEL C LESS RD R/W



Facility Information:

Facility ID: 9807082 County: HILLSBOROUGH Inspection Date: 10/09/2017
 Facility Type: C - Fuel user/Non-retail
 Facility Name: PROGRESSIVE INSURANCE CELL CTR # of Inspected ASTs: 2
 3302 S FALKENBURG RD USTs: 0
 RIVERVIEW, FL 33569 Mineral Acid Tanks: 0
 Latitude: 27° 54' 47.6938"
 Longitude: 82° 20' 26.6957"
 LL Method: WGPS

Inspection Result:

Result: In Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to James Mary on 10/23/2017

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature
Progressive Insurance

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

Financial Responsibility:

Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFICER

Insurance Carrier:

Effective Date: 01/01/2017 Expiration Date: 12/31/2017

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	07/05/2017	Passed	10/13/2017	07/05/2018	Performed by Ring Power
Annual Operability Test	07/19/2016	Passed	10/13/2017	07/19/2017	Performed by RingPower

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	10/01/2015	10/02/2017	
Two Years	Electronic Release Detection Equip. Monthly Checks	10/01/2015	10/02/2017	
Two Years	Certificate of Financial Responsibility	01/01/2016	12/31/2016	
Two Years	Certificate of Financial Responsibility	01/01/2017	10/09/2017	

Inspection Comments

10/09/2017

2017-10-09 AJM/GN met on site with James Mary of Progressive Insurance for compliance inspection of storage tank system

Release Detection:

- Visual inspections of tank system and components
- Electronic monitoring of tank interstice using Pneumercator sensor
- Ruselectric panel located in electrical room monitors Pneumercator electronic sensor
- No current alarms noted
- Visual alarm test check- appears operational

Tanks: (2) 3,000 gallon sub-based generator ASTs located on concrete pad. Equipped with:

- Product label: Diesel

Facility ID: 9807082

- Normal and emergency venting
 - Spill containment buckets: appeared dry and intact
 - Overfill protection: Rochester fuel level sight gauge. Digital fuel level sight gauge for inventory use only appears to be non operational
 - Aboveground rubber supply and return lines. The system does not produce a gravity head, therefore no manual isolation or anti-siphon valves are required.
 - Exterior coating appears in good condition
 - Electrical grounding present.
- No obvious signs of leakage noted

Records:

- Current registration placard: (2) tanks
- Monthly inspection logs completed within 35 days and include:
Visual inspections of tank systems and components
Alarm panel status checks
Visual alarm test checks
No problems noted in logs

Reminders:

- **Overfill protection devices must be tested for operability prior to January 11, 2018 and every 12 months thereafter.
- **An alarm history report must be kept for all facilities using electronic monitoring. For systems with printing capabilities this report is required to be printed every month. For systems without printing capabilities a written journal of alarms must be kept.

Inspection Photos

Added Date 10/13/2017

2017-10-09 Site Photo



SMF 6B

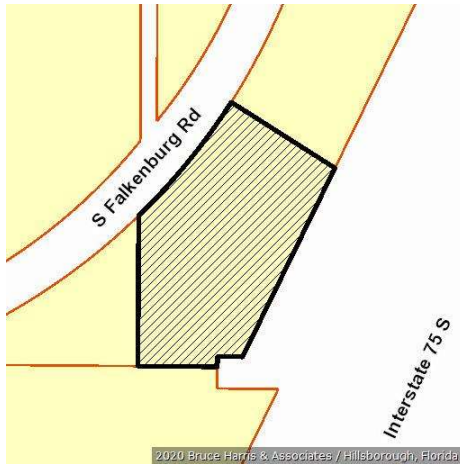
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Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 072303-0286



Owner Information

Owner Name	DELCO PROPERTIES-TAMPA LLLP
Mailing Address	20 HAGERTY BLVD STE 7 WEST CHESTER, PA 19382-5910
Site Address	3178 S FALKENBURG RD, RIVERVIEW
PIN	U-31-29-20-704-000000-00018.0
Folio	072303-0286
Prior PIN	U-31-29-20-686-000000-00001.0
Prior Folio	072303-0222
Tax District	U - UNINCORPORATED
Property Use	4810 WAREHOUSE A
Plat Book/Page	96/38
Neighborhood	222006.00 Clair-Mel Area
Subdivision	704 FIRSTPARK AT BRANDON REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,688,100	\$1,688,100	\$0	\$1,688,100
Public Schools	\$1,688,100	\$1,688,100	\$0	\$1,688,100
Municipal	\$1,688,100	\$1,688,100	\$0	\$1,688,100
Other Districts	\$1,688,100	\$1,688,100	\$0	\$1,688,100

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
22048	0528	07	2013	QC	Unqualified	Improved	\$100
20196	1539	11	2010	WD	Qualified	Improved	\$1,300,000
19979	0874	06	2010	WD	Qualified	Improved	\$1,437,000
13438	0388	12	2003	WD	Qualified	Vacant	\$555,400
10367	1339	09	2000	WD	Unqualified	Vacant	\$5,105,000

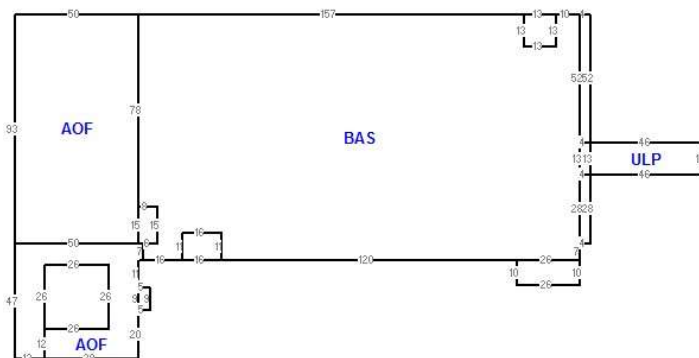
Building Information

Building 1

Type	82 WRHSE DISTRIB
Year Built	2004

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	10	Precast Panel
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	0	None
Interior Flooring	3	Concrete Above Grade
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Wall Height	24.00	
Units	1.0	
Stories	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	208		\$3,464
BAS	17,521	17,521	\$978,821
BOF	169	169	\$15,084
AOF	4,650	4,650	\$545,528
AOF	1,688	1,688	\$198,044
AOF	676	676	\$79,329
BOF	676	676	\$60,447
CNB	45		\$223
BOF	120	120	\$10,726
BOF	176	176	\$15,754
ULP	260		\$4,358
CAN	112		\$1,899
ULP	598		\$10,000
CLP	52		\$1,732
Totals	26,951	25,676	\$1,925,409

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2005	0	0	46,992.00	\$71,458
0060	CONCRETE PAVEMENT	0	2005	0	0	6,616.00	\$20,229
0640	UTILITY CB	0	2005	12	12	144.00	\$3,218
0260	FENCE CL6	0	2011	0	0	480.00	\$3,792

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	PD	522.21	236.00	SF SQUARE FEET	123,241.56	\$524,454

Legal Description

FIRSTPARK AT BRANDON REPLAT LOT 18



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 072303-0284



Owner Information

Owner Name	CARDEL MASTER BUILDER INC
Mailing Address	3160 S FALKENBURG RD RIVERVIEW, FL 33578-2541
Site Address	3160 S FALKENBURG RD, RIVERVIEW
PIN	U-31-29-20-704-000000-00017.0
Folio	072303-0284
Prior PIN	U-31-29-20-686-000000-00001.0
Prior Folio	072303-0222
Tax District	U - UNINCORPORATED
Property Use	1810 OFF MULT-STY A
Plat Book/Page	96/38
Neighborhood	222006.00 Clair-Mel Area
Subdivision	704 FIRSTPARK AT BRANDON REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$2,110,400	\$2,110,400	\$0	\$2,110,400
Public Schools	\$2,110,400	\$2,110,400	\$0	\$2,110,400
Municipal	\$2,110,400	\$2,110,400	\$0	\$2,110,400
Other Districts	\$2,110,400	\$2,110,400	\$0	\$2,110,400

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
14236	1195	09	2004	WD	Qualified	Vacant	\$488,800
10367	1339	09	2000	WD	Unqualified	Vacant	\$5,105,000

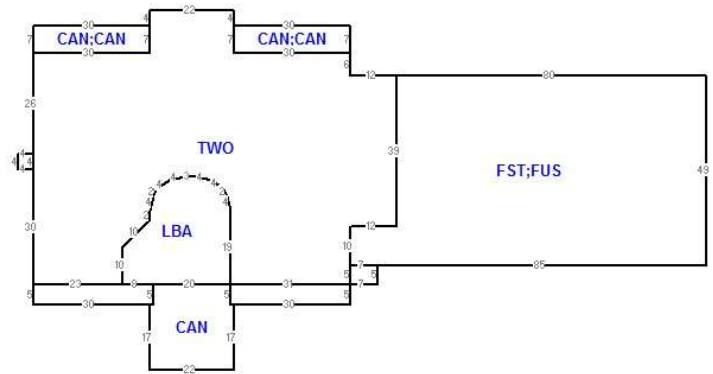
Building Information

Building 1

Type	49 OFFICE <3 STORY
Year Built	2006

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	5	Drywall
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	2.0	
Units	1.0	
Wall Height	12.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FST	4,040		\$245,216
FUS	4,040	4,040	\$490,432
TWO	9,972	9,972	\$1,210,541
CAN	210		\$7,648
CAN	210		\$7,648
CAN	210		\$7,648
CAN	210		\$7,648
CNB	16		\$243
BAL	16		\$243
CAN	155		\$5,584
CAN	155		\$5,584
CAN	474		\$17,238
CAN	155		\$5,584
CAN	155		\$5,584
CAN	35		\$1,214
LBA	645	645	\$86,190
Totals	20,698	14,657	\$2,104,245

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2007	0	0	20,547.00	\$31,600
0060	CONCRETE PAVEMENT	0	2007	0	0	1,408.00	\$5,803

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	PD	0.0	0.0	SF SQUARE FEET	87,213.00	\$378,400

Legal Description

FIRSTPARK AT BRANDON REPLAT A PORTION OF LOT 14 AND ALL OF LOTS 15 16 AND 17 DESCRIBED AS : BEG AT SW COR OF LOT 17 OF FIRST PARK SAID PT BEING ON ELY R/W LINE OF FALKENBURG RD THN ALONG SAID ELY R/W ALONG ARC OF CURVE TO LEFT RADIUS OF 1264 FT C/B N 25 DEG 02 MIN 29 SEC E 331.83 FT THN S 72 DEG 30 MIN 04 SEC E 251.47 FT TO POINT ON NWLY R/W OF I-75 THN ALONG SAID NWLY R/W S 26 DEG 04 MIN 05 SEC W 396.97 FT THN N 57 DEG 24 MIN 56 SEC W 244.30 FT TO POB

Detailed Facility Report

Facility Summary

CARDEL MASTER BUILDERS
3160 FALKENBURG RD S, RIVERVIEW, FL
33578

FRS (Facility Registry Service) ID: 110032804801
 EPA Region: 04
 Latitude: 27.91735
 Longitude: -82.33829
 Locational Data Source: FRS
 Industry: No description found
 Indian Country: N

Enforcement and Compliance Summary

Statute	CWA
Insp (5 Years)	--
Date of Last Inspection	--
Current Compliance Status	Terminated Permit
Qtrs with NC (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information
 Clean Water Act (CWA): Minor, Permit Terminated; Compliance Tracking Off (FLR10Y428)
 Resource Conservation and Recovery Act (RCRA): No Information
 Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
 Greenhouse Gas Emissions (eGGRT): No Information
 Toxic Releases (TRI): No Information
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110032804801					N	27.91735	-82.33829
ICIS-NPDES	CWA	FLR10Y428	Minor: General Permit Covered Facility	Terminated; Compliance Tracking Off	Storm Water Construction	02/01/2010	N	27.942222	-82.326944

Facility Address

System	Statute	Identifier	Facility Name	Facility Address
FRS		110032804801	CARDEL MASTER BUILDERS	3160 FALKENBURG RD S, RIVERVIEW, FL 33578
ICIS-NPDES	CWA	FLR10Y428	CARDEL MASTER BUILDERS	3160 FALKENBURG RD S, RIVERVIEW, FL 33569

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
No data records returned			

Facility Industrial Effluent Guidelines

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
No data records returned		

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
Tampa Reservation	Seminole Tribe of Florida	100000266	5.47

Enforcement and Compliance

Compliance Monitoring History (5 years)

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not counted in EPA compliance monitoring strategies or annual results.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	FLR10Y428	No	12/31/2019	0	03/27/2020

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13-
CWA (Source ID: FLR10Y428)		01/01-03/31/17	04/01-06/30/17	07/01-09/30/17	10/01-12/31/17	01/01-03/31/18	04/01-06/30/18	07/01-09/30/18	10/01-12/31/18	01/01-03/31/19	04/01-06/30/19	07/01-09/30/19	10/01-12/31/19	01/01-03/27/20
Facility-Level Status		Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit
Quarterly Noncompliance Report History														

Informal Enforcement Actions (5 Years)

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Formal Enforcement Actions (5 Years)

Statute	System	Law/Section	Source ID	Action Type	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty	State/Local Penalty	SEP Cost	Comp Action Cost
No data records returned														

Environmental Conditions

Water Quality

Permit ID	Combined Sewer System?	Number of CSO (Combined Sewer Overflow) Outfalls	12-Digit WBD (Watershed Boundary Dataset) HUC (Reach Address Database)	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Impaired Waters	Impaired Class	Causes of Impairment(s) by Group(s)	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
FLR10Y428			031002060302	Delaney Creek-Archie Creek Frontal		No			Yes

Water Body Designated Uses

Reach Code	Water Body Name	Exceptional Use	Recreational Use	Aquatic Life Use	Shellfish Use	Beach Closure Within Last Year	Beach Closure Within Last Two Years
03100206000325		No	No	No	No	No	No

Air Quality

Nonattainment Area?	Pollutant(s)	Applicable Nonattainment Standard(s)
No	Ozone	
No	Lead	
No	Particulate Matter	
No	Carbon Monoxide	
No	Nitrogen Dioxide	
No	Sulfur Dioxide	

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-site Releases	Total Off-site Transfers
No data records returned								

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
No data records returned

Demographic Profile

EJSCREEN EJ Indexes

Eleven primary environmental justice (EJ) indexes of EJSCREEN, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJSCREEN provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJSCREEN home page](#).

Census Block Group EJ Indexes (percentile)	
Particulate Matter (PM 2.5)	80.9
Ozone NATA Diesel PM	79.7
NATA Air Toxics Cancer Risk	83.2
NATA Respiratory Hazard Index (HI)	84.1
Traffic Proximity	70.4
Lead Paint Indicator	64.2
Superfund Proximity	90.7
Risk Management Plan (RMP) Proximity	83.3
Hazardous Waste Proximity	77.7
Wastewater Discharge Proximity	94

Number of EJ Indexes Above 80th Percentile
7

[View EJSCREEN Report](#)

Demographic Profile of Surrounding Area (3 Miles)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2006-2010 American Community Survey 5-Year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics	
Total Persons	80,141
Population Density	3,006/sq.mi.
Percent Minority	55%
Households in Area	31,623
Housing Units in Area	35,173
Households on Public Assistance	489
Persons Below Poverty Level	24,614

Geography	
Radius of Selected Area	3 mi.
Center Latitude	27.91722
Center Longitude	-82.33792
Land Area	94%
Water Area	6%

Income Breakdown - Households (%)	
Less than \$15,000	3,200 (10.68%)
\$15,000 - \$25,000	3,139 (10.48%)
\$25,000 - \$50,000	9,337 (31.16%)
\$50,000 - \$75,000	6,235 (20.81%)
Greater than \$75,000	8,054 (26.88%)

Age Breakdown - Persons (%)	
Children 5 years and younger	6,033 (8%)
Minors 17 years and younger	19,726 (25%)
Adults 18 years and older	60,415 (75%)
Seniors 65 years and older	6,031 (8%)

Race Breakdown - Persons (%)	
White	49,320 (62%)
African-American	19,452 (24%)
Hispanic-Origin	21,030 (26%)
Asian/Pacific Islander	2,745 (3%)
American Indian	308 (0%)
Other/Multiracial	8,316 (10%)

Education Level (Persons 25 & older) - Persons (%)	
Less than 9th Grade	2,308 (4.77%)
9th through 12th Grade	4,002 (8.28%)
High School Diploma	14,186 (29.33%)
Some College 2-year	15,311 (31.66%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	12,552 (25.96%)

FPC 6R

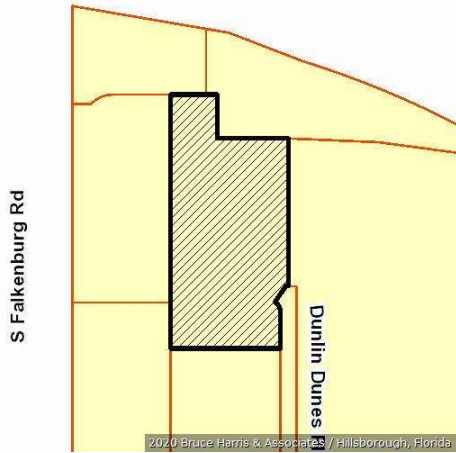
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Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 072210-1354



Owner Information

Owner Name	BSREP II WS TAMPA BRANDON LLC
Mailing Address	8621 E 21ST ST N STE 250 WICHITA, KS 67206-2965
Site Address	2450 FALKENBURG RD, TAMPA
PIN	U-30-29-20-A6J-000000-0002B.0
Folio	072210-1354
Prior PIN	U-30-29-20-9X3-000000-0001A.0
Prior Folio	072210-1262
Tax District	U - UNINCORPORATED
Property Use	3921 LMTD SERV A
Plat Book/Page	128/88
Neighborhood	222006.00 Clair-Mel Area
Subdivision	A6J CROSSROADS TOWN CENTER SECOND PARTIAL REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$13,124,900	\$13,124,900	\$0	\$13,124,900
Public Schools	\$13,124,900	\$13,124,900	\$0	\$13,124,900
Municipal	\$13,124,900	\$13,124,900	\$0	\$13,124,900
Other Districts	\$13,124,900	\$13,124,900	\$0	\$13,124,900

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26299	0314	12	2018	WD	Qualified	Improved	\$14,800,000
24614	1766	12	2016	WD	Qualified	Vacant	\$2,000,000
21579	0982	12	2012	QC	Unqualified	Vacant	\$100

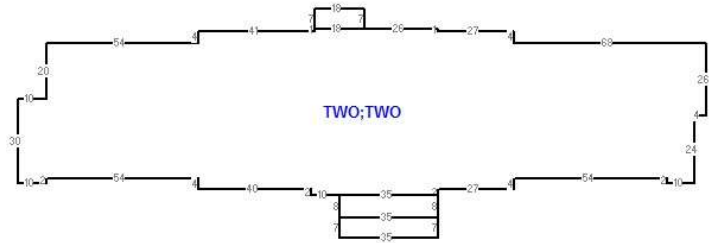
Building Information

Building 1

Type	44 HOTEL (LIMITED SERVICE)
Year Built	2017

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	9	Stone
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	122.0	
Wall Height	10.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	24,988	24,988	\$2,773,143
TWO	24,988	24,988	\$2,773,143
CAN	126		\$4,217
BAS	280	280	\$31,074
CAN	245		\$8,212
Totals	50,627	50,256	\$5,589,789

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2018	0	0	53,684.00	\$91,838
0060	CONCRETE PAVEMENT	0	2018	0	0	4,899.00	\$16,296

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO1H	Comm Class 16.50	PD	0.0	0.0	SF SQUARE FEET	94,084.00	\$1,848,751

Legal Description

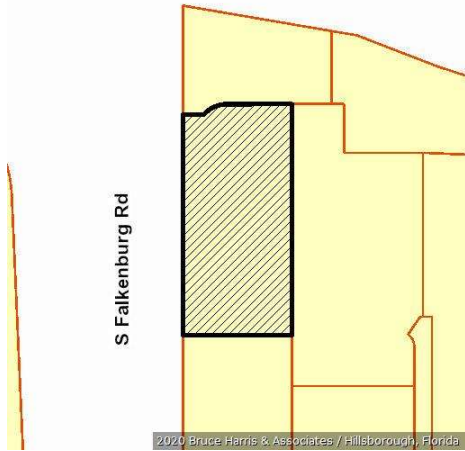
CROSSROADS TOWN CENTER SECOND PARTIAL REPLAT LOT 2B



Bob Henriquez
Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 072210-1352



Owner Information

Owner Name	BEBO HOLDINGS LLC
Mailing Address	301 W PLATT ST STE A PMB 313 TAMPA, FL 33606-2292
Site Address	SANDERLING SHORES DR, TAMPA
PIN	U-30-29-20-A6J-000000-0001B.0
Folio	072210-1352
Prior PIN	U-30-29-20-9X3-000000-0001A.0
Prior Folio	072210-1262
Tax District	U - UNINCORPORATED
Property Use	1000 VACANT COMM
Plat Book/Page	128/88
Neighborhood	222006.00 Clair-Mel Area
Subdivision	A6J CROSSROADS TOWN CENTER SECOND PARTIAL REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,419,870	\$1,418,786	\$0	\$1,418,786
Public Schools	\$1,419,870	\$1,419,870	\$0	\$1,419,870
Municipal	\$1,419,870	\$1,418,786	\$0	\$1,418,786
Other Districts	\$1,419,870	\$1,418,786	\$0	\$1,418,786

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21579	0982	12	2012	QC	Unqualified	Vacant	\$100

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO1H	Comm Class 16.50	PD	0.0	0.0	SF SQUARE FEET	72,258.00	\$1,419,870

Legal Description

CROSSROADS TOWN CENTER SECOND PARTIAL REPLAT LOT 1B

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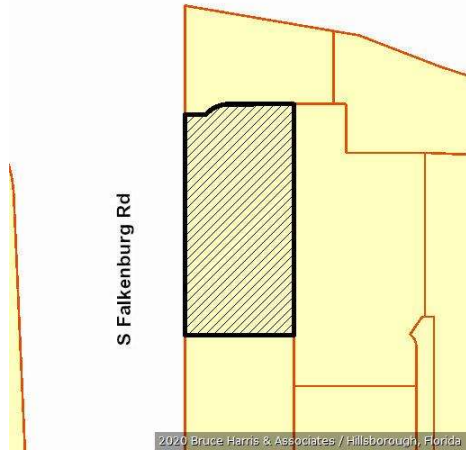
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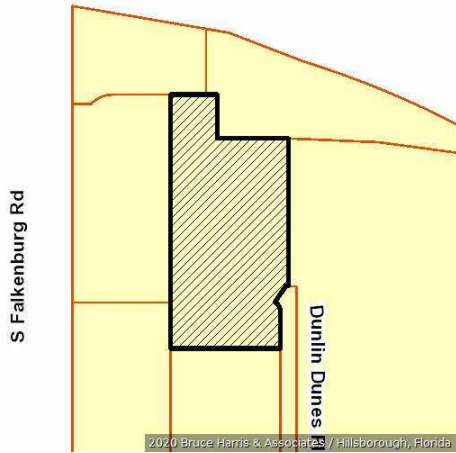
Legal Description
 CROSSROADS TOWN CENTER SECOND PARTIAL REPLAT LOT 1B



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Folio	072210-1354
Prior PIN	U-30-29-20-9X3-000000-0001A.0
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Property Use	3921 LMTD SERV A
Plat Book/Page	128/88
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Subdivision	A6J CROSSROADS TOWN CENTER SECOND PARTIAL REPLAT

Value Summary

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County	\$13,124,900	\$13,124,900	\$0	\$13,124,900
Public Schools	\$13,124,900	\$13,124,900	\$0	\$13,124,900
Municipal	\$13,124,900	\$13,124,900	\$0	\$13,124,900
Other Districts	\$13,124,900	\$13,124,900	\$0	\$13,124,900

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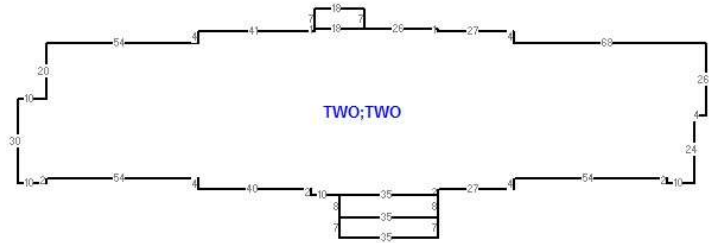
Building Information

Building 1

Type	44 HOTEL (LIMITED SERVICE)
Year Built	2017

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	9	Stone
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	122.0	
Wall Height	10.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	24,988	24,988	\$2,773,143
TWO	24,988	24,988	\$2,773,143
CAN	126		\$4,217
BAS	280	280	\$31,074
CAN	245		\$8,212
Totals	50,627	50,256	\$5,589,789

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2018	0	0	53,684.00	\$91,838
0060	CONCRETE PAVEMENT	0	2018	0	0	4,899.00	\$16,296

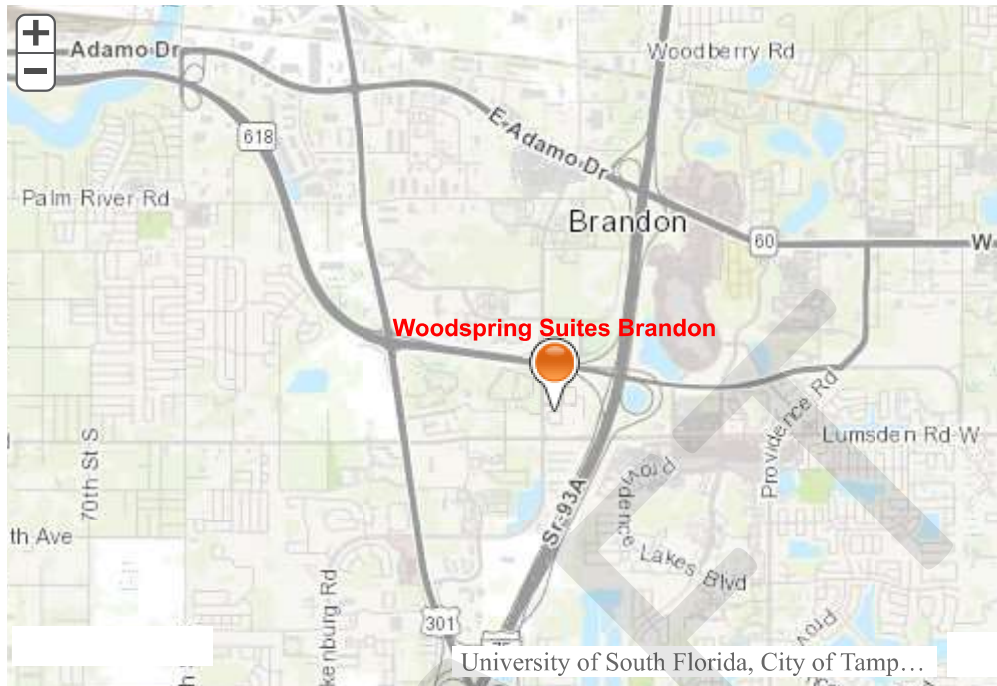
Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO1H	Comm Class 16.50	PD	0.0	0.0	SF SQUARE FEET	94,084.00	\$1,848,751

Legal Description

CROSSROADS TOWN CENTER SECOND PARTIAL REPLAT LOT 2B

**WOODSPRING SUITES BRANDON
FALKENBURG ROAD
TAMPA, FL 33619**



**You can navigate within the map with your mouse.*

EPA Facility Information

This query was executed on APR-01-2020

Integrated Compliance Information System (ICIS)

Facility

<u>FACILITY NAME</u> (1)	WOODSPRING SUITES BRANDON	<u>NPDES</u>	FLR10QQ89
<u>STREET 1</u>	FALKENBURG ROAD	<u>SIC CODE</u>	
<u>CITY</u>	Jacksonville	<u>MAJOR / MINOR</u>	

<u>COUNTY NAME</u>		<u>TYPE OF OWNERSHIP</u>	
<u>STATE</u>	FL	<u>ACTIVITY STATUS</u>	Effective
<u>ZIP CODE</u>	33619	<u>INACTIVE DATE</u>	
<u>REGION</u>	Region 4	<u>TYPE OF PERMIT ISSUED</u>	General Permit Covered Facility
<u>LATITUDE</u>	27.9276304	<u>ORIGINAL PERMIT ISSUE DATE</u>	18-DEC-2016
<u>LONGITUDE</u>	-82.3370358	<u>PERMIT ISSUED DATE</u>	18-DEC-2016
<u>LAT/LON CODE OF ACCURACY</u>		<u>PERMIT EXPIRED DATE</u>	17-DEC-2021
<u>LAT/LON METHOD</u>			
<u>LAT/LON SCALE</u>		<u>USGS HYDRO BASIN CODE</u>	
<u>LAT/LON DATUM</u>		<u>FLOW</u>	
<u>RECEIVING WATERS</u>		<u>FEDERAL GRANT IND</u>	
<u>PRETREATMENT CODE</u>		<u>SLUDGE CLASS FAC IND</u>	NON-POTW
<u>MAILING NAME</u>	Integrated Construction LLC	<u>SLUDGE RELATED PERMIT NUM</u>	

<u>MAILING STREET (1)</u>	14827 Mandarin Rd	<u>ANNUAL DRY SLUDGE PROD</u>	
<u>MAILING STREET (2)</u>			
<u>MAILING CITY</u>	Jacksonville		
<u>MAILING STATE</u>	Florida		
<u>MAILING ZIP CODE</u>	32223		
<u>COGNIZANT OFFICIAL</u>		<u>COGNIZANT OFFICIAL TEL</u>	

Additional Information can be obtained from Water Discharge Permit Information

ICIS Search.

SMF 7B

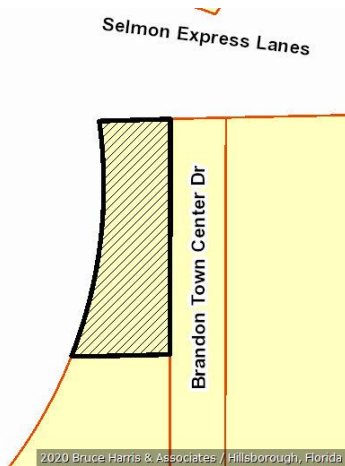
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Ph: (813) 272-6100

Folio: 071936-0300



Owner Information

Owner Name	HYPERION EDUCATION LLC
Mailing Address	8665 ESCONDIDO WAY E BOCA RATON , FL 33433-2510
Site Address	730 BRANDON TOWN CENTER DR, BRANDON
PIN	U-29-29-20-663-000002-69280.0
Folio	071936-0300
Prior PIN	
Prior Folio	071936-0100
Tax District	U - UNINCORPORATED
Property Use	7210 DAY CARE CENTER A
Plat Book/Page	6/3
Neighborhood	223009.00 Heather Lakes Area
Subdivision	663 SOUTH TAMPA SUBDIVISION

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,781,121	\$1,781,121	\$1,781,121	\$0
Public Schools	\$1,781,121	\$1,781,121	\$1,781,121	\$0
Municipal	\$1,781,121	\$1,781,121	\$1,781,121	\$0
Other Districts	\$1,781,121	\$1,781,121	\$1,781,121	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
25557	1377	02	2018	WD	Qualified	Improved	\$3,100,000
22406	0859	02	2014	WD	Qualified	Vacant	\$350,000
22406	0856	02	2014	CD	Unqualified	Vacant	\$100
21537	1203	11	2012	QC	Unqualified	Vacant	\$100
8468	0985	12	1996	WD	Unqualified	Vacant	\$1,000
5958	0486	04	1990	WD	Unqualified	Vacant	\$100
5028	0376	01	1987	WD	Unqualified	Vacant	\$100

Building Information

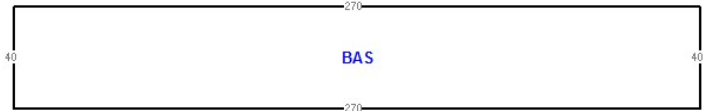
Building 1

Type 72 | DAY CARE CENTER

Year Built 2015

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	10,800	10,800	\$1,359,037
Totals	10,800	10,800	\$1,359,037

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	1	2016	0	0	14,768.00	\$24,754
0060	CONCRETE PAVEMENT	1	2016	0	0	3,386.00	\$11,149
0260	FENCE CL6	1	2016	0	0	296.00	\$4,116
0285	FENCE VINYL	1	2016	0	0	421.00	\$9,595
0520	CANOPY	0	2019	10	20	200.00	\$2,968

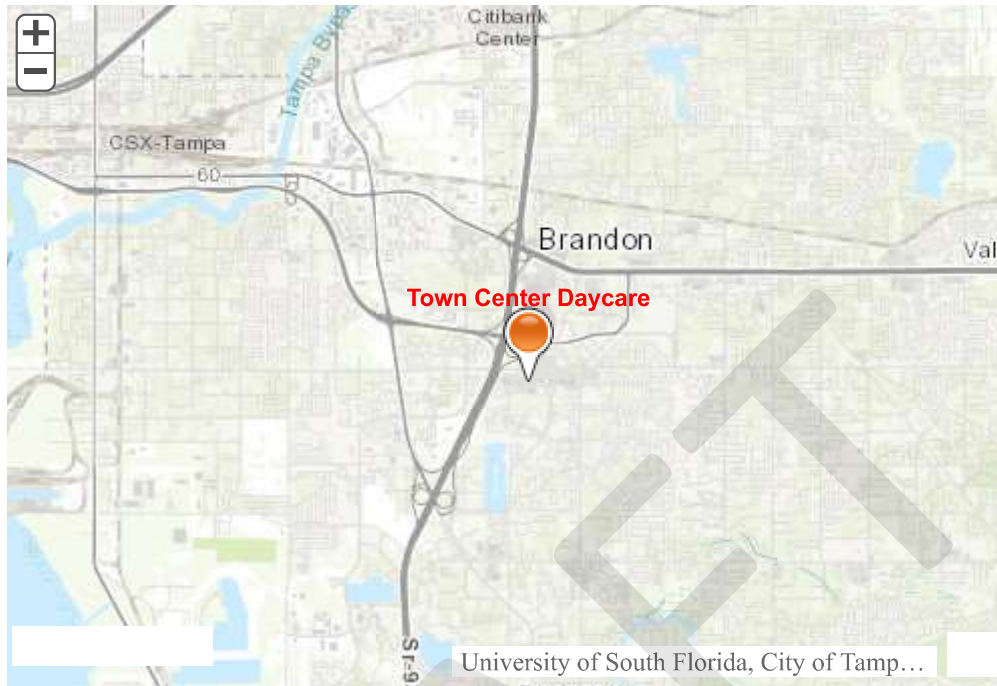
Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COH0	Comm Class 8	PD	0.0	0.0	SF SQUARE FEET	59,677.00	\$369,502

Legal Description

SOUTH TAMPA SUBDIVISION PART OF TRACT 9 IN SW 1/4 DESC AS COMM AT NE COR OF SE 1/4 OF SW 1/4 RUN S 88 DEG 34 MIN 31 SEC W 95 FT FOR A POB THN S 00 DEG 13 MIN 12 SEC E 425 FT S 89 DEG 46 MIN 48 SEC W 162.3 FT TO A PC THN 429.59 FT ALG CRV TO LEFT W/RAD OF 828.07 FT CB N 05 DEG 42 MIN 47 SEC E 424.78 FT TO N BDY OF SE 1/4 OF SW 1/4 THN N 88 DEG 34 MIN 31 SEC E ALG BDY 118.42 FT TO THE POB

**TOWN CENTER DAYCARE
UNKNOWN
BRANDON, FL 33511**



**You can navigate within the map with your mouse.*

EPA Facility Information

This query was executed on APR-01-2020

Integrated Compliance Information System (ICIS)

Facility

<u>FACILITY NAME</u> (1)	TOWN CENTER DAYCARE	<u>NPDES</u>	FLR100B40
<u>STREET 1</u>	UNKNOWN	<u>SIC CODE</u>	
<u>CITY</u>	Wesley Chapel	<u>MAJOR / MINOR</u>	

<u>COUNTY NAME</u>	Hillsborough	<u>TYPE OF OWNERSHIP</u>	
<u>STATE</u>	FL	<u>ACTIVITY STATUS</u>	Terminated
<u>ZIP CODE</u>	33511	<u>INACTIVE DATE</u>	
<u>REGION</u>	Region 4	<u>TYPE OF PERMIT ISSUED</u>	General Permit Covered Facility
<u>LATITUDE</u>	27.9263889	<u>ORIGINAL PERMIT ISSUE DATE</u>	16-MAY-2014
<u>LONGITUDE</u>	-82.3272222	<u>PERMIT ISSUED DATE</u>	16-MAY-2014
<u>LAT/LON CODE OF ACCURACY</u>		<u>PERMIT EXPIRED DATE</u>	15-MAY-2019
<u>LAT/LON METHOD</u>			
<u>LAT/LON SCALE</u>		<u>USGS HYDRO BASIN CODE</u>	
<u>LAT/LON DATUM</u>		<u>FLOW</u>	
<u>RECEIVING WATERS</u>		<u>FEDERAL GRANT IND</u>	
<u>PRETREATMENT CODE</u>		<u>SLUDGE CLASS FAC IND</u>	NON-POTW
<u>MAILING NAME</u>	Town Center Blvd., LLC	<u>SLUDGE RELATED PERMIT NUM</u>	

<u>MAILING STREET (1)</u>	7637 Stoney Hill Dr	<u>ANNUAL DRY SLUDGE PROD</u>	
<u>MAILING STREET (2)</u>			
<u>MAILING CITY</u>	Wesley Chapel		
<u>MAILING STATE</u>	Florida		
<u>MAILING ZIP CODE</u>	33544		
<u>COGNIZANT OFFICIAL</u>		<u>COGNIZANT OFFICIAL TEL</u>	

Additional Information can be obtained from Water Discharge Permit Information

ICIS Search.

SMF 7C

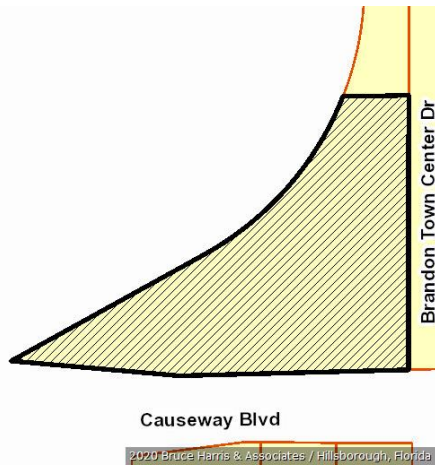
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 071936-0400



Owner Information

Owner Name	MORSE OPERATIONS INC
Mailing Address	2850 S FEDERAL HWY DELRAY BEACH, FL 33483-3216
Site Address	11020 CAUSEWAY BLVD, BRANDON
PIN	U-29-29-20-663-000002-69290.0
Folio	071936-0400
Prior PIN	
Prior Folio	071936-0100
Tax District	U - UNINCORPORATED
Property Use	2701 AUTO DEALERSHIP
Plat Book/Page	6/3
Neighborhood	223009.00 Heather Lakes Area
Subdivision	663 SOUTH TAMPA SUBDIVISION

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$7,871,167	\$7,871,167	\$0	\$7,871,167
Public Schools	\$7,871,167	\$7,871,167	\$0	\$7,871,167
Municipal	\$7,871,167	\$7,871,167	\$0	\$7,871,167
Other Districts	\$7,871,167	\$7,871,167	\$0	\$7,871,167

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15492	0359	03	2005	WD	Qualified	Vacant	\$1,293,700
6919	1593	03	1993	WD	Qualified	Vacant	\$1,135,400
4438	0648	10	1984	WD	Qualified	Vacant	\$750,000
3842	0070	08	1981	QC	Unqualified	Vacant	\$100
3166	0802	01	1976		Qualified		\$151,300

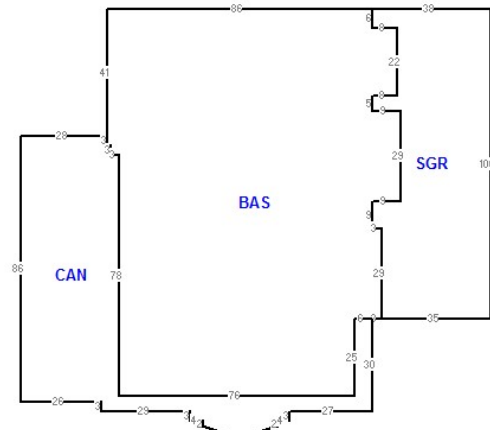
Building Information

Building 1

Type	66 AUTOMOTIVE SHOWROOM
Year Built	1994

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	15	Glass Thermopane
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	7	Tile
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	20.00	



Building 1 subarea

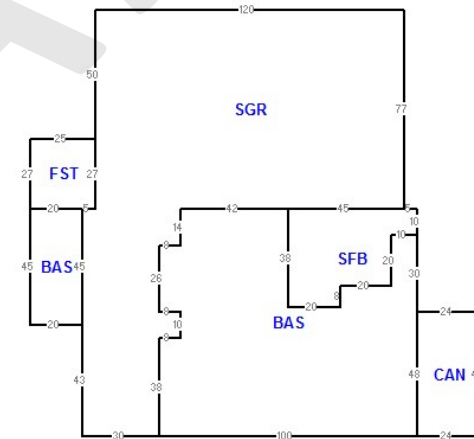
Area Type	Gross Area	Heated Area	Depreciated Value
SGR	3,276	3,276	\$227,255
BAS	10,809	10,809	\$1,249,438
CAN	3,496		\$121,256
Totals	17,581	14,085	\$1,597,949

Building 3

Type	66 AUTOMOTIVE SHOWROOM
Year Built	1994

Building 3 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	7	Tile
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	24.00	



Building 3 subarea

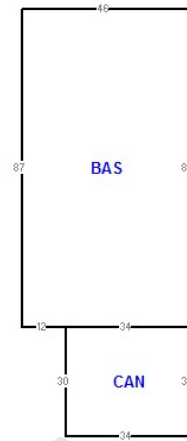
Area Type	Gross Area	Heated Area	Depreciated Value
SFB	1,460	1,460	\$116,557
SGR	12,072	12,072	\$722,793
FST	675		\$33,730
BAS	900	900	\$89,813
BAS	7,148	7,148	\$713,313
CAN	1,152		\$34,528
Totals	23,407	21,580	\$1,710,734

Building 4

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	2007

Building 4 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Heat/AC	1	Non-Ducted
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	16.00	



Building 4 subarea

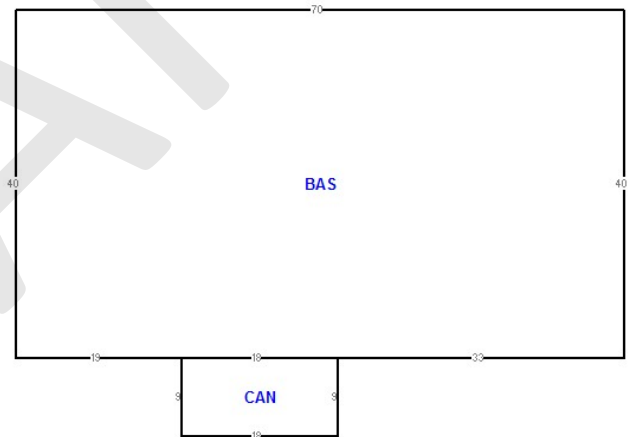
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	4,002	4,002	\$273,193
CAN	1,020		\$20,889
Totals	5,022	4,002	\$294,082

Building 5

Type	66 AUTOMOTIVE SHOWROOM
Year Built	2008

Building 5 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 5 subarea

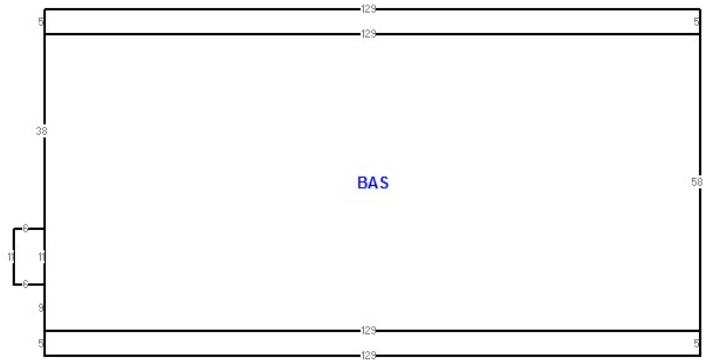
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,800	2,800	\$310,076
CAN	162		\$5,426
Totals	2,962	2,800	\$315,502

Building 6

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	2008

Building 6 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	16.00	



Building 6 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	645		\$11,994
BAS	7,482	7,482	\$462,567
CAN	66		\$1,236
CAN	645		\$11,994
Totals	8,838	7,482	\$487,791

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	0	1994	0	0	182,504.00	\$539,628
0115	CONCRETE PAVERS	0	1994	0	0	5,144.00	\$31,111
0260	FENCE CL6	0	1994	0	0	408.00	\$3,223
0651	SHED NOT PERMANENTLY AFFIXED	0	2014	0	0	1.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	0	2014	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TLK3	TL Class 11	PD	0.0	0.0	SF SQUARE FEET	43,560.00	\$653,400
COH0	Comm Class 8	PD	0.0	0.0	SF SQUARE FEET	282,671.20	\$2,236,523
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	1.63	\$1,222

Legal Description

SOUTH TAMPA SUBDIVISION COM AT NE COR OF SE 1/4 OF SW 1/4 RUN S 00 DEG 13 MIN 12 SEC E 842.96 FT ALG E BDRY OF SE 1/4 OF SW 1/4 RUN S 89 DEG 46 MIN 48 SEC W 95 FT TO POB RUN S 00 DEG 13 MIN 12 SEC E 330.45 FT ALG A LINE 80 FT W OF AND PARALLEL TO E BDRY OF TRACT 16 TO A PT ON N R/W OF CAUSEWAY BLVD (SR 676) RUN S 88 DEG 36 MIN 58 SEC W 453.43 FT ALG SAID N R/W N 85 DEG 27 MIN 27 SEC W 599.96 FT ALG INTERSECTION R/W OF I-75 AT CAUSEWAY BLVD RUN N 61 DEG 41 MIN 58 SEC E 571.90 FT ALG DRAINAGE R/W FOR I-75 TO PT OF CURVE RUN NELY 41.90 FT ALG ARC OF CURVE TO LEFT W/RAD OF 828.07 FT CRD BRG N 60 DEG 15 MIN E 41.89 FT ALG DRAINAGE R/W RUN N 89 DEG 46 MIN 48 SEC E 510.20 FT TO POB TOGETHER WITH FOLLOWING SE 1/4 OF SW 1/4 LESS R/W FOR SR 676 AND LESS E 95 FT THEREOF AND LESS R/W FOR I-75 AND LESS TRACT BEG NE COR OF SE 1/4 OF SW 1/4 RUN S 88 DEG 34 MIN 31 SEC W 95 FT FOR POB THN S 425 FT THN W 162.30 FT THN N 05 DEG 42 MIN 47 SEC E 424.78 FT THN N 88 DEG 34 MIN 31 SEC E 118.42 FT TO POB AND LESS TRACT BEG NE COR OF SE 1/4 OF SW 1/4 RUN S 842.96 FT ALG E BDRY RUN S 89 DEG 46 MIN 48 SEC W 95 FT TO POB RUN S 00 DEG 13 MIN 12 SEC E 330.45 FT TO PT ON N R/W OF CAUSEWAY BLVD RUN S 88 DEG 36 MIN 58 SEC W 453.43 FT ALG R/W RUN N 85 DEG 27 MIN 27 SEC W 599.96 FT RUN N 61 DEG 41 MIN 58 SEC E 571.90 FT TO PT OF CURVE TO LEFT ALG ARC 41.90 FT W/RAD OF 828.07 FT CRD BRG N 60 DEG 15 MIN E 41.89 FT RUN N 89 DEG 46 MIN 48 SEC E 510.20 FT TO POB



Related Topics: Envirofacts

FRS

FRS Facility Detail Report

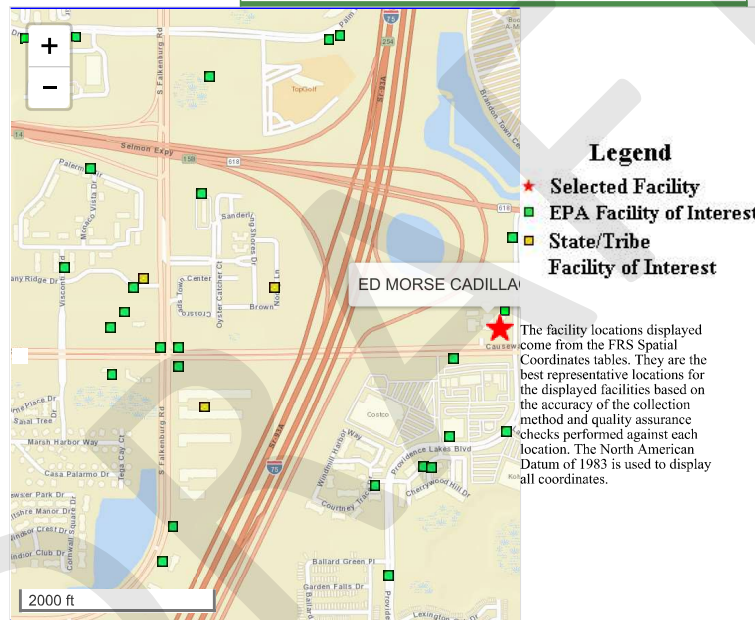
**ED MORSE
CADILLAC
BRANDON**

EPA Registry Id:
110005634402
11020 CAUSEWAY
BLVD
BRANDON, FL
335111998

Facility Registry Service Links:

- Facility Registry Service (FRS) Overview
- FRS Facility Query
- FRS Organization Query
- EZ Query
- FRS Physical Data Model
- FRS Geospatial Model

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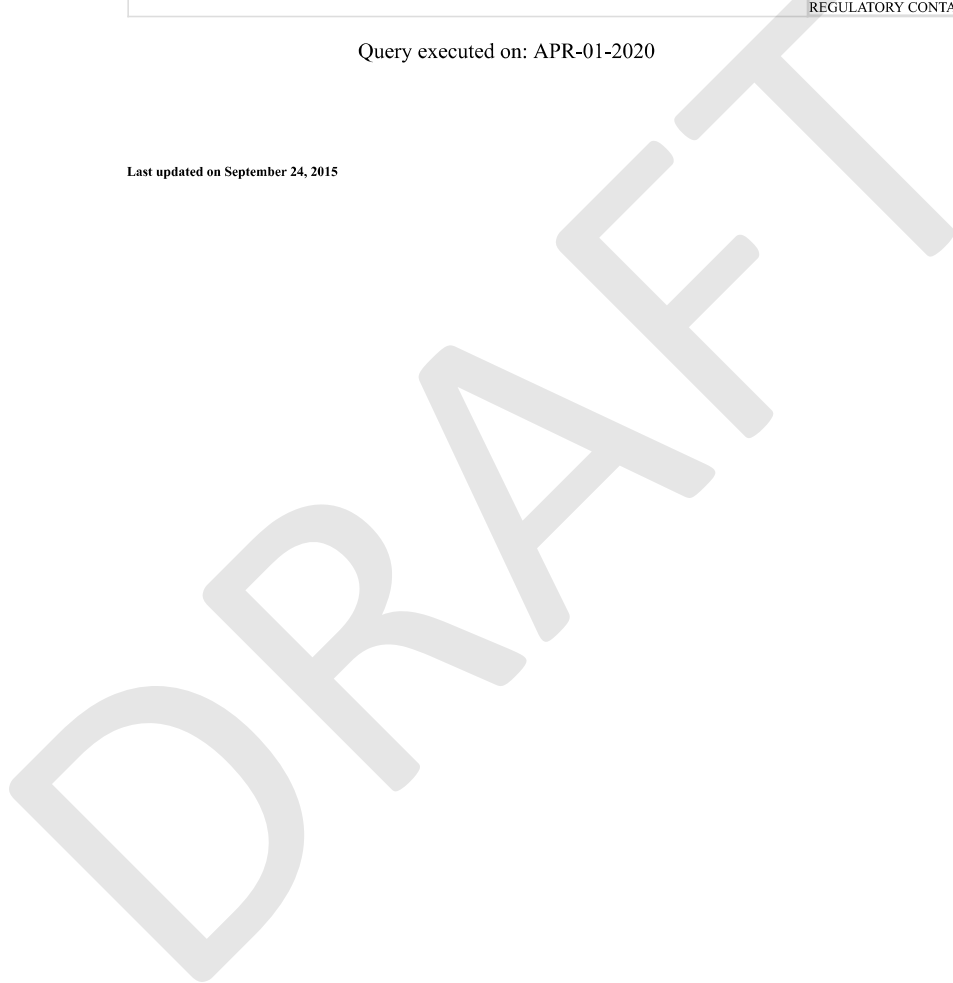
Environmental Interests

Information System	System Facility Name	Information System Id/Report Link	Environmental Interest Type	Data Source	Last Update Date
FLORIDA - FIESTA DATA MAINTENANCE	ED MORSE CADILLAC BRANDON	41757	STATE MASTER	FLORIDA DEP	
RESOURCE CONSERVATION AND RECOVERY ACT INFORMATION SYSTEM	ED MORSE CADILLAC BRANDON	FLR000015081	CESQG (Y)	RCRAINFO	01/17/2017
Additional EPA Reports: MyEnvironment Enforcement and Compliance Site Demographics Facility Coordinates Viewer Environmental Justice Map Viewer Watershed Report					

Standard Industrial Classification Codes (SIC)				National Industry Classification System Cod				
No SIC Codes returned.				No NAICS Codes returned.				
Facility Codes and Flags				Facility Mailing Addresses				
EPA Region:	04			Affiliation Type	Delivery Point	City Name		
Duns Number:				OWNER	6363 NW 6TH WAY STE 400	FORT LAUDERDALE		
Congressional District Number:	14			NOTIFIER	PO BOX 2500	BRANDON		
Legislative District Number:	SW			FACILITY SITE CONTACT	PO BOX 2500	BRANDON		
HUC Code/Watershed:	03100206 / TAMPA BAY			OWNER	11020 CAUSEWAY BLVD	BRANDON		
US Mexico Border Indicator:				REGULATORY CONTACT	PO BOX 2500	BRANDON		
Federal Facility:	NO			FACILITY MAILING ADDRESS	PO BOX 2500	BRANDON		
Tribal Land:	NO			OWNER	6363 NW 6TH WAY STE 400	FORT LAUDERDALE		
Alternative Names				Contacts				
No Alternative Names returned.				Affiliation Type	Full Name	Office Phone	In	
Organizations				FACILITY SITE CONTACT	BILL MILLER	813-661-0887	FI	
Affiliation Type	Name	DUNS Number	Information System	Mailing Address				
NOTIFIER	ED MORSE CADILLAC BRANDON		FDM	View				
OWNER	MORSE OPERATIONS INC		RCRAINFO	View				
OWNER	MORSE OPERATIONS INC		FDM	View				
					OWNER	MIKE FITZGERALD	3366371072	FI
					REGULATORY CONTACT	BILL MILLER	8136610887	RC

Query executed on: APR-01-2020

Last updated on September 24, 2015





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 [RCRAInfo](#)



[Data Disclaimer](#)

RCRAInfo Facility Information

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ED MORSE CADILLAC BRANDON

Handler ID: FLR000015081
 11020 CAUSEWAY BLVD
 BRANDON, FL 33511-1998

County Name: HILLSBOROUGH

Latitude: 27.924106
Longitude: -82.327845

Hazardous Waste Generator:

Owner Name: MIKE FITZGERALD



**You can navigate within the map with your*

No BIENNIAL REPORT data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
BILL MILLER	PO BOX 2500	BRANDON	FL	33509-2500	813-661-0887	Public
BILL MILLER	PO BOX 2500	BRANDON	FL	33509-2500	813-661-0887	Permit

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE	LAND DISPOSAL	INCINERATOR	BOILER AND OR INDUSTRIAL FURNACE	STORAGE	TR

No Handler information is available for the facility listed above.

No PROCESS INFORMATION is available for the facility listed above.

HANDLER TYPE**LIST OF NAICS CODES AND DESCRIPTIONS**

NAICS CODE	NAICS DESCRIPTION
811111	GENERAL AUTOMOTIVE REPAIR

LIST OF WASTE CODES AND DESCRIPTIONS

<u>WASTE CODE</u>	<u>WASTE DESCRIPTION</u>
D001	IGNITABLE WASTE
F003	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETON ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
F005	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

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RCRAInfo Links

RCRAInfo
Only RCRAInfo facility information was searched to select facilities
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Search Parameters: 1 Handler ID: Beginning With: FLR000015081

Results are based on data extracted on FEB-27-2020



HANDLER ID	NAME	STREET	CITY	COUNTY	STATE
------------	------	--------	------	--------	-------

- Copy
- CSV
- Excel
- PDF
- Print

Showing 1 to 1 of Show entries Search:

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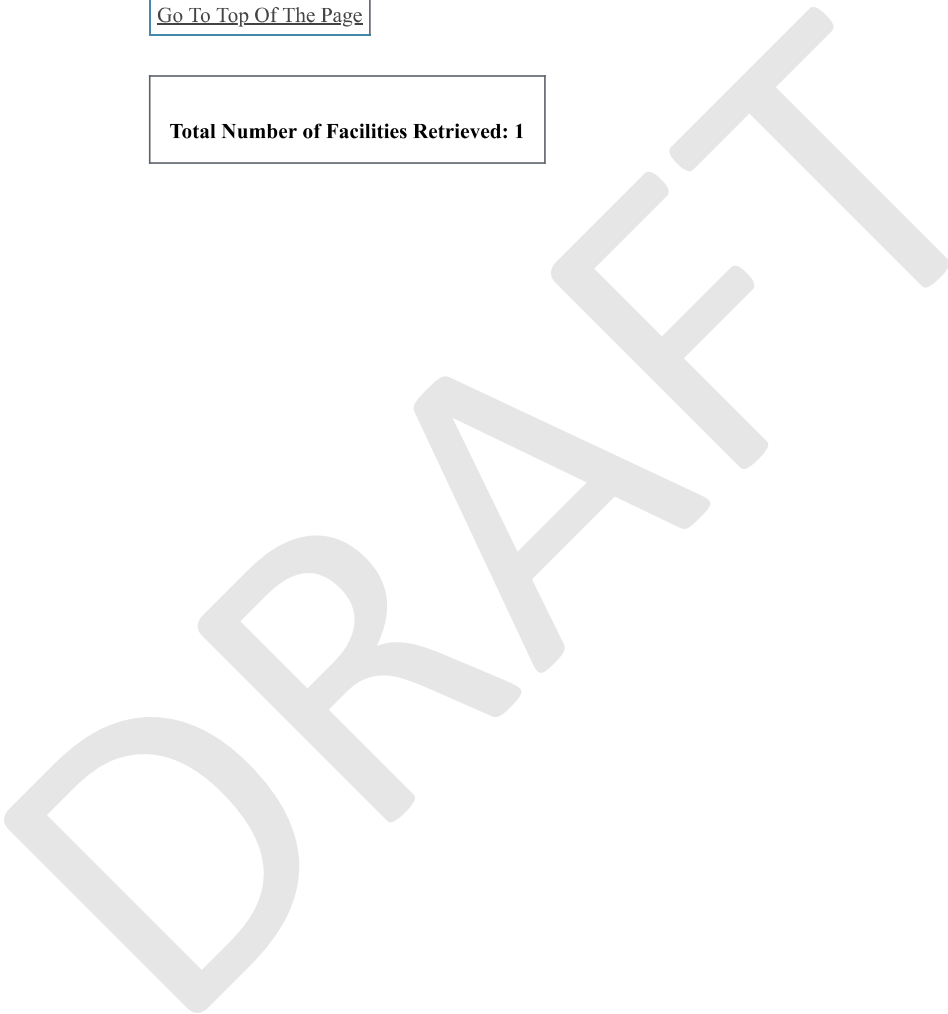
HANDLER ID	NAME	STREET	CITY	COUNTY	STATE	ZIP CODE	LATITUDE/L
FLR000015081	ED MORSE CADILLAC BRANDON	11020 CAUSEWAY BLVD	BRANDON	HILLSBOROUGH	FL	33511- 1998	27.924106/-8:

Showing 1 to 1 of Show entries Search:

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Total Number of Facilities Retrieved: 1



SMF 7/8

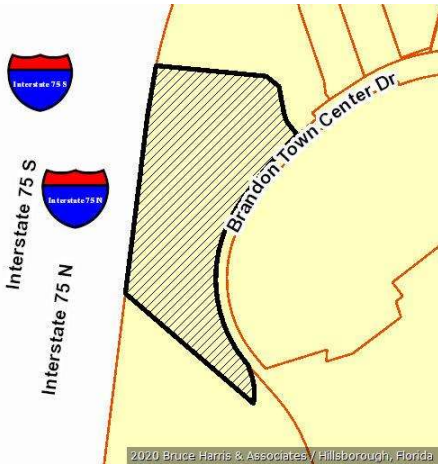
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpaf.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 071934-0000



Owner Information

Owner Name	BRANDON PARTNERS LTD
Mailing Address	WESTFIELD PROPERTY TAX DEPT PO BOX 130940 CARLSBAD, CA 92013-0940
Site Address	BRANDON TOWN CENTER DR, BRANDON
PIN	U-29-29-20-ZZZ-000002-68950.0
Folio	071934-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1000 VACANT COMM
Plat Book/Page	/
Neighborhood	223009.00 Heather Lakes Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$563,328	\$547,410	\$0	\$547,410
Public Schools	\$563,328	\$563,328	\$0	\$563,328
Municipal	\$563,328	\$547,410	\$0	\$547,410
Other Districts	\$563,328	\$547,410	\$0	\$547,410

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
4103	1313	04	1983	WD	Unqualified	Improved	\$4,027,500
3606	1750	12	1979	WD	Unqualified	Improved	\$2,800,000

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2020	0	0	11,300.00	\$16,207

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE3	Comm Class 5	PD	0.0	0.0	SF SQUARE FEET	85,018.74	\$544,681
9400	RIGHT-OF-WAY	PD	0.0	0.0	AC ACREAGE	4.88	\$2,440

Legal Description

BEG AT NW COR OF NE 1/4 OF SEC 29 RUN S 87 DEG 35 MIN 50 SEC W 133.35 FT FOR POB S 34 DEG 30 MIN 16 SEC W 215.79 FT N 85 DEG 36 MIN 14 SEC W 71.44 FT N 62 DEG 42 MIN 11 SEC W 176.30 FT N 47 DEG 00 MIN 49 SEC W 125.42 FT N 27 DEG 00 MIN 07 SEC W 28 FT MOL TO N BDRY OF SEC 29 W 260 FT MOL TO ACCESS RD A THN ALG RD R/W 660 FT MOL TO RING RD THN ALONG RING RD 1400 FT MOL S 10 DEG 17 MIN 08 SEC E 110 FT MOL N 49 DEG 20 MIN 30 SEC W 537.38 FT THN ALG I-75 1500 FT MOL TO N BDRY SEC 29 AND W TO POB LESS FOLLOWING: COM AT NE COR OF NW 1/4 RUN S 87 DEG 35 MIN 50 SEC W 362.53 FT FOR POB S 19 DEG 00 MIN 31 SEC E 661.93 FT CURVE RAD 628 FT CHRDR BRG S 58 DEG 52 MIN 36 SEC W 33.31 FT S 57 DEG 21 MIN 25 SEC W 37.33 FT TO CURVE RAD 1237.03 FT CHRDR BRG S 55 DEG 52 MIN 11 SEC W 64.11 FT N 35 DEG 36 MIN 45 SEC 23 FT S 52 DEG 46 MIN 49 SEC W 70.68 FT S 38 DEG 49 MIN 37 SEC E 23 FT TO CURVE RAD 1237.03 FT CHRDR BRG S 48 DEG 17 MIN 50 SEC W 81 FT N 38 DEG 24 MIN 55 SEC W 54.46 FT N 19 DEG 00 MIN 31 SEC W 26.59 FT N 10 DEG 33 MIN 09 SEC W 88.79 FT N 51 DEG 19 MIN 45 SEC W 52.25 FT N 84 DEG 30 MIN 06 SEC W 331.74 FT TO CURVE RAD 1815.86 FT CHRDR BRG N 22 DEG 20 MIN 23 SEC E 611.42 FT AND N 87 DEG 35 MIN 50 SEC E 211.63 FT TO POB LESS A PARCEL DESC AS COMM AT NE COR OF NW 1/4 OF SAID SEC 29 THN S 87 DEG 35 MIN 50 SEC W ALONG N LINE OF SAID NW 1/4 133.35 FT TO POB THN S 34 DEG 30 MIN 16 SEC E 215.79 FT THN S 86 DEG 36 MIN 14 SEC E 71.44 FT THN N 62 DEG 42 MIN 11 SEC E 141.50 FT THN S 15 DEG 30 MIN 25 SEC W 461.24 FT TO CURVE TO LEFT CB S 70 DEG 34 MIN 37 SEC W 223.17 FT RADIUS OF 628 FT THN N 19 DEG 00 MIN 31 SEC W 661.93 FT THN N 87 DEG 35 MIN 50 SEC E 229.17 FT TO POB

DRAFT

SMF 8A

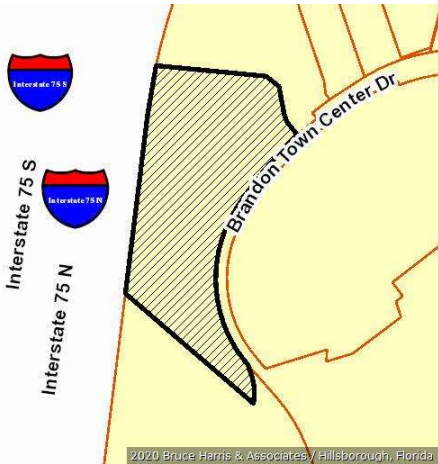
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpaf.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 071934-0000



Owner Information

Owner Name	BRANDON PARTNERS LTD
Mailing Address	WESTFIELD PROPERTY TAX DEPT PO BOX 130940 CARLSBAD, CA 92013-0940
Site Address	BRANDON TOWN CENTER DR, BRANDON
PIN	U-29-29-20-ZZZ-000002-68950.0
Folio	071934-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1000 VACANT COMM
Plat Book/Page	/
Neighborhood	223009.00 Heather Lakes Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$563,328	\$547,410	\$0	\$547,410
Public Schools	\$563,328	\$563,328	\$0	\$563,328
Municipal	\$563,328	\$547,410	\$0	\$547,410
Other Districts	\$563,328	\$547,410	\$0	\$547,410

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
4103	1313	04	1983	WD	Unqualified	Improved	\$4,027,500
3606	1750	12	1979	WD	Unqualified	Improved	\$2,800,000

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2020	0	0	11,300.00	\$16,207

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE3	Comm Class 5	PD	0.0	0.0	SF SQUARE FEET	85,018.74	\$544,681
9400	RIGHT-OF-WAY	PD	0.0	0.0	AC ACREAGE	4.88	\$2,440

Legal Description

BEG AT NW COR OF NE 1/4 OF SEC 29 RUN S 87 DEG 35 MIN 50 SEC W 133.35 FT FOR POB S 34 DEG 30 MIN 16 SEC W 215.79 FT N 85 DEG 36 MIN 14 SEC W 71.44 FT N 62 DEG 42 MIN 11 SEC W 176.30 FT N 47 DEG 00 MIN 49 SEC W 125.42 FT N 27 DEG 00 MIN 07 SEC W 28 FT MOL TO N BDRY OF SEC 29 W 260 FT MOL TO ACCESS RD A THN ALG RD R/W 660 FT MOL TO RING RD THN ALONG RING RD 1400 FT MOL S 10 DEG 17 MIN 08 SEC E 110 FT MOL N 49 DEG 20 MIN 30 SEC W 537.38 FT THN ALG I-75 1500 FT MOL TO N BDRY SEC 29 AND W TO POB LESS FOLLOWING: COM AT NE COR OF NW 1/4 RUN S 87 DEG 35 MIN 50 SEC W 362.53 FT FOR POB S 19 DEG 00 MIN 31 SEC E 661.93 FT CURVE RAD 628 FT CHRDR BRG S 58 DEG 52 MIN 36 SEC W 33.31 FT S 57 DEG 21 MIN 25 SEC W 37.33 FT TO CURVE RAD 1237.03 FT CHRDR BRG S 55 DEG 52 MIN 11 SEC W 64.11 FT N 35 DEG 36 MIN 45 SEC 23 FT S 52 DEG 46 MIN 49 SEC W 70.68 FT S 38 DEG 49 MIN 37 SEC E 23 FT TO CURVE RAD 1237.03 FT CHRDR BRG S 48 DEG 17 MIN 50 SEC W 81 FT N 38 DEG 24 MIN 55 SEC W 54.46 FT N 19 DEG 00 MIN 31 SEC W 26.59 FT N 10 DEG 33 MIN 09 SEC W 88.79 FT N 51 DEG 19 MIN 45 SEC W 52.25 FT N 84 DEG 30 MIN 06 SEC W 331.74 FT TO CURVE RAD 1815.86 FT CHRDR BRG N 22 DEG 20 MIN 23 SEC E 611.42 FT AND N 87 DEG 35 MIN 50 SEC E 211.63 FT TO POB LESS A PARCEL DESC AS COMM AT NE COR OF NW 1/4 OF SAID SEC 29 THN S 87 DEG 35 MIN 50 SEC W ALONG N LINE OF SAID NW 1/4 133.35 FT TO POB THN S 34 DEG 30 MIN 16 SEC E 215.79 FT THN S 86 DEG 36 MIN 14 SEC E 71.44 FT THN N 62 DEG 42 MIN 11 SEC E 141.50 FT THN S 15 DEG 30 MIN 25 SEC W 461.24 FT TO CURVE TO LEFT CB S 70 DEG 34 MIN 37 SEC W 223.17 FT RADIUS OF 628 FT THN N 19 DEG 00 MIN 31 SEC W 661.93 FT THN N 87 DEG 35 MIN 50 SEC E 229.17 FT TO POB

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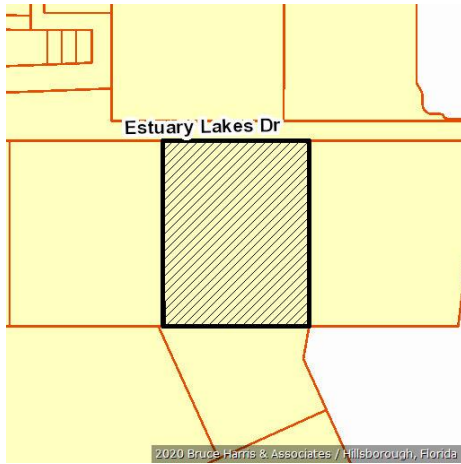
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 072210-1306



Owner Information

Owner Name I-75/PALM RIVER ROAD LLC

Mailing Address 516 COMMONS DR
PALM BEACH GARDENS, FL 33418-3984

Site Address ESTUARY LAKES DR, TAMPA

PIN U-29-29-20-A4C-000000-00003.0

Folio 072210-1306

Prior PIN U-20-29-20-663-000002-52760.0

Prior Folio 068090-0000

Tax District U - UNINCORPORATED

Property Use 1000 VACANT COMM

Plat Book/Page 127/24

Neighborhood 222006.00 | Clair-Mel Area

Subdivision A4C | ESTUARY COMMERCIAL

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$665,994	\$165,477	\$0	\$165,477
Public Schools	\$665,994	\$665,994	\$0	\$665,994
Municipal	\$665,994	\$165,477	\$0	\$165,477
Other Districts	\$665,994	\$165,477	\$0	\$165,477

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15031	0410	05	2005	WD	Unqualified	Vacant	\$4,200,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO2A	Comm Class 10	PD	0.0	0.0	SF SQUARE FEET	56,202.00	\$665,994

Legal Description

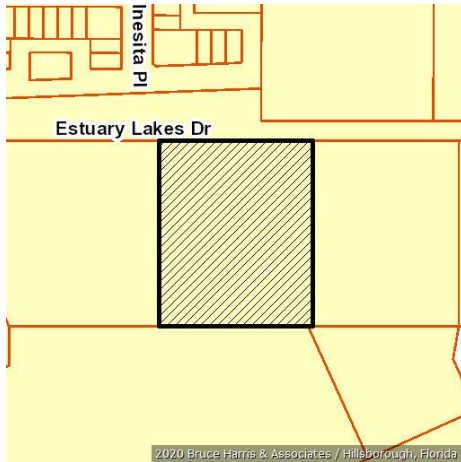
ESTUARY COMMERCIAL LOT 3



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 072210-1308



Owner Information

Owner Name I-75/PALM RIVER ROAD LLC

Mailing Address 516 COMMONS DR
PALM BEACH GARDENS, FL 33418-3984

Site Address ESTUARY LAKES DR, TAMPA

PIN U-29-29-20-A4C-000000-00004.0

Folio 072210-1308

Prior PIN U-20-29-20-663-000002-52760.0

Prior Folio 068090-0000

Tax District U - UNINCORPORATED

Property Use 1000 VACANT COMM

Plat Book/Page 127/24

Neighborhood 222006.00 | Clair-Mel Area

Subdivision A4C | ESTUARY COMMERCIAL

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$699,434	\$173,787	\$0	\$173,787
Public Schools	\$699,434	\$699,434	\$0	\$699,434
Municipal	\$699,434	\$173,787	\$0	\$173,787
Other Districts	\$699,434	\$173,787	\$0	\$173,787

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15031	0410	05	2005	WD	Unqualified	Vacant	\$4,200,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO2A	Comm Class 10	PD	0.0	0.0	SF SQUARE FEET	59,024.00	\$699,434

Legal Description

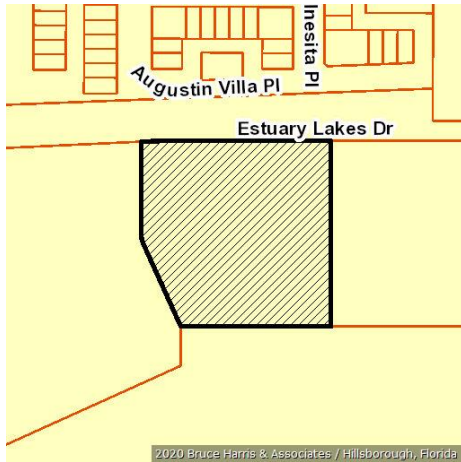
ESTUARY COMMERCIAL LOT 4



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 072210-1322



Owner Information

Owner Name I-75/PALM RIVER ROAD LLC

Mailing Address 516 COMMONS DR
PALM BEACH GARDENS, FL 33418-3984

Site Address ESTUARY LAKES DR, TAMPA

PIN U-29-29-20-A4C-000000-00011.0

Folio 072210-1322

Prior PIN U-20-29-20-663-000002-52760.0

Prior Folio 068090-0000

Tax District U - UNINCORPORATED

Property Use 1000 VACANT COMM

Plat Book/Page 127/24

Neighborhood 222006.00 | Clair-Mel Area

Subdivision A4C | ESTUARY COMMERCIAL

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$822,817	\$204,443	\$0	\$204,443
Public Schools	\$822,817	\$822,817	\$0	\$822,817
Municipal	\$822,817	\$204,443	\$0	\$204,443
Other Districts	\$822,817	\$204,443	\$0	\$204,443

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15031	0410	05	2005	WD	Unqualified	Vacant	\$4,200,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO2A	Comm Class 10	PD	0.0	0.0	SF SQUARE FEET	69,436.00	\$822,817

Legal Description

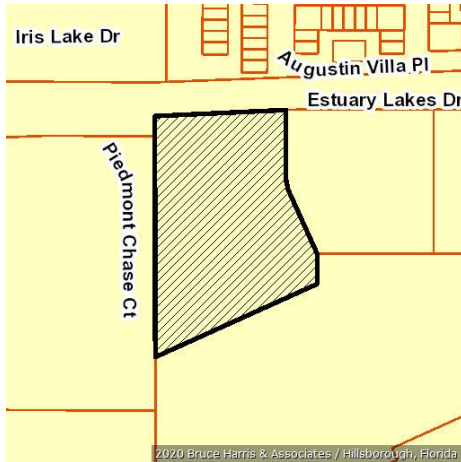
ESTUARY COMMERCIAL LOT 11



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 072210-1316



Owner Information

Owner Name I-75/PALM RIVER ROAD LLC

Mailing Address 516 COMMONS DR
PALM BEACH GARDENS, FL 33418-3984

Site Address ESTUARY LAKES DR, TAMPA

PIN U-29-29-20-A4C-000000-00008.0

Folio 072210-1316

Prior PIN U-20-29-20-663-000002-52760.0

Prior Folio 068090-0000

Tax District U - UNINCORPORATED

Property Use 1000 VACANT COMM

Plat Book/Page 127/24

Neighborhood 222006.00 | Clair-Mel Area

Subdivision A4C | ESTUARY COMMERCIAL

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,232,803	\$339,189	\$0	\$339,189
Public Schools	\$1,232,803	\$1,232,803	\$0	\$1,232,803
Municipal	\$1,232,803	\$339,189	\$0	\$339,189
Other Districts	\$1,232,803	\$339,189	\$0	\$339,189

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15031	0410	05	2005	WD	Unqualified	Vacant	\$4,200,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO2A	Comm Class 10	PD	0.0	0.0	SF SQUARE FEET	104,034.00	\$1,232,803

Legal Description

ESTUARY COMMERCIAL A PORTION OF LOT 8 DESCRIBED AS: BEGIN AT NW COR OF SD LOT 8 THN N 87 DEG 18 MIN 57 SEC E 243.05 FT ALG NLY BDRY OF LOT 8 TO NE COR THEREOF THN ALG BDRY OF LOT 8: S 129.85 FT THN ALG CURVE CONCAVE TO NE RAD 45 FT CHORD BRG S 12 DEG 10 MIN 33 SEC E 18.98 FT THN S 24 DEG 21 MIN 05 SEC E 129.28 FT THN DEPARTING BDRY OF LOT 8: S 00 DEG 04 MIN 27 SEC E 56.47 FT THN S 65 DEG 38 MIN 55 SEC W 328.53 FT TO WLY BDRY OF LOT 8 THN ALG SD BDRY N 00 DEG 06 MIN 41 SEC W 446.74 FT TO POB

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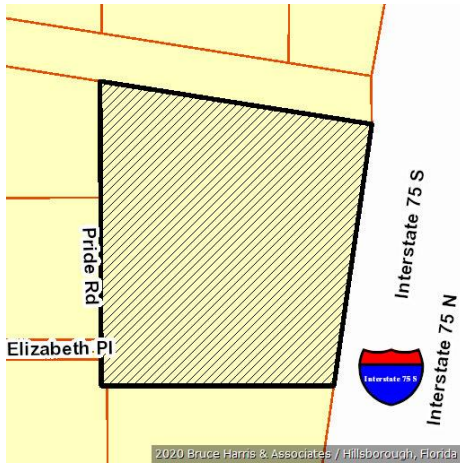
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafll.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 068056-0000



Owner Information

Owner Name ICE SPORTS FORUM INC

Mailing Address 5012 W CYPRESS ST
TAMPA, FL 33607-3804

Site Address 10222 ELIZABETH PL, BRANDON

PIN U-20-29-20-ZZZ-000002-52370.0

Folio 068056-0000

Prior PIN

Prior Folio 000000-0000

Tax District U - UNINCORPORATED

Property Use 3400 BOWLING ALLEY/SKATE RINK

Plat Book/Page /

Neighborhood 218002.00 | By-Pass Canal Area W of I-75 & E of 301

Subdivision ZZZ | UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$7,516,473	\$7,516,473	\$0	\$7,516,473
Public Schools	\$7,516,473	\$7,516,473	\$0	\$7,516,473
Municipal	\$7,516,473	\$7,516,473	\$0	\$7,516,473
Other Districts	\$7,516,473	\$7,516,473	\$0	\$7,516,473

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
8426	1846	01	1997	WD	Unqualified	Vacant	\$525,000
6180	1932	01	1991	WD	Unqualified	Vacant	\$100
6162	0267	12	1990	WD	Unqualified	Vacant	\$100

Building Information

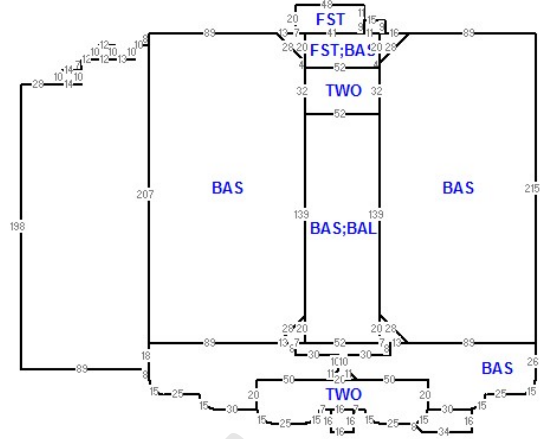
Building 1

Type 58 | BOWLING/SKATE

Year Built 1997

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	26.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	23,035	23,035	\$1,566,368
BAS	200	200	\$13,600
BAL	200		\$2,040
CAN	135		\$2,720
BAL	135		\$1,360
FST	1,248		\$42,432
BAS	1,248	1,248	\$84,863
FST	960		\$32,640
TWO	400	400	\$27,200
BAS	23,035	23,035	\$1,566,368
BAS	18,521	18,521	\$1,259,419
CNB	120		\$816
CNB	140		\$952
BAS	4,264	4,264	\$289,950
TWO	6,400	6,400	\$435,197
CNB	256		\$1,768
CNB	547		\$3,740
BAS	4,264	4,264	\$289,950
BAS	200	200	\$13,600
BAL	200		\$2,040
BAS	8,268	8,268	\$562,220
BAL	8,268		\$84,319
TWO	3,328	3,328	\$226,302
BAS	200	200	\$13,600
BAL	200		\$2,040
BAS	692	692	\$47,056
BAL	692		\$7,072
Totals	107,156	94,055	\$6,579,632

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	1	1997	0	0	69,835.00	\$72,405
0060	CONCRETE PAVEMENT	1	1997	0	0	6,664.00	\$19,256
0115	CONCRETE PAVERS	0	2011	0	0	600.00	\$3,715

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
INA2	Ind Class 1	IPD-2	0.0	0.0	SF SQUARE FEET	485,694.00	\$841,465

Legal Description

E 1/2 OF NW 1/4 LESS R/W FOR I-75 AND LESS THAT PART LYING E OF I-75 AND N OF SCL RR AND LESS FOLLOWING: TR BEG 583.67 FT S AND 59.99 FT E OF NW COR OF SE 1/4 OF NW 1/4 RUN N 452.75 FT E 517.14 FT S 09 DEG 03 MIN 15 SEC W 762.22 FT S 37 DEG 51 MIN 43 SEC W 300.86 FT S 52 DEG 41 MIN 51 SEC W 267.48 FT N 705 FT TO POB AND LESS THAT PART LYING N OF SCL RR LESS FOLLOWING TRACT: COM AT NW COR OF SE 1/4 OF NW 1/4 THN S 00 DEG 04 MIN 07 SEC W 130.91 FT FOR POB S 89 DEG 55 MIN 29 SEC E 60.06 FT S 00 DEG 10 SEC 17 SEC W 114.82 FT S 00 DEG 04 MIN 39 SEC W 337.95 FT S 89 DEG 55 MIN 20 SEC E .19 FT S 00 DEG 05 MIN 34 SEC W 704.51 FT S 52 DEG 51 MIN 46 SEC W 74.95 FT AND N 00 DEG 04 MIN 07 SEC E 1202.60 FT TO POB

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Detailed Facility Report

Facility Summary

BRANDON ICE SPORTS FORUM - BUI
10222 ELIZABETH PL, TAMPA, FL
33619

FRS (Facility Registry Service) ID:
 110033016420
 EPA Region: 04
 Latitude: 27.94852
 Longitude: -82.33106
 Locational Data Source: FRS
 Industry: No description found
 Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
CWA	--	--	Terminated Permit	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information
 Clean Water Act (CWA): Minor, Permit Terminated; Compliance Tracking Off (FLR10GJ09)
 Resource Conservation and Recovery Act (RCRA): No

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
 Greenhouse Gas Emissions (eGGRT): No Information
 Toxic Releases (TRI): No Information
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Information
Safe Drinking Water Act
(SDWA): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110033016420					N	27.94852	-82.33106
ICIS-NPDES	CWA	FLR10GJ09	Minor: General Permit Covered Facility	Terminated: Compliance Tracking Off	Storm Water Construction	12/19/2012	N	27.9485	-82.33111

Facility Address

System	Statute	Identifier	Facility Name	Facility Address
FRS		110033016420	BRANDON ICE SPORTS FORUM - BUI	10222 ELIZABETH PL, TAMPA, FL 33619
ICIS-NPDES	CWA	FLR10GJ09	BRANDON ICE SPORTS FORUM - BUI	10222 ELIZABETH PL, TAMPA, FL 33619

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
No data records returned			

Facility Industrial Effluent Guidelines

Identifier	Effluent Guideline (40 CFR Part)	Effluent Guideline Description
No data records returned		

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
Tampa Reservation	Seminole Tribe of Florida	100000266	3.86

Enforcement and Compliance

Compliance Monitoring History (5 years)

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not counted in EPA compliance monitoring strategies or annual results.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CWA	FLR10GJ09	No	06/30/2019	0	12/06/2019

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
CWA (Source ID: FLR10GJ09)		07/01-09/30/16	10/01-12/31/16	01/01-03/31/17	04/01-06/30/17	07/01-09/30/17	10/01-12/31/17	01/01-03/31/18	04/01-06/30/18	07/01-09/30/18	10/01-12/31/18	01/01-03/31/19	04/01-06/30/19	07/01-12/06/19
	Facility-Level Status	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit	Terminated Permit
	Quarterly Noncompliance Report History													

Informal Enforcement Actions (5 Years)

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Formal Enforcement Actions (5 Years)

Statute	System	Law/Section	Source ID	Action Type	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty	State/Local Penalty	SEP Cost	Comp Action Cost
No data records returned														

Environmental Conditions

Water Quality

Permit ID	Combined Sewer System?	Number of CSO (Combined Sewer Overflow) Outfalls	12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Impaired Waters	Impaired Class	Causes of Impairment(s) by Group(s)	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
FLR10GJ09			031002060302	Delaney Creek-Archie Creek Frontal		No			Yes

Water Body Designated Uses

Reach Code	Water Body Name	Exceptional Use	Recreational Use	Aquatic Life Use	Shellfish Use	Beach Closure Within Last Year	Beach Closure Within Last Two Years
03100206000325		No	No	No	No	No	No

Air Quality

Nonattainment Area?	Pollutant(s)	Applicable Nonattainment Standard(s)
No	Ozone	
No	Lead	
No	Particulate Matter	
No	Carbon Monoxide	
No	Nitrogen Dioxide	
No	Sulfur Dioxide	

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-site Releases	Total Off-site Transfers
No data records returned								

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
No data records returned

Demographic Profile

EJSCREEN EJ Indexes

Eleven primary environmental justice (EJ) indexes of EJSCREEN, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJSCREEN provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJSCREEN home page](#).

Census Block Group EJ Indexes (percentile)	
Particulate Matter (PM 2.5)	67
Ozone NATA Diesel PM	66.9
NATA Air Toxics Cancer Risk	68.1
NATA Respiratory Hazard Index (HI)	68.3
Traffic Proximity	68
Lead Paint Indicator	62.5
Superfund Proximity	99
Risk Management Plan (RMP) Proximity	87.9
Hazardous Waste Proximity	85
Wastewater Discharge Proximity	92.6

Number of EJ Indexes Above 80th Percentile
4

[View EJSCREEN Report](#)

Demographic Profile of Surrounding Area (3 Miles)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 US Census and American Community Survey data, and are accurate to the extent that the facility latitude and longitude listed below are correct. The latitude and longitude are obtained from the EPA Locational Reference Table (LRT) when available.

General Statistics	
Total Persons	73,687
Population Density	2,782/sq.mi.
Percent Minority	53%
Households in Area	27,872
Housing Units in Area	30,553
Households on Public Assistance	436
Persons Below Poverty Level	21,910

Geography	
Radius of Selected Area	3 mi.
Center Latitude	27.94852
Center Longitude	-82.33106
Land Area	94%
Water Area	6%

Income Breakdown - Households (%)	
Less than \$15,000	2,509 (9.37%)
\$15,000 - \$25,000	3,048 (11.38%)
\$25,000 - \$50,000	8,707 (32.5%)
\$50,000 - \$75,000	6,199 (23.14%)
Greater than \$75,000	6,326 (23.61%)

Age Breakdown - Persons (%)	
Children 5 years and younger	5,360 (7%)
Minors 17 years and younger	17,609 (24%)
Adults 18 years and older	56,078 (76%)
Seniors 65 years and older	5,654 (8%)

Race Breakdown - Persons (%)	
White	46,590 (63%)
African-American	17,047 (23%)
Hispanic-Origin	18,980 (26%)
Asian/Pacific Islander	2,524 (3%)
American Indian	329 (0%)
Other/Multiracial	7,198 (10%)

Education Level(Persons 25 & older) - Persons (%)	
Less than 9th Grade	2,099 (4.65%)
9th through 12th Grade	4,371 (9.69%)
High School Diploma	14,048 (31.14%)
Some College/2-year	14,356 (31.82%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	10,245 (22.71%)

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SMF 10B

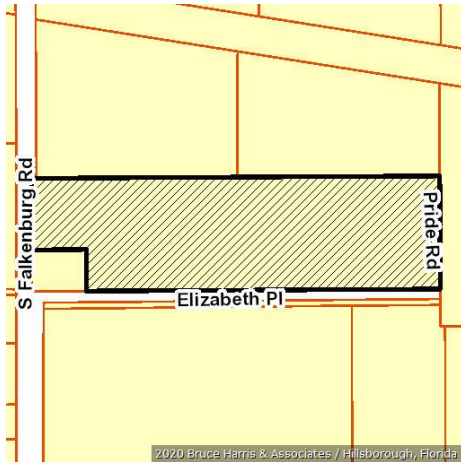
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 068069-0000



Owner Information

Owner Name	SUAREZ-DEAN INVESTMENT CO
Mailing Address	PO BOX 152 HOMOSASSA, FL 34487-0152
Site Address	10120 ELIZABETH PL, TAMPA
PIN	U-20-29-20-663-000002-52600.0
Folio	068069-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	4830 WAREHOUSE C
Plat Book/Page	6/3
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	663 SOUTH TAMPA SUBDIVISION

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,424,187	\$1,372,445	\$0	\$1,372,445
Public Schools	\$1,424,187	\$1,424,187	\$0	\$1,424,187
Municipal	\$1,424,187	\$1,372,445	\$0	\$1,372,445
Other Districts	\$1,424,187	\$1,372,445	\$0	\$1,372,445

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
2214	0499	01	1970		Qualified		\$31,500

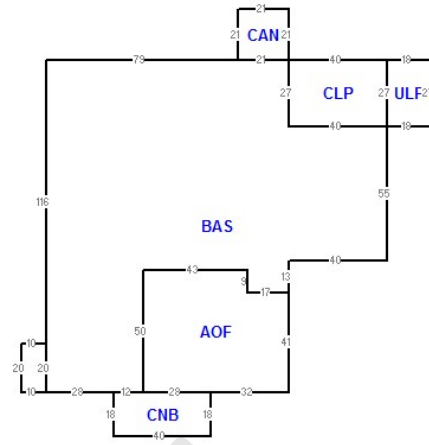
Building Information

Building 1

Type	87 PREFAB MTL BLD
Year Built	1973

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	12	Metal
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	22.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
ULP	486		\$1,355
CLP	1,080		\$6,013
CAN	441		\$1,225
BAS	12,953	12,953	\$120,199
CNB	200		\$186
CNB	720		\$668
AOF	2,847	2,847	\$55,483
Totals	18,727	15,800	\$185,129

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	1	2002	0	0	2,550.00	\$20,145
0020	ASPHALT PAVING	1	2002	0	0	26,400.00	\$22,810
0060	CONCRETE PAVEMENT	1	2017	0	0	1,136.00	\$4,987

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
INB3	Ind Class 2	M	0.0	0.0	SF SQUARE FEET	424,671.00	\$1,191,117

Legal Description

SOUTH TAMPA SUBDIVISION THAT PART OF TRACTS 5 AND 6 IN NW 1/4 LESS S 150 FT OF W 196 FT DESC AS S 375 FT OF NW 1/4 OF NW 1/4 OF SEC 20/29/20 LESS S 165 FT OF W 211 FT AND LESS R/W'S

New



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STATE UNDERGROUND PETROLEUM ENVIRONMENTAL RESPONSE
S.U.P.E.R. ACT SITE INVESTIGATION

I. Site Identification

Track Number (6-digits, first 2 digits are county #) _____ or

Facility Number (9-digits) 298627991

PLIRP Site ATRP Site _____ HRS CPHU Initiated _____

(If the site has no DER Early Detection Incentive track number, record the DER Storage Tank Inventory facility number and check appropriate type of investigation: Petroleum Liability and Insurance Restoration Program, Abandoned Tank Restoration Program, or HRS County Public Health Unit)

Business/Site Name CG Suarez Dist. Co.

Business/Site Address 10120 Elizabeth Pl

Business/Site City & County TAMPA 33619 Hillsborough

II. Site Vicinity

Number of large public wells within 1/2 mile 0

(Potable wells producing >100,000 Gallons Per Day)

Number of private or small public wells w/in 1/4 mile 5

(Any potable well producing <100,000 GPD)

Usage of small public well(s) office factory

(Choices: NA, Food Outlet/Service/Processor, Trailer Park, Apartments, School, Other.)

Number of irrigation water wells w/in 1/2 mile <10

Surface water used for potable purposes w/in 1/2 mile NO

(Answer Yes or No, include compass direction (eg. NW, SSE) if Yes)

III. Mapping

Initial investigation site map attached Yes or

(Locates site and all wells sampled with a legend of wells)

Follow-up investigation site map attached Yes No

(Locates all wells sampled that have not been previously mapped)

MAPPING MUST BE DONE ON 7.5 MINUTE TOPOGRAPHIC QUADRANGLE MAPS SO THAT COMPUTER MAPPING CAN BE COMPLETED BY HRS ENVIRONMENTAL EPIDEMIOLOGY (HSEE). IF QUAD POINT RESOLUTION IS POOR, ALSO INCLUDE A CITY STREET MAP.

IV. Water Sampling

Number of potable water wells sampled this series 3

(A series is an initial sampling or quarterly/annual re-sampling of wells surrounding a site)

Date(s) of this sampling series 4-6-94 Series # 1

Pipe permeation sample collection this visit Yes No

Virginia Beard
Signature of Investigator

Virginia Beard
Printed/Typed Name

3-6-94
Date(s) of Investigation

SMF 10C

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https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 068056-0125



Owner Information

Owner Name	ELIZABETH PLACE PROPERTIES LLC
Mailing Address	6365 53RD ST N PINELLAS PARK, FL 33781-5627
Site Address	PRIDE RD, TAMPA
PIN	U-20-29-20-ZZZ-000002-52390.0
Folio	068056-0125
Prior PIN	
Prior Folio	068056-0000
Tax District	U - UNINCORPORATED
Property Use	4000 VACANT INDUS
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$400,396	\$400,396	\$0	\$400,396
Public Schools	\$400,396	\$400,396	\$0	\$400,396
Municipal	\$400,396	\$400,396	\$0	\$400,396
Other Districts	\$400,396	\$400,396	\$0	\$400,396

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
27022	0771	10	2019	WD	Qualified	Vacant	\$472,500
18577	1085	04	2008	WD	Qualified	Vacant	\$500,000
5021	0333	01	1987	TR	Unqualified	Vacant	\$100
4508	0722	01	1985	WD	Qualified		\$450,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
INB3	Ind Class 2	PD	0.0	0.0	SF SQUARE FEET	128,502.00	\$398,048
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	2.05	\$1,538
9400	RIGHT-OF-WAY	PD	0.0	0.0	AC ACREAGE	1.62	\$810

Legal Description

TR BEG 583.67 FT S AND 59.9 FT E OF NW COR OF SE 1/4 OF NW 1/4 RUN N 452.75 FT E 517.14 FT S 09 DEG 03 MIN 15 SEC W 458.46 FT W 444.98 FT TO POB AND COM AT NW COR OF SE 1/4 OF NW 1/4 S 00 DEG 04 MIN 07 SEC W 130.91 FT FOR POB S 89 DEG 55 MIN 29 SEC E 60.06 FT S 00 DEG 10 MIN 17 SEC W 114.852 FT S 00 DEG 04 MIN W 337.95 FT S 89 DEG 55 MIN 20 SEC E .19 FT S 00 DEG 05 MIN 34 SEC W 704.51 FT S 52 DEG 51 MIN 46 SEC W 74.95 FT AND N 00 DEG 04 MIN 07 SEC E 1202.60 FT TO POB

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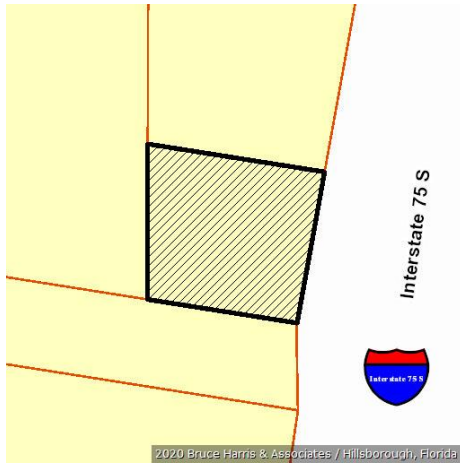
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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 068056-0350



Owner Information

Owner Name	HILLSBOROUGH COUNTY
Mailing Address	REAL ESTATE DEPT PO BOX 1110 TAMPA, FL 33601-1110
Site Address	WOODBERRY RD, BRANDON
PIN	U-20-29-20-ZZZ-000002-52440.0
Folio	068056-0350
Prior PIN	
Prior Folio	068056-0250
Tax District	U - UNINCORPORATED
Property Use	8600 COUNTY OWNED
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$237,687	\$226,207	\$226,207	\$0
Public Schools	\$237,687	\$237,687	\$237,687	\$0
Municipal	\$237,687	\$226,207	\$226,207	\$0
Other Districts	\$237,687	\$226,207	\$226,207	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
7894	0965	09	1995	DD	Unqualified	Vacant	\$100
5915	0192	03	1990	WD	Unqualified	Vacant	\$190,300

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	M	0.0	0.0	SF SQUARE FEET	53,579.00	\$237,687

Legal Description

TRACT BEG 524.09 FT W & S 09 DEG 39 MIN 44 SEC W 450.56 FT FROM NE COR OF NW 1/4 FOR POB CONT S 09 DEG 39 MIN 44 SEC W 216.46 FT TO NLY R/W OF RR THN N 81 DEG W 228.98 FT N 219.01 FT AND S 81 DEG E 265.18 FT TO POB

SMF 11B

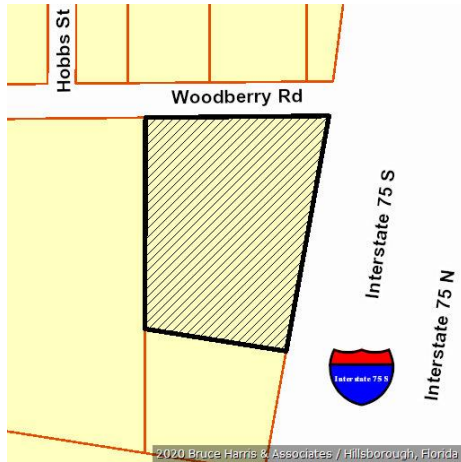
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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 068056-0250



Owner Information

Owner Name	WOODBERRY PROPERTIES LLC
Mailing Address	PO BOX 89188 TAMPA, FL 33689-0403
Site Address	10311 WOODBERRY RD, BRANDON
PIN	U-20-29-20-ZZZ-000002-52420.0
Folio	068056-0250
Prior PIN	
Prior Folio	068056-0200
Tax District	U - UNINCORPORATED
Property Use	4820 WAREHOUSE B
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,808,900	\$1,808,900	\$0	\$1,808,900
Public Schools	\$1,808,900	\$1,808,900	\$0	\$1,808,900
Municipal	\$1,808,900	\$1,808,900	\$0	\$1,808,900
Other Districts	\$1,808,900	\$1,808,900	\$0	\$1,808,900

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
16982	0745	08	2006	WD	Unqualified	Improved	\$100
14233	1822	07	2004	WD	Unqualified	Improved	\$100
12964	1434	07	2003	WD	Qualified	Vacant	\$225,000
5503	0472	09	1988	WD	Unqualified	Improved	\$1,100,000
5009	0981	01	1987	WD	Qualified	Vacant	\$700,000

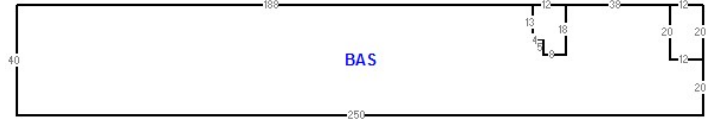
Building Information

Building 1

Type	87 PREFAB MTL BLD
Year Built	2004

Building 1 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	0	None
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Wall Height	14.00	
Units	9.0	
Stories	1.0	



Building 1 subarea

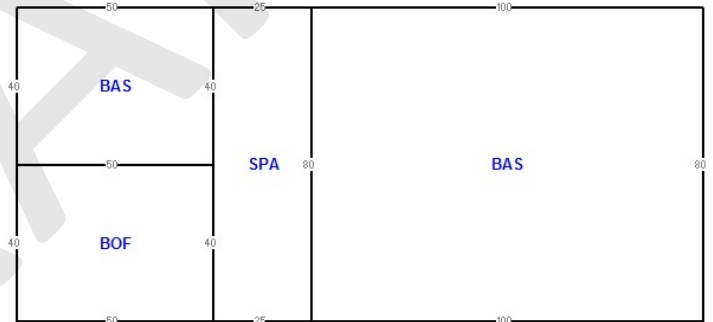
Area Type	Gross Area	Heated Area	Depreciated Value
BOF	240	240	\$9,959
BAS	9,564	9,564	\$248,042
BOF	196	196	\$8,144
Totals	10,000	10,000	\$266,145

Building 2

Type	87 PREFAB MTL BLD
Year Built	2004

Building 2 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	0	None
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Wall Height	14.00	
Units	15.0	
Stories	1.0	

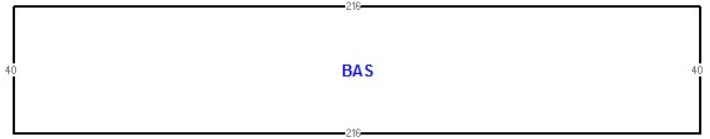


Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	8,000	8,000	\$223,288
SPA	2,000	2,000	\$66,986
BAS	2,000	2,000	\$55,822
BOF	2,000	2,000	\$89,315
Totals	14,000	14,000	\$435,411

Building 3**Type** 87 | PREFAB MTL BLD**Year Built** 2004**Building 3 Construction Details**

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	0	None
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Wall Height	14.00	
Units	9.0	
Stories	1.0	

**Building 3 subarea**

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	8,640	8,640	\$224,078
Totals	8,640	8,640	\$224,078

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	0	2005	0	0	954.00	\$7,537
0040	CONCRETE WALK	0	2005	0	0	5,164.00	\$26,316
0020	ASPHALT PAVING	0	2005	0	0	37,680.00	\$57,298

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	M	0.0	0.0	SF SQUARE FEET	124,581.00	\$530,154

Legal Description

PART OF NE1/4 OF NW1/4 LYING N OF SCL RR AND W OF I-75 LESS R/W AND LESS THAT PART DESC AS COM AT NE COR OF NW1/4 THN S 89 DEG 37 MIN 54 SEC W 524.09 FT THN S 09 DEG 39 MIN 44 SEC W 40.62 FT TO INTERS OF SLY R/W WOODBERRY DR AND WLY R/W I-75 THN S 89 DEG 37 MIN 54 SEC W ALG SD SLY R/W OF WOODBERRY DR 329.85 FT FOR POB THN S 00 DEG 08 MIN 49 SEC W 579.85 FT TO PT ON NLY R/W SCL RR THN N 81 DEG 04 MIN 09 SEC W ALG SD RR R/W 472.58 FT TO PT ON ELY BDRY OF NW1/4 OF NW1/4 SEC 20 THN N 00 DEG 04 MIN 42 SEC E ALG SD ELY BDRY 503.47 FT TO PT ON SLY R/W WOODBERRY DR THN N 89 DEG 37 MIN 54 SEC E ALG SD SLY R/W 467.66 FT TO POB & LESS TRACT BEG 524.09 FT W & S 09 DEG 39 MIN 44 SEC W 450.56 FT FROM NE COR OF NW 1/4 FOR POB CONT S 09 DEG 39 MIN 44 SEC W 216.46 FT TO NLY R/W OF RR THN N 81 DEG W 228.98 FT N 219.01 FT & S 81 DEG E 265.18 FT TO POB

**FRANKLIN PROPERTY AND DEVELOPMENT LLC
10311 WOODBERRY RD
TAMPA, FL 33619-8018**



**You can navigate within the map with your mouse.*

EPA Facility Information

This query was executed on APR-03-2020

RCRAInfo

HANDLER ID:	FLT120083571
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No NAICS Codes are available for the facility listed above.

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

<u>HANDLER TYPE</u>	<u>LAND DISPOSAL</u>	<u>INCINERATOR</u>	<u>BOILER AND OR INDUSTRIAL FURNACE</u>	<u>STORAGE</u>	<u>TREATM</u>
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<u>HANDLER TYPE</u>
Conditionally Exempt Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

Additional Information can be obtained from Resource Conservation and

Recovery Information

RCRAInfo

Search.

SMF 12/13A

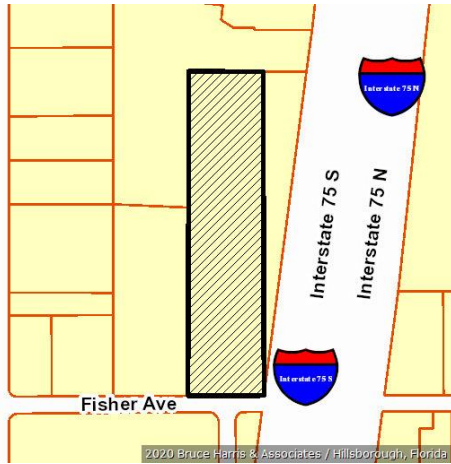
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Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 067952-0000



Owner Information

Owner Name	YORE JOHN W TRUSTEE
Mailing Address	800 ARBOR RD RED OAK, VA 23964-3510
Site Address	10350 FISHER AVE, TAMPA
PIN	U-17-29-20-ZZZ-000002-51080.0
Folio	067952-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	4870 FLEX SERV C
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$984,300	\$984,300	\$0	\$984,300
Public Schools	\$984,300	\$984,300	\$0	\$984,300
Municipal	\$984,300	\$984,300	\$0	\$984,300
Other Districts	\$984,300	\$984,300	\$0	\$984,300

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
9872	1230	10	1999	WD	Qualified	Vacant	\$80,000
8786	0348	11	1997	WD	Qualified	Vacant	\$74,000

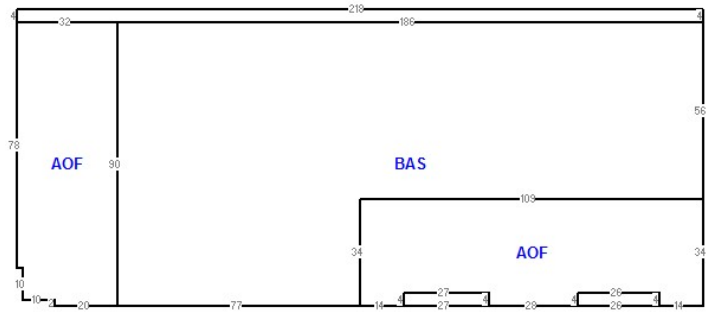
Building Information

Building 1

Type	87 PREFAB MTL BLD
Year Built	2000

Building 1 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	5	Concrete Block
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	2.0	
Wall Height	20.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	872		\$7,982
AOF	2,836	2,836	\$181,444
BAS	13,034	13,034	\$397,068
AOF	3,494	3,494	\$223,514
CAN	108		\$975
CAN	104		\$944
Totals	20,448	19,364	\$811,927

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	1	2001	0	0	50.00	\$395
0020	ASPHALT PAVING	1	2001	0	0	25,187.00	\$28,849
0520	CANOPY	1	2007	18	7	126.00	\$964

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	PD	0.0	0.0	SF SQUARE FEET	91,097.40	\$359,725
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	2.84	\$2,130

Legal Description

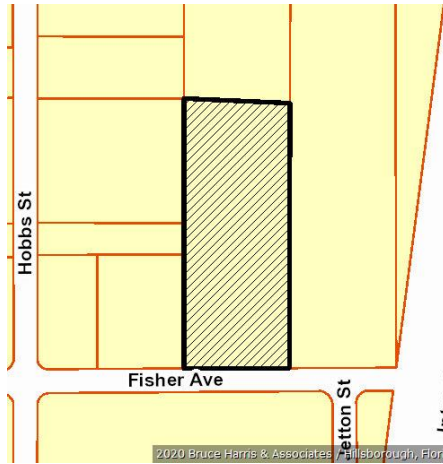
START AT A POINT 305 FT S AND 220.67 FT W OF CENTE OF SEC THN N 955 FT THN W 220.67 FT THN S 955 FT THN E 220.67 FT TO POB LESS ANY PORTION THEREOF LYING WITHIN R/W OF I-75



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 067950-0000



Owner Information

Owner Name JONES JOHN EDWARD
JONES DARLENE GILL

Mailing Address 10330 FISHER AVE
TAMPA, FL 33619-7838

Site Address 10330 FISHER AVE, TAMPA

PIN U-17-29-20-ZZZ-000002-51060.0

Folio 067950-0000

Prior PIN

Prior Folio 000000-0000

Tax District U - UNINCORPORATED

Property Use 0200 MH

Plat Book/Page /

Neighborhood 218002.00 | By-Pass Canal Area W of I-75 & E of 301

Subdivision ZZZ | UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$141,544	\$105,483	\$50,000	\$55,483
Public Schools	\$141,544	\$105,483	\$25,000	\$80,483
Municipal	\$141,544	\$105,483	\$50,000	\$55,483
Other Districts	\$141,544	\$105,483	\$50,000	\$55,483

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
10723	0493	04	2001	QC	Unqualified	Improved	\$100
2452	0741	01	1972		Qualified		\$14,500

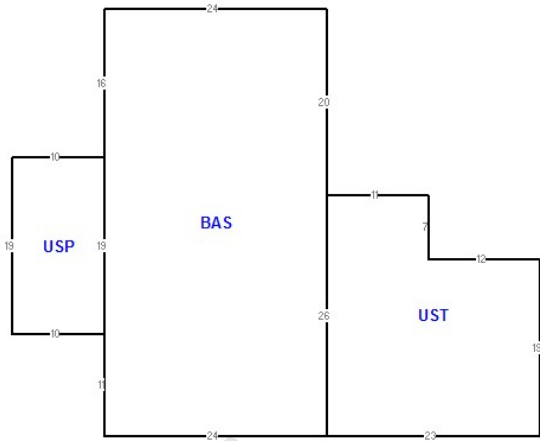
Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	1980

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	12	Metal
Roof Structure	3	Gable or Hip
Roof Cover	9	Metal
Interior Walls	4	Plywood paneling
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	3.0	
Bathrooms	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
UST	514		\$2,839
BAS	1,104	1,104	\$15,213
USP	190		\$661
Totals	1,808	1,104	\$18,713

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0440	GARAGE CB	1	1990	50	30	1,500.00	\$22,650
0651	SHED NOT PERMANENTLY AFFIXED	1	2002	0	0	1.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	1	2006	0	0	1.00	\$0
0470	OPEN SHED	1	2006	20	10	200.00	\$1,530
0470	OPEN SHED	1	2006	4	4	16.00	\$98

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	PD	0.0	0.0	AC ACREAGE	2.85	\$98,553

Legal Description

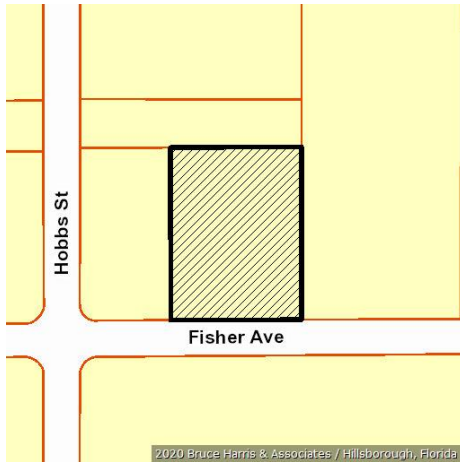
LOT BEG 305 FT S AND 441.34 FT W OF NE COR OF SW 1/4 AND RUN W 220.66 FT N 1605.45 FT E 307 FT S 300 FT E 355 FT S 350.05 FT W 441.34 FT AND S 955 FT TO BEG LESS I-75 BY-PASS AND LESS THE FOLLOWING BEG AT NE COR OF LOT 5 FISHERS FARM THN E 307.10 FT THN S 00 DEG 07 MIN 29 SEC W 300.00 FT THN E 302.11 FT TO PT ON CURVE THN SWLY ALONG ARC OF CURVE RADIUS OF 11285.16 FT C/B S 06 DEG 40 MIN 04 SEC W 352.29 FT THN N 89 DEG 55 MIN 09 SEC W 349.48 FT THN S 00 DEG 12 MIN 34 SEC W 401.80 FT THN N 87 DEG 12 MIN 39 SEC W 220.77 FT TO PT ON E BDRY OF LOT 4 OF SAID FISHERS FARMS THN N 00 DEG 12 MIN 34 SEC E ALONG SAID E BDRY OF FISHERS FARMS 1040.48 FT TO POB



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 067821-0000



Owner Information

Owner Name	WKW ASSOCIATES LLC
Mailing Address	5141 FORSYTH COMMERCE RD ORLANDO, FL 32807-6297
Site Address	10324 FISHER AVE, TAMPA
PIN	U-17-29-20-2D2-000000-00003.1
Folio	067821-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	4820 WAREHOUSE B
Plat Book/Page	26/1
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	2D2 FISHER'S FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$497,529	\$497,529	\$0	\$497,529
Public Schools	\$497,529	\$497,529	\$0	\$497,529
Municipal	\$497,529	\$497,529	\$0	\$497,529
Other Districts	\$497,529	\$497,529	\$0	\$497,529

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
20808	0318	11	2011	WD	Qualified	Improved	\$375,000
17607	1329	03	2007	WD	Qualified	Improved	\$225,000
14007	0868	04	2004	WD	Unqualified	Improved	\$225,000
13760	0866	04	2004	WD	Qualified	Improved	\$225,000
5187	0616	07	1987	WD	Qualified	Improved	\$80,000
2912	0755	01	1974		Qualified		\$14,500

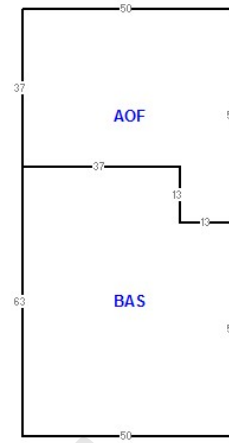
Building Information

Building 1

Type	87 PREFAB MTL BLD
Year Built	2011

Building 1 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	16.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
AOF	2,019	2,019	\$159,702
BAS	2,981	2,981	\$112,281
Totals	5,000	5,000	\$271,983

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	0	2012	0	0	9,155.00	\$29,530
0260	FENCE CL6	0	2002	0	0	420.00	\$3,318
0280	FENCE WOOD	0	2012	0	0	420.00	\$4,671

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	M	0.0	0.0	SF SQUARE FEET	42,253.00	\$188,026

Legal Description

FISHER'S FARMS S 235 FT OF E 181 FT OF LOT 3



Bob Henriquez Hillsborough County Property Appraiser

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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 067822-0000



2020 Bruce Harris & Associates / Hillsborough, Florida

Owner Information

Owner Name	RETAINING PROPERTIES LLC
Mailing Address	630 DRUID HILLS RD TAMPA, FL 33617-3861
Site Address	10306 FISHER AVE, TAMPA
PIN	U-17-29-20-2D2-000000-00003.2
Folio	067822-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	4000 VACANT INDUS
Plat Book/Page	26/1
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	2D2 FISHER'S FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$136,869	\$136,869	\$0	\$136,869
Public Schools	\$136,869	\$136,869	\$0	\$136,869
Municipal	\$136,869	\$136,869	\$0	\$136,869
Other Districts	\$136,869	\$136,869	\$0	\$136,869

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26249	0518	11	2018	WD	Qualified	Vacant	\$165,000
22092	0786	08	2013	WD	Qualified	Vacant	\$122,000
13492	0494	01	2004	QC	Unqualified	Improved	\$100
10807	1166	05	2001	WD	Unqualified	Improved	\$100
8260	0075	08	1996	QC	Unqualified	Improved	\$100
5925	1998	03	1990	CT	Unqualified	Improved	\$72,000
5876	0582	01	1990	CT	Unqualified	Improved	\$70,000

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	0	2002	0	0	640.00	\$5,056

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	M	0.0	0.0	SF SQUARE FEET	29,620.80	\$131,813

Legal Description

FISHER'S FARMS LOT BEG AT SW COR OF LOT 3 AND RUN E 126 FT N 235 FT W 126 FT AND S 235 FT TO POB

DRAFT

SMF 12/13B

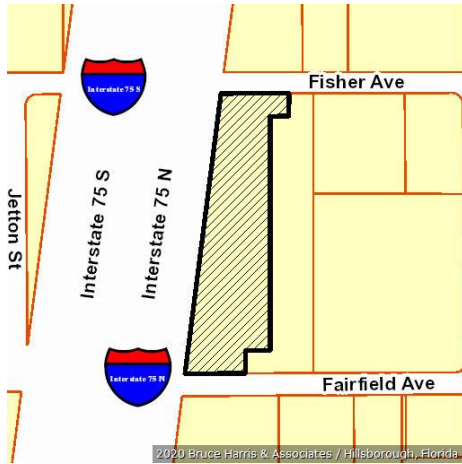
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 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 067856-0000



Owner Information

Owner Name	VILLAFRANCA ADELA VALDEZ
Mailing Address	2323 FISHER AVE BRANDON, FL 33510-8217
Site Address	2323 FISHER AVE, BRANDON
PIN	U-17-29-20-2D2-000000-00018.0
Folio	067856-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	26/1
Neighborhood	220001.00 Woodberry & Cottagewood Oaks Area
Subdivision	2D2 FISHER'S FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$121,533	\$119,899	\$0	\$119,899
Public Schools	\$121,533	\$121,533	\$0	\$121,533
Municipal	\$121,533	\$119,899	\$0	\$119,899
Other Districts	\$121,533	\$119,899	\$0	\$119,899

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
22724	1923	08	2014	WD	Unqualified	Improved	\$49,000
17123	1717	10	2006	TR	Qualified	Improved	\$191,000
13435	1453	12	2003	WD	Qualified	Vacant	\$45,000
9597	1090	04	1999	WD	Unqualified	Vacant	\$24,500
3492	1568	03	1979	AD	Qualified	Improved	\$28,000

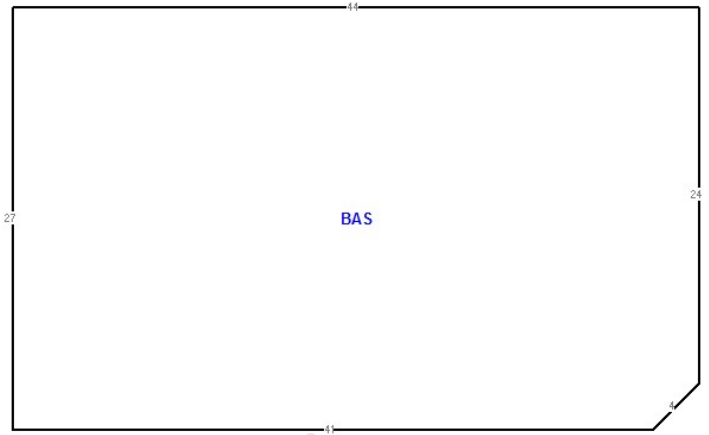
Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	2004

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	3	Gable or Hip
Roof Cover	9	Metal
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	0	None
Architectural Style	4	Basic 1-Story
Condition	2	Fair
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,184	1,184	\$35,016
Totals	1,184	1,184	\$35,016

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	1	2005	0	0	1.00	\$0
0460	CARPORT	1	2005	38	24	912.00	\$3,995
0470	OPEN SHED	1	2006	15	12	180.00	\$826
0050	CONCRETE PATIO	1	2006	20	24	480.00	\$1,484

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
99BH	Acreage Class 5	ASC-1	0.0	0.0	AC ACREAGE	1.59	\$79,838
9610	LOWLANDS	ASC-1	0.0	0.0	AC ACREAGE	0.50	\$375

Legal Description

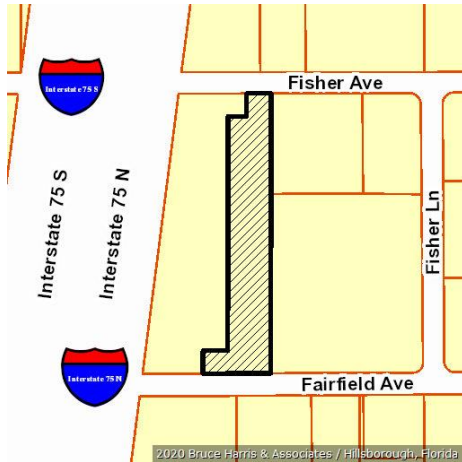
FISHER'S FARMS LOT 18 LESS I-75 BY-PASS AND LESS THAT PART DESC BEG AT NE COR OF LOT 18 RUN S 00 DEG 00 MIN 00 E 613.37 FT TO SE COR OF SD LOT THN S 89 DEG 55 MIN 46 SEC W 150 FT THN N 00 DEG 00 MIN 04 SEC W 50 FT THN N 89 DEG 55 MIN 47 SEC E 55 FT THN N 00 DEG 00 MIN 54 SEC W 513.68 FT THN S 89 DEG 58 MIN 17 SEC E 41 FT THN N 00 DEG 09 MIN 35 SEC E 49.91 FT TO N LINE OF SD LOT 18 THN N 89 DEG 56 MIN 35 SEC E 53.99 FT TO POB



Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
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Ph: (813) 272-6100

Folio: 067856-0050



Owner Information

Owner Name	OLIVERA ANGIE MARIETH
Mailing Address	2763 SPLASH DR EGLIN AFB, FL 32542-1444
Site Address	FAIRFIELD AVE, BRANDON
PIN	U-17-29-20-2D2-000000-00018.1
Folio	067856-0050
Prior PIN	U-17-29-20-2D2-000000-00018.0
Prior Folio	067856-0000
Tax District	U - UNINCORPORATED
Property Use	0000 VACANT RESIDENTIAL
Plat Book/Page	26/1
Neighborhood	220001.00 Woodberry & Cottagewood Oaks Area
Subdivision	2D2 FISHER'S FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$68,989	\$68,520	\$0	\$68,520
Public Schools	\$68,989	\$68,989	\$0	\$68,989
Municipal	\$68,989	\$68,520	\$0	\$68,520
Other Districts	\$68,989	\$68,520	\$0	\$68,520

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
22557	0559	04	2014	WD	Qualified	Vacant	\$50,300
20348	1794	02	2011	WD	Unqualified	Vacant	\$500
18347	1791	12	2007	WD	Unqualified	Vacant	\$40,000
16794	0486	06	2006	WD	Unqualified	Vacant	\$100
16669	0234	06	2006	WD	Qualified	Vacant	\$92,500
16003	1888	01	2006	QC	Unqualified	Vacant	\$100

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
99BH	Acreage Class 5	ASC-1	0.0	0.0	AC ACREAGE	1.36	\$68,989

Legal Description

FISHER'S FARMS PART OF LOT 18 DESC AS FOLLOWS: BEG AT NE COR OF LOT 18 RUN S 00 DEG 00 MIN 00 SEC E 613.37 FT TO SE COR OF SD LOT THN S 89 DEG 55 MIN 46 SEC W 150 FT THN N 00 DEG 00 MIN 04 SEC W 50 FT THN N 89 DEG 55 MIN 47 SEC E 55 FT THN N 00 DEG 00 MIN 54 SEC W 513.68 FT THN S 89 DEG 58 MIN 17 SEC E 41 FT THN N 00 DEG 09 MIN 35 SEC E 49.91 FT TO N LINE OF SD LOT 18 THN N 89 DEG 56 MIN 35 SEC E 53.99 FT TO POB

SMF 12/13C

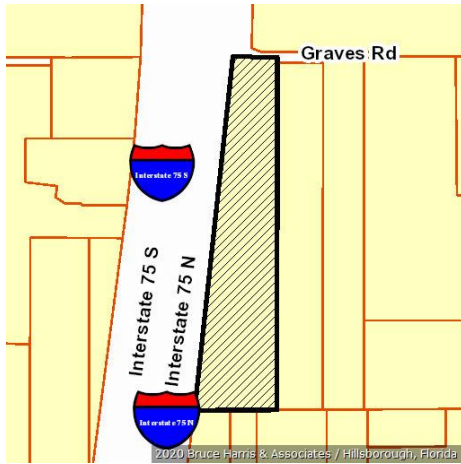
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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 067906-0000



Owner Information

Owner Name	LAFEVER ALLAN PETER
Mailing Address	2408 GRAVES RD BRANDON, FL 33510-8219
Site Address	2408 GRAVES RD, BRANDON
PIN	U-17-29-20-ZZZ-000002-50790.0
Folio	067906-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	220008.00 Lakewood Village West Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$341,591	\$103,277	\$100,000	\$3,277
Public Schools	\$341,591	\$103,277	\$25,000	\$78,277
Municipal	\$341,591	\$103,277	\$50,000	\$53,277
Other Districts	\$341,591	\$103,277	\$50,000	\$53,277

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21986	0011	06	2013	WD	Unqualified	Improved	\$100,000
13092	1294	08	2003	QC	Unqualified	Improved	\$100
3539	1935	07	1979	QC	Unqualified	Vacant	\$100

Building Information

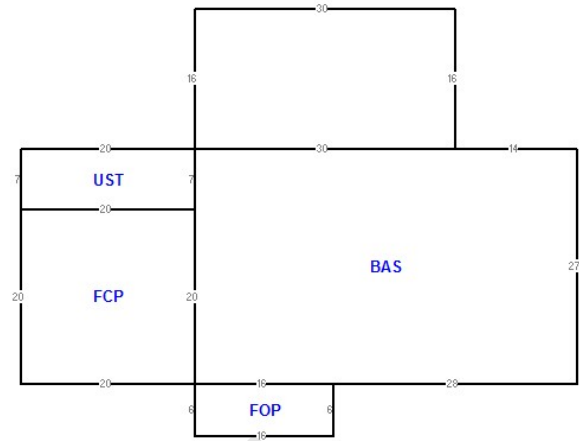
Building 1

Type 01 | SINGLE FAMILY

Year Built 1961

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	5	Wood
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	2.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,188	1,188	\$63,860
UEP	480		\$15,481
UST	140		\$3,010
FCP	400		\$5,375
FOP	96		\$1,290
Totals	2,304	1,188	\$89,016

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0640	UTILITY CB	1	1961	0	0	500.00	\$4,530
0651	SHED NOT PERMANENTLY AFFIXED	1	1961	0	0	1.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	1	1994	0	0	1.00	\$0
0460	CARPORT	1	2004	40	24	960.00	\$5,606

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994I	Acreage Class 4	ASC-1	0.0	0.0	AC ACREAGE	0.75	\$24,840
6110	IMPROVED PASTURE	ASC-1	0.0	0.0	AC ACREAGE	6.57	\$1,971

Legal Description

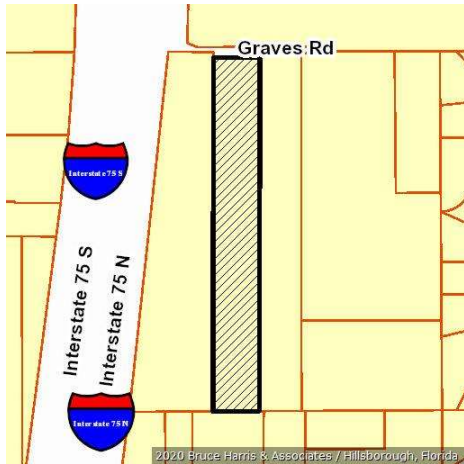
W 3/4 OF W 1/2 OF SW 1/4 OF NE 1/4 LESS I-75 BY-PASS AND LESS R/W FOR GRAVES RD TO NORTH



Bob Henriquez
Hillsborough County Property Appraiser

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 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 067907-0000



Owner Information

Owner Name	SPRINGER CHARLES E TRUSTEE SPRINGER LOUISE W TRUSTEE
Mailing Address	PO BOX 2750 BRANDON, FL 33509-2750
Site Address	GRAVES RD, BRANDON
PIN	U-17-29-20-ZZZ-000002-50800.0
Folio	067907-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0000 VACANT RESIDENTIAL
Plat Book/Page	/
Neighborhood	220008.00 Lakewood Village West Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$163,875	\$163,875	\$0	\$163,875
Public Schools	\$163,875	\$163,875	\$0	\$163,875
Municipal	\$163,875	\$163,875	\$0	\$163,875
Other Districts	\$163,875	\$163,875	\$0	\$163,875

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
23899	1634	01	2016	WD	Unqualified	Vacant	\$100
23899	1630	01	2016	WD	Unqualified	Vacant	\$100
18321	0713	12	2007	WD	Unqualified	Vacant	\$100
9940	0674	11	1999	WD	Qualified	Vacant	\$77,500
9158	0057	06	1998	QC	Unqualified	Vacant	\$9,700
9158	0056	06	1998	QC	Unqualified	Vacant	\$9,700
9158	0054	09	1988	WD	Unqualified	Vacant	\$100

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9941	Acreage Class 4	PD	0.0	0.0	AC ACREAGE	4.00	\$163,200
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	0.90	\$675

Legal Description

E 1/4 OF W 1/2 OF S W 1/4 OF N E 1/4 LESS N 25 FT FOR R/W

FPC 12/13L

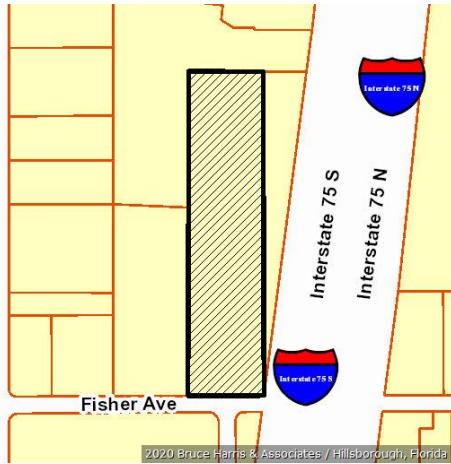
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 067952-0000



Owner Information

Owner Name	YORE JOHN W TRUSTEE
Mailing Address	800 ARBOR RD RED OAK, VA 23964-3510
Site Address	10350 FISHER AVE, TAMPA
PIN	U-17-29-20-ZZZ-000002-51080.0
Folio	067952-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	4870 FLEX SERV C
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$984,300	\$984,300	\$0	\$984,300
Public Schools	\$984,300	\$984,300	\$0	\$984,300
Municipal	\$984,300	\$984,300	\$0	\$984,300
Other Districts	\$984,300	\$984,300	\$0	\$984,300

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
9872	1230	10	1999	WD	Qualified	Vacant	\$80,000
8786	0348	11	1997	WD	Qualified	Vacant	\$74,000

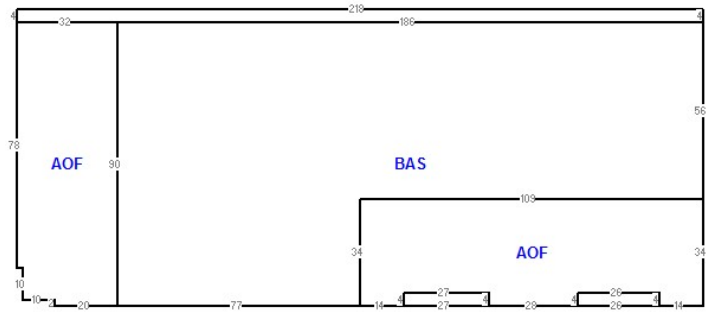
Building Information

Building 1

Type	87 PREFAB MTL BLD
Year Built	2000

Building 1 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	5	Concrete Block
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	2.0	
Wall Height	20.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	872		\$8,666
AOF	2,836	2,836	\$196,996
BAS	13,034	13,034	\$431,102
AOF	3,494	3,494	\$242,673
CAN	108		\$1,058
CAN	104		\$1,025
Totals	20,448	19,364	\$881,520

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	1	2001	0	0	50.00	\$395
0020	ASPHALT PAVING	1	2001	0	0	25,187.00	\$36,124
0520	CANOPY	1	2007	18	7	126.00	\$964

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD0	Comm Class 4	PD	0.0	0.0	SF SQUARE FEET	91,097.40	\$395,253
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	2.84	\$2,130

Legal Description

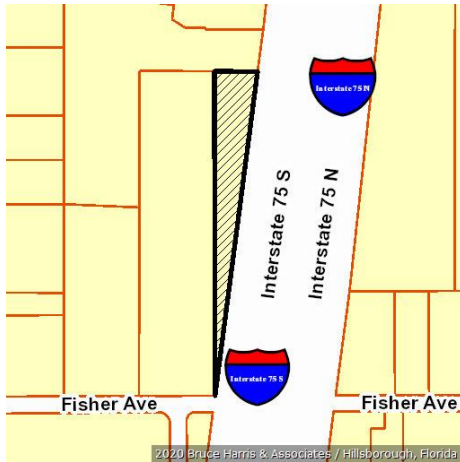
START AT A POINT 305 FT S AND 220.67 FT W OF CENTE OF SEC THN N 955 FT THN W 220.67 FT THN S 955 FT THN E 220.67 FT TO POB LESS ANY PORTION THEREOF LYING WITHIN R/W OF I-75



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 067953-0000



Owner Information

Owner Name	GARDNER JOHN L LIFE ESTATE GARDNER THELMA GARDNER LIFE ESTATE
Mailing Address	1011 E ROBSON ST TAMPA, FL 33604-4342
Site Address	10356 FISHER AVE, BRANDON
PIN	U-17-29-20-ZZZ-000002-51090.0
Folio	067953-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0200 MH
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$79,979	\$79,979	\$0	\$79,979
Public Schools	\$79,979	\$79,979	\$0	\$79,979
Municipal	\$79,979	\$79,979	\$0	\$79,979
Other Districts	\$79,979	\$79,979	\$0	\$79,979

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
6941	1641	04	1993	QC	Unqualified	Vacant	\$100
5349	0914	03	1988	QC	Unqualified	Vacant	\$100

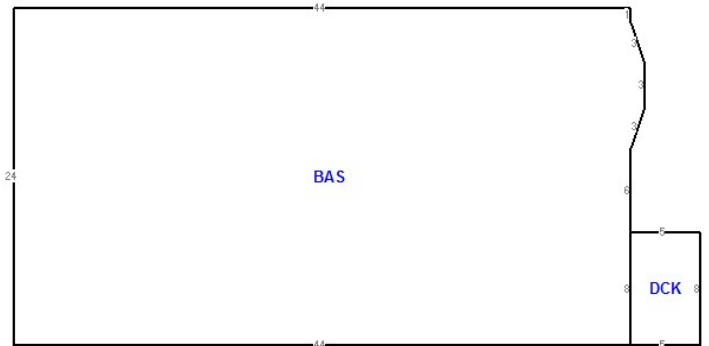
Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	1995

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,062	1,062	\$25,835
DCK	40		\$146
Totals	1,102	1,062	\$25,981

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	AS-1	0.0	0.0	AC ACREAGE	1.45	\$53,998

Legal Description

LOT BEG AT NE COR OF SW 1/4 AND RUN S 305 FT W 220.67 FT N 955 FT E 220.67 FT AND S 650 FT TO BEG LESS I-75 BY-PASS

FPC 12/13R

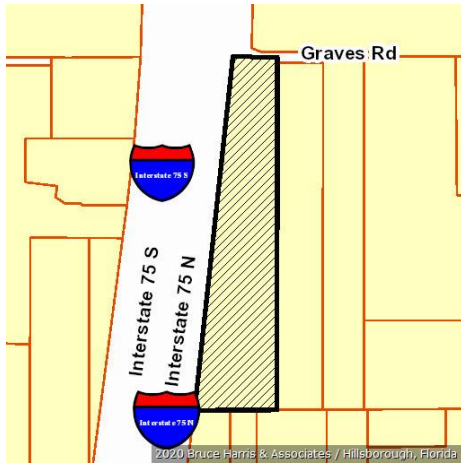
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 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 067906-0000



Owner Information

Owner Name	LAFEVER ALLAN PETER
Mailing Address	2408 GRAVES RD BRANDON, FL 33510-8219
Site Address	2408 GRAVES RD, BRANDON
PIN	U-17-29-20-ZZZ-000002-50790.0
Folio	067906-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	220008.00 Lakewood Village West Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$341,591	\$103,277	\$100,000	\$3,277
Public Schools	\$341,591	\$103,277	\$25,000	\$78,277
Municipal	\$341,591	\$103,277	\$50,000	\$53,277
Other Districts	\$341,591	\$103,277	\$50,000	\$53,277

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21986	0011	06	2013	WD	Unqualified	Improved	\$100,000
13092	1294	08	2003	QC	Unqualified	Improved	\$100
3539	1935	07	1979	QC	Unqualified	Vacant	\$100

Building Information

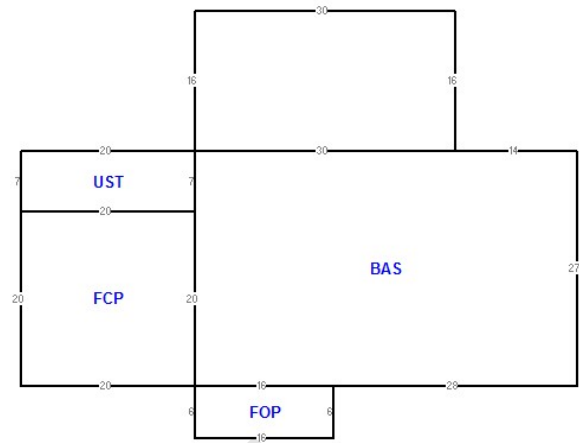
Building 1

Type 01 | SINGLE FAMILY

Year Built 1961

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	5	Wood
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	2.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,188	1,188	\$63,860
UEP	480		\$15,481
UST	140		\$3,010
FCP	400		\$5,375
FOP	96		\$1,290
Totals	2,304	1,188	\$89,016

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0640	UTILITY CB	1	1961	0	0	500.00	\$4,530
0651	SHED NOT PERMANENTLY AFFIXED	1	1961	0	0	1.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	1	1994	0	0	1.00	\$0
0460	CARPORT	1	2004	40	24	960.00	\$5,606

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994I	Acreage Class 4	ASC-1	0.0	0.0	AC ACREAGE	0.75	\$24,840
6110	IMPROVED PASTURE	ASC-1	0.0	0.0	AC ACREAGE	6.57	\$1,971

Legal Description

W 3/4 OF W 1/2 OF SW 1/4 OF NE 1/4 LESS I-75 BY-PASS AND LESS R/W FOR GRAVES RD TO NORTH

FPC 14A

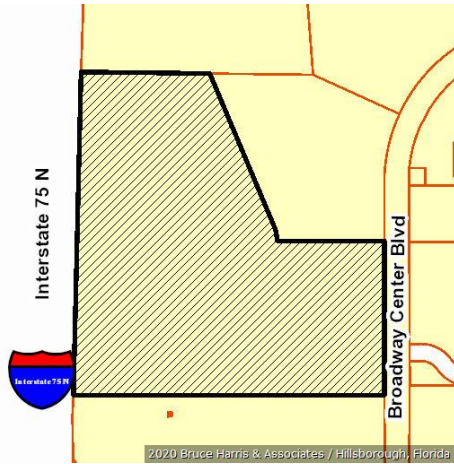
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065681-3050



Owner Information

Owner Name	KINGSWERE FURNITURE LLC
Mailing Address	1 ASHLEY WAY ARCADIA, WI 54612-1218
Site Address	BROADWAY CENTER BLVD, BRANDON
PIN	U-08-29-20-28N-000000-00001.4
Folio	065681-3050
Prior PIN	U-08-29-20-28N-000000-00001.2
Prior Folio	065681-3000
Tax District	U - UNINCORPORATED
Property Use	1000 VACANT COMM
Plat Book/Page	1/131
Neighborhood	220008.00 Lakewood Village West Area
Subdivision	28N HOBBS W O SUBDIVISION

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$2,220,581	\$2,210,007	\$0	\$2,210,007
Public Schools	\$2,220,581	\$2,220,581	\$0	\$2,220,581
Municipal	\$2,220,581	\$2,210,007	\$0	\$2,210,007
Other Districts	\$2,220,581	\$2,210,007	\$0	\$2,210,007

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
23779	0199	12	2015	QC	Unqualified	Vacant	\$100
18314	1406	10	2007	WD	Unqualified	Vacant	\$100
18218	0516	10	2007	WD	Unqualified	Vacant	\$5,680,000
16122	0042	01	2006	WD	Unqualified	Vacant	\$3,867,100
13854	1156	05	2004	WD	Unqualified	Vacant	\$125,600

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COC3	Comm Class 3	IPD-1	0.0	0.0	SF SQUARE FEET	641,638.00	\$2,220,581

Legal Description

HOBBS W O SUBDIVISION A PORTION OF LOTS 1 AND 2 FURTHER DESCRIBED AS COMM AT SE COR OF SEC 8 THN ALONG S BDRY OF SAID SEC 8 W 1326.89 FT THN S 89 DEG 59 MIN 30 SEC W 35.68 FT THN N 00 DEG 04 MIN 15 SEC E 834.58 FT THN N 89 DEG 55 MIN 45 SEC W 35.00 FT TO POB THN S 00 DEG 04 MIN 15 SEC W 449.62 FT THN S 89 DEG 59 MIN 30 SEC W 906.13 FT TO ELY R/W LINE OF I-75 THN ALONG SAID R/W LINE N 00 DEG 17 MIN 29 SEC E 386.64 FT THN N 02 DEG 05 MIN 52 SEC E 556.93 FT THN S 89 DEG 04 MIN 33 SEC E 367.75 FT THN S 22 DEG 46 MIN 54 SEC E 528.33 FT THN S 89 DEG 55 MIN 45 SEC E 312.05 FT TO POB

SMF 14B

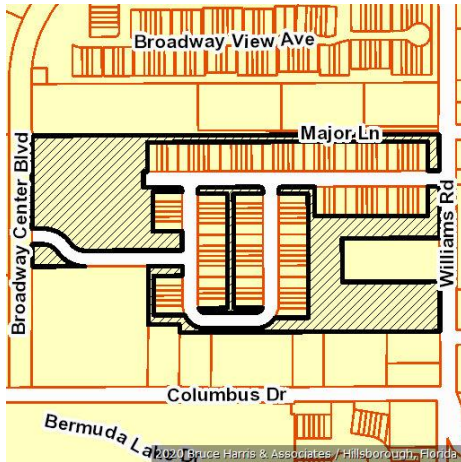
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065683-6288



Owner Information

Owner Name	WILLIAMS ROAD BRANDON LLC
Mailing Address	1409 TECH BLVD STE 1 TAMPA, FL 33619-7830
Site Address	2213 LACEFLOWER DR, BRANDON
PIN	U-08-29-20-B9R-000000-A0000.0
Folio	065683-6288
Prior PIN	U-08-29-20-ZZZ-000002-40670.0
Prior Folio	065594-0000
Tax District	U - UNINCORPORATED
Property Use	0903 TOWNHOUSE HOA
Plat Book/Page	136/268
Neighborhood	220008.00 Lakewood Village West Area
Subdivision	B9R TIMBERS AT WILLIAMS LANDING TOWNHOMES

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$100	\$100	\$0	\$100
Public Schools	\$100	\$100	\$0	\$100
Municipal	\$100	\$100	\$0	\$100
Other Districts	\$100	\$100	\$0	\$100

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26389	1368	02	2019	WD	Unqualified	Vacant	\$1,122,000

Building Information

Building 1	
Type	24 TOWNHOUSE
Year Built	

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9990	Common Area	PD	0.0	0.0	LT LOTS	1.00	\$100

Legal Description

TIMBERS AT WILLIAMS LANDING TOWNHOMES TRACTS A THRU O

DRAFT



Related Topics: Envirofacts

FRS

FRS Facility Detail Report

PRESERVE AT SABAL PARK APARTMENTS PHASE 1

EPA Registry Id:
110070545676
10920 E BROADWAY AVE
SEFFNER, FL 33584

Facility Registry Service Links:

- Facility Registry Service (FRS) Overview
- FRS Facility Query
- FRS Organization Query
- EZ Query
- FRS Physical Data Model
- FRS Geospatial Model

[Report an Error](#)



Environmental Interests

Information System	System Facility Name	Information System Id/Report Link	Environmental Interest Type	Data Source	Last Up Date
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (ICIS-NPDES)	PRESERVE AT SABAL PARK APARTMENTS PHASE 1	FLR20CQ47	STORM WATER CONSTRUCTION	ICIS	
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (ICIS-NPDES)	PRESERVE AT SABAL PARK APARTMENTS PHASE 1	FLR20CQ47	ICIS-NPDES NON-MAJOR	ICIS	

Additional EPA Reports: [MyEnvironment](#) [Enforcement and Compliance](#) [Site Demographics](#) [Facility Coordinates Viewer](#) [Environmental Justice Map Viewer](#) [Watershed Report](#)

Standard Industrial Classification Codes (SIC)

No SIC Codes returned.

Facility Codes and Flags

EPA Region: 04
Duns Number:
Congressional District Number: 15
Legislative District Number:
HUC Code/Watershed: 03100206 / TAMPA BAY
US Mexico Border Indicator:
Federal Facility:
Tribal Land:

National Industry Classification System Cod

No NAICS Codes returned.

Facility Mailing Addresses

Affiliation Type	Delivery Point	City Name	State
MAILING ADDRESS	5300 W CYPRESS ST	TAMPA	FL

Alternative Names

No Alternative Names returned.

Contacts

Affiliation Type	Full Name	Office Phone	Inform
PRIMARY CONTACT	WARREN HUNT	7274411559	NPDES

Organizations

Affiliation Type	Name	DUNS Number	Information System	Mailing Address
MAILING ADDRESS	BLUE BROADWAY, LLC		NPDES	View

Query executed on: MAR-25-2020

SMF 15/16

DRAFT

DATA ENTERED

JAN 29 1991

BY: *[Signature]*



POST OFFICE BOX 127 • GREENVILLE, S. C. 29602-0127 • TELEPHONE (803) 292-9550

RECEIVED
D.E.R.

91 JAN 23 AM 10:12

STORAGE TANK
REGISTRATION

January 15, 1991

Motor Fuel Tank Registration
2600 Blainstone Road
Tallahassee, FL. 32399-2405

Re: ID # 298625752
Invoice # 298625752-001771

Gentlemen:

I would like to advise your office that the two fuel tanks that our company had at the above referenced project site were removed in April, 1985. We are a highway/heavy contractor who had temporary above ground storage facilities at this location at a period of time that spanned 1982-1985 while I-275 was being paved. If this registration fee is transferrable to another project site, please advise. Also, there is no information as to what this fee is for-is it possible that we could get an explanation also.

Thank you for your assistance.

Sincerely,
BALLENGER PAVING CO., INC.

[Signature: Sherry L. Will]
Sherry L. Will
Safety Director

cc: File

Ballenger

626-5606

(P)

Department of Environmental Regulation

Stationary Tank Registration/Notification Form

Form 17-1.218(2)

Ballenger Corporation
P.O. Box 2050
Seffner, FL 33584

FL 00890

(Make corrections to name and addresses here)

1. Facility Addressee name _____

Facility address _____

Mailing address _____

FACILITY LOCATION

I-75 & E. Buffalo Avenue

CITY: TAMPA FL1

FL 00890 33610

Use this form to comply with the following requirements of the Stationary Tank Rule Chapter 17-61, Florida Administrative Code.

- Each owner or operator shall register the following with the department:
 - All existing facilities by December 31 1984 (Questions 1-19)
 - All new storage systems or facilities at least 10 days prior to the start of installation of tanks except in the cases of emergency replacement (Questions 1-19)
 - A non-pollutant containing installation which is to be converted to a facility at least 10 days prior to the placement of pollutants in such a facility (Questions 1-19)
- Each owner or operator shall notify the department of the following:
 - All storage systems within 10 days of abandonment (Questions 1, 12, 16, 20)
 - Facility sale within 10 days of sale. Notice shall be made by the seller (Answer questions 1, 7, and 11. Question 7 about the new owner)
 - Retrofitting within 10 days of completion (Questions 1-19)
- You may notify the department of a change of operator (Questions 1-6)

Agency Use Only

(N) C

PLEASE PRINT OR TYPE

2 Facility number (DER will provide this number) N/A 298625752 Date 1/28/85

4 Federal Employment Identification (number used to file IRS forms) 57-0297425

5 County Code (see enclosed letter) 29

6 Operator of facility Ballenger Corporation
 Effective date (only for change of operator) *(1/28/85) Telephone number 813 626-5606

7 Company/Person owning tanks and piping Ballenger Corporation
 Address P.O. Box 127, Greenville, S.C. 29602
 Contact person Olif Ellison Telephone number 813 988-9635
 Effective date (only for change of owner) N/A

8 How many tanks at this location have an individual storage capacity of greater than 550 gallons and store vehicular fuel made from petroleum?
0 Underground 2 Aboveground

9 Facility location Latitude _____ Longitude _____ Section _____ Township _____ Range see attach.

- This information is listed on property deeds, and in the offices of the property appraiser and tax assessor
- 10 Sketch the facility on a separate page showing the APPROXIMATE location of buildings, tanks, and dispensers
 A. Draw a line from tank to dispenser to show which are connected by piping.
 B. Label each tank as Tank 1, Tank 2, etc.
 C. Write the date and your facility number, if known, or name and address exactly as it appears above.
 D. Keep a copy of your sketch.

REFER TO TANKS BY THESE LABELS IN ANY COMMUNICATION WITH THE DEPARTMENT DESCRIBE PIPING BY THE NUMBER OF THE TANK IT IS ATTACHED TO

11 TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL INFORMATION SUBMITTED ON THIS FORM IS TRUE ACCURATE, AND COMPLETE

Olif Ellison
Name of owner, operator or authorized representative

Olif Ellison
Signature of owner, operator or authorized representative

KEEP A COPY OF THIS FORM FOR YOUR RECORDS

FEB 18 1985

MAIL TO: DER Stationary Tank Registration
2600 Blair St. Road
Room 603
Tallahassee, Florida 32301



DRAFT

DER FORM 17-1.218(2) 9/1/84 (2/2)

INSTRUCTIONS: Use one row across for each tank counted in question 8. The tank number must agree with the number on the sketch of your facility. A new tank installed where a registered tank was removed should be given the number of the removed tank with an R and a number added. Example. Tank 3R1 is first replacement for tank 3. It is in the same place where tank 3 was. Tank 3R2 is the second replacement for tank 3. Attach extra pages if necessary. Write your facility number, if known, or name and address, exactly as it appears on the front of the form, on all extra pages.

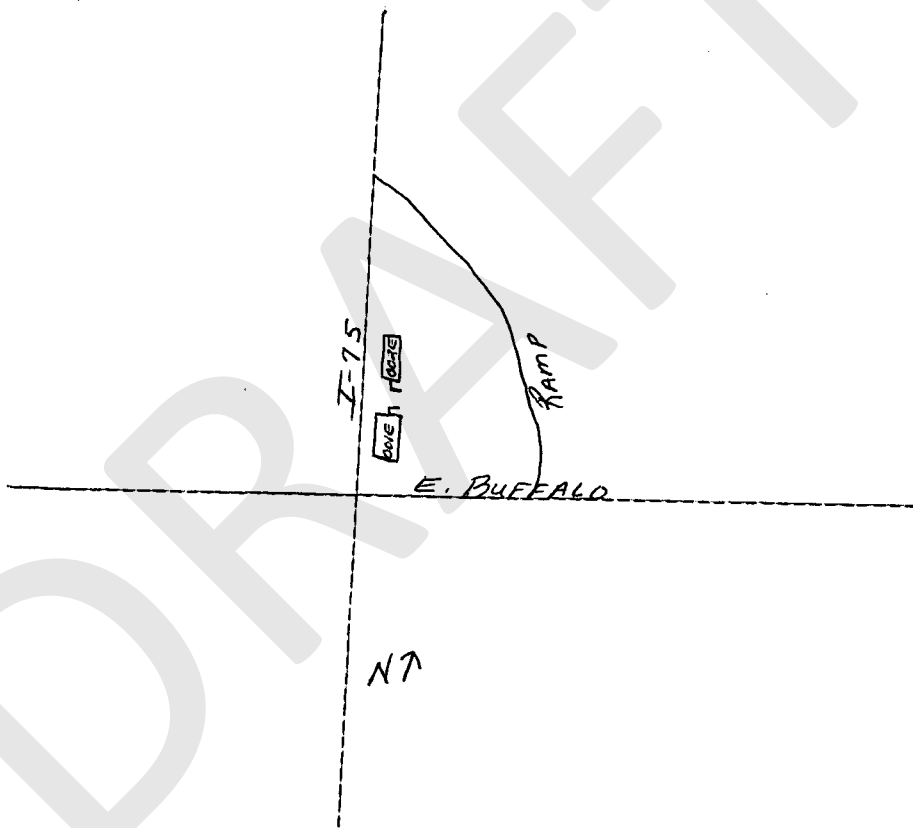
(12) Tank Number	(13) Tank Size in Gallons	(14) Tank Contents (see List 14 below)	(15) Tank Installation Date Month/Year (put X if unknown)	(16) Underground or Aboveground Tank (write U or A)	(17) Tank Construction Specifics (see List 17U or 17A below)	(18) Integral Piping System Construction Specifics (see List 18 below)	(19) Monitoring System Type (see List 19)	(20) Tank Disposal Method (see List 20)
001E	10,000	Diesel D	1/28/85	A	S, W, R,	B	I X	temp location
002E	6,000	Unleaded gas B	1/28/85	A	S, W, P	B	I X	temp location
								tanks to be re-
								moved at end of
								project

ENTER THE LETTERS WHICH APPLY TO EACH TANK IN THE BOXES ABOVE. WRITE ALL THAT APPLY.

List 14	List 17U UNDERground Tanks	List 17A ABOVEground Tanks	List 18	List 19	List 20
Tank contents are: A. leaded gasoline. B. unleaded gasoline. C. Alcohol enriched gasoline. D. diesel fuel. E. aviation fuel. Z. other.	Underground tank: A. has overfill protection. B. is interior lined. C. is painted/asphalted steel. D. is of unknown type. E. is fiberglass type. F. is fiberglass-clad steel. G. is sacrificial anode type. H. is impressed current type. I. is double walled. J. is concrete. K. is in secondary containment. N. is or has none of the above.	Aboveground tank: O. has overfill protection. P. is surrounded by impervious dike. Q. is surrounded by earth dike. R. rests on an impervious base. S. rests on a earth/gravel base. T. has interior lined bottom. U. is cathodically protected. V. is built of/coated with corrosion resistant materials. W. is supported above the soil. Z. is or has none of the above.	Integral Piping System has: A. no parts in contact with the soil. Parts contacting the soil which are: B. unprotected metal. C. built of corrosion resistant materials. D. corrosion resistant coated. E. cathodically protected. F. double-walled. G. within a secondary containment. H. interior lined. M. none of the above.	Monitoring system is: A. automatically sampled well(s). B. manually sampled well(s). C. groundwater monitoring plan. D. SPCC plan. E. well/detector in secondary containment. F. in-ground detector. G. within walls of double-walled tank. H. continuous in piping. I. not required. N. none of the above.	Tank disposal method. A. Filling. B. Removal. C. Retrofitting. F. Other.

BALLENGER CORPORATION

Tanks are located in the northeast quadrant of the intersection of East Buffalo Avenue & new I-75, Tampa, Fl. 33610 at a temporary job site.



SMF 17A

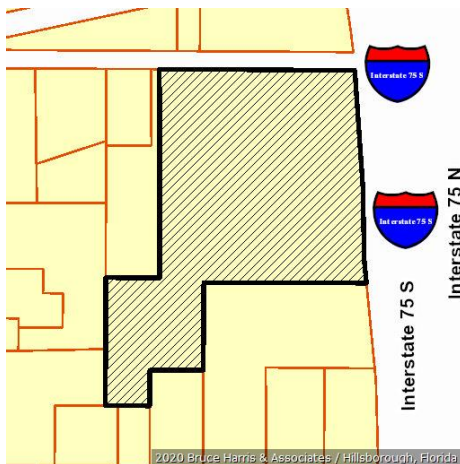
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065057-0000



Owner Information

Owner Name	PATRICK FREDERICK LAVERNE
Mailing Address	10404 TANNER RD TAMPA, FL 33610-9673
Site Address	E OLD HILLSBOROUGH AVE, TAMPA
PIN	U-05-29-20-ZZZ-000002-37110.0
Folio	065057-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$232,645	\$2,856	\$0	\$2,856
Public Schools	\$232,645	\$2,856	\$0	\$2,856
Municipal	\$232,645	\$2,856	\$0	\$2,856
Other Districts	\$232,645	\$2,856	\$0	\$2,856

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
8380	0465	11	1996	AD	Unqualified	Vacant	\$100

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
6110	IMPROVED PASTURE	AR	0.0	0.0	AC ACREAGE	9.52	\$2,856

Legal Description

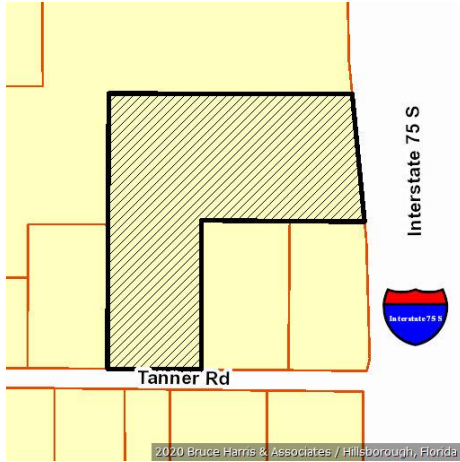
SEC 5-29-20 W 1/2 OF SW 1/4 OF NW 1/4 OF NE 1/4 LESS TRACT BEG 148.2 FT E AND 9.90 FT N OF SW COR OF NW 1/4 OF NE 1/4 RUN N 185.32 FT E 155 FT S 183.33 FT TO NLY R/W OF TANNER RD AND W 155.01 FT TO BEG AND THAT PART OF NE 1/4 OF NW 1/4 DESC AS BEG AT NE COR AND RUN W 689.4 FT S 713.8 FT E 342.1 FT S 275.05 FT E 354 FT AND N TO BEG LESS THAT PT LYING W/I PARCEL DESC AS BEG 354 W OF SE COR OF NE 1/4 OF NW 1/4 CONT W 200 FT N 620.47 FT THN E 526.48 FT MOL TO WLY R/W LINE OF I-75 BYPASS THN S 05 DEG 56 MIN 38 SEC E ALONG R/W 257.7 FT THN ALONG ARC OF CURVE TO RT CHD BRG S 01 DEG 42 MIN 51 SEC E 18.88 FT THN W 355.64 FT AND S TO BEG---LESS I-75 BYPASS MILDRED PATRICK DIED 5/6/89 J F PATRICK DEC'D 7-16-95 PROBATE 95-2457 OR 8460-1154 CORRECTING 8380-465



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 065057-1000



Owner Information

Owner Name	PATRICK LA VERNE PATRICK BARBARA
Mailing Address	10404 TANNER RD TAMPA, FL 33610-9673
Site Address	10404 TANNER RD, TAMPA
PIN	U-05-29-20-ZZZ-000002-37130.0
Folio	065057-1000
Prior PIN	
Prior Folio	065057-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$320,871	\$127,212	\$50,000	\$77,212
Public Schools	\$320,871	\$127,212	\$25,000	\$102,212
Municipal	\$320,871	\$127,212	\$50,000	\$77,212
Other Districts	\$320,871	\$127,212	\$50,000	\$77,212

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3764	1142	02	1981	WD	Unqualified	Vacant	\$10,000

Building Information

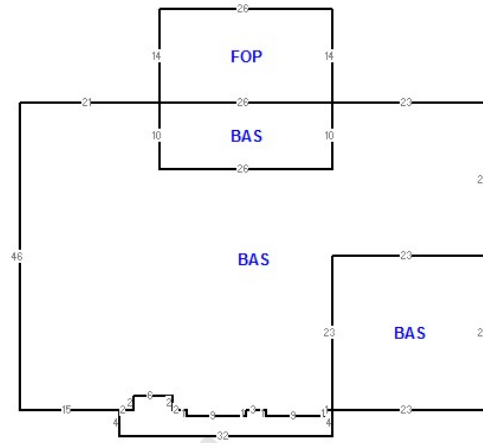
Building 1

Type 01 | SINGLE FAMILY

Year Built 1981

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	5	Contemporary 1-Story
Condition	3	Average
Bedrooms	5.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,437	2,437	\$125,235
FOP	364		\$4,676
BAS	260	260	\$13,361
FOP	122		\$1,542
BAS	529	529	\$27,185
Totals	3,712	3,226	\$171,999

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0440	GARAGE CB	1	1986	0	0	480.00	\$7,248
0460	CARPORT	1	2014	44	28	1,232.00	\$7,339
0460	CARPORT	1	2014	44	12	528.00	\$3,793

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
993I	Acreage Class 3	AR	0.0	0.0	AC ACREAGE	1.00	\$32,300
6110	IMPROVED PASTURE	AR	0.0	0.0	AC ACREAGE	3.04	\$912

Legal Description

THAT PT OF NE 1/4 OF NW 1/4 DESC AS BEG 354 FT W OF SE COR RUN W 200 FT THN N 620.47 FT E 526.48 FT MOL TO WLY R/W LINE OF I-75 BYPASS THN S 05 DEG 56 MIN 38 SEC E ALONG R/W 257.70 FT THN ALONG ARC OF CURVE TO RT CHD BRG S 01 DEG 42 MIN 51 SEC E 18.88 FT THN W 355.64 FT AND S TO BEG LESS PARCEL DESC AS BEG 354 FT W OF SE COR OF NE 1/4 OF NW 1/4 CONT W 50 FT N 564.3 FT W 150 FT N 50 FT E 200 FT AND S TO BEG

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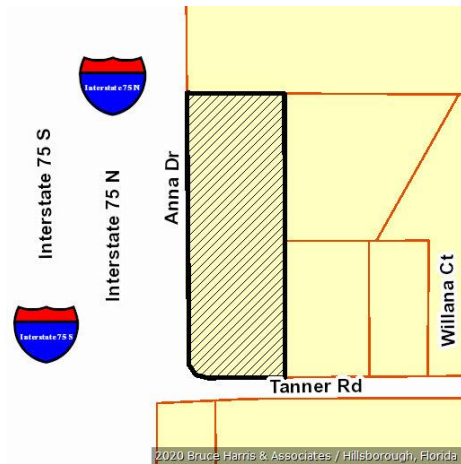
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Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 065056-0000



Owner Information

Owner Name	PATRICK FREDERICK L PATRICK BARBARA J
Mailing Address	10404 TANNER RD TAMPA, FL 33610-9673
Site Address	10606 TANNER RD, TAMPA
PIN	U-05-29-20-ZZZ-000002-37100.0
Folio	065056-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	220011.00 NW Area of 579 & MLK E of I75
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$154,953	\$93,177	\$0	\$93,177
Public Schools	\$154,953	\$93,177	\$0	\$93,177
Municipal	\$154,953	\$93,177	\$0	\$93,177
Other Districts	\$154,953	\$93,177	\$0	\$93,177

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
4081	0692	03	1983	AD	Unqualified	Vacant	\$30,000

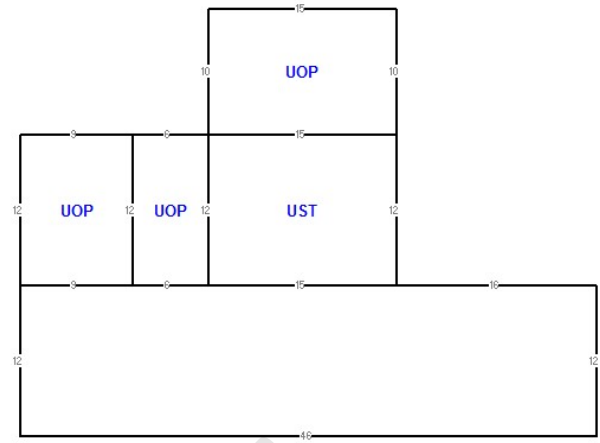
Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	1980

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	12	Metal
Roof Structure	1	Flat
Roof Cover	1	Minimum
Interior Walls	4	Plywood paneling
Interior Flooring	8	Carpet
Heat/AC	1	Non-Ducted
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	552	552	\$5,857
UST	180		\$764
UOP	150		\$233
UOP	72		\$117
UOP	108		\$170
Totals	1,062	552	\$7,141

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0470	OPEN SHED	1	1996	15	12	180.00	\$826
0651	SHED NOT PERMANENTLY AFFIXED	1	1996	0	0	1.00	\$0
0680	BARN POLE	0	2001	0	0	2,800.00	\$7,952
0460	CARPORT	0	2014	14	20	280.00	\$1,226
0651	SHED NOT PERMANENTLY AFFIXED	0	2014	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994I	Acreage Class 4	AR	0.0	0.0	AC ACREAGE	1.75	\$75,600
6110	IMPROVED PASTURE	AR	0.0	0.0	AC ACREAGE	1.44	\$432

Legal Description

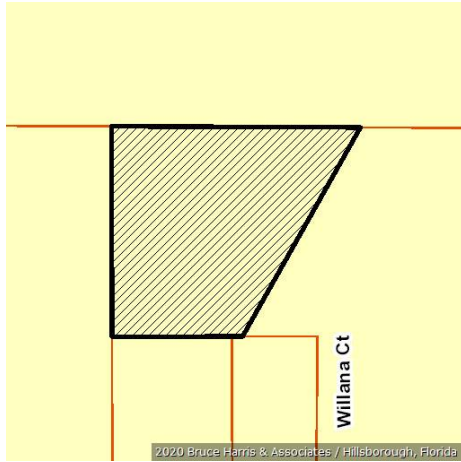
E 1/2 OF SW 1/4 OF NW 1/4 OF NE 1/4 LESS RD AND LESS I-75 BY-PASS



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Folio: 065059-0100



Owner Information

Owner Name	PINNACLE TOWERS INC
Mailing Address	C/O GLOBAL SIGNAL 4017 WASHINGTON RD PMB 353 CANONSBURG, PA 15317-2520
Site Address	10650 TANNER RD, TAMPA
PIN	U-05-29-20-ZZZ-000002-37150.0
Folio	065059-0100
Prior PIN	
Prior Folio	065059-0000
Tax District	U - UNINCORPORATED
Property Use	9100 UTILITY
Plat Book/Page	/
Neighborhood	220011.00 NW Area of 579 & MLK E of I75
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$179,317	\$179,317	\$0	\$179,317
Public Schools	\$179,317	\$179,317	\$0	\$179,317
Municipal	\$179,317	\$179,317	\$0	\$179,317
Other Districts	\$179,317	\$179,317	\$0	\$179,317

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
7993	0537	12	1995	WD	Unqualified	Vacant	\$175,000

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0660	CELL TOWER BLDG	0	1997	30	20	600.00	\$34,650
0660	CELL TOWER BLDG	0	2001	20	10	200.00	\$11,550
0660	CELL TOWER BLDG	0	2001	20	12	240.00	\$13,860
0660	CELL TOWER BLDG	0	2000	16	10	160.00	\$9,240
0260	FENCE CL6	0	1997	0	0	352.00	\$3,337
0260	FENCE CL6	0	2000	0	0	198.00	\$1,564
0040	CONCRETE WALK	0	2000	0	0	384.00	\$1,892

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
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Legal Description

BEG AT SW COR OF N 1/2 OF SE 1/4 OF NW 1/4 OF NE 1/4 RUN N 00 DEG 53 MIN 17 SEC W 331.93 FT TO NW COR OF SD SE 1/4 OF NW 1/4 OF NE 1/4 THN N 89 DEG 21 MIN 26 SEC E 398.77 FT S 29 DEG 21 MIN 26 SEC W 383.18 FT TO S BDY OF SD N 1/2 OF SE 1/4 OF NW 1/4 OF NE 1/4 THN S 89 DEG 20 MIN 5 SEC W 205.76 FT TO THE POB

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FPC 17/18

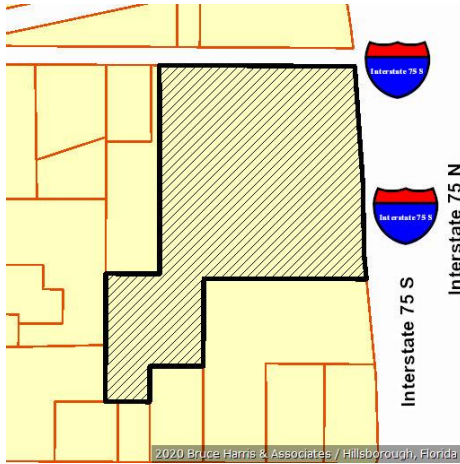
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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065057-0000



Owner Information

Owner Name	PATRICK FREDERICK LAVERNE
Mailing Address	10404 TANNER RD TAMPA, FL 33610-9673
Site Address	E OLD HILLSBOROUGH AVE, TAMPA
PIN	U-05-29-20-ZZZ-000002-37110.0
Folio	065057-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$232,645	\$2,856	\$0	\$2,856
Public Schools	\$232,645	\$2,856	\$0	\$2,856
Municipal	\$232,645	\$2,856	\$0	\$2,856
Other Districts	\$232,645	\$2,856	\$0	\$2,856

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
8380	0465	11	1996	AD	Unqualified	Vacant	\$100

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
6110	IMPROVED PASTURE	AR	0.0	0.0	AC ACREAGE	9.52	\$2,856

Legal Description

SEC 5-29-20 W 1/2 OF SW 1/4 OF NW 1/4 OF NE 1/4 LESS TRACT BEG 148.2 FT E AND 9.90 FT N OF SW COR OF NW 1/4 OF NE 1/4 RUN N 185.32 FT E 155 FT S 183.33 FT TO NLY R/W OF TANNER RD AND W 155.01 FT TO BEG AND THAT PART OF NE 1/4 OF NW 1/4 DESC AS BEG AT NE COR AND RUN W 689.4 FT S 713.8 FT E 342.1 FT S 275.05 FT E 354 FT AND N TO BEG LESS THAT PT LYING W/I PARCEL DESC AS BEG 354 W OF SE COR OF NE 1/4 OF NW 1/4 CONT W 200 FT N 620.47 FT THN E 526.48 FT MOL TO WLY R/W LINE OF I-75 BYPASS THN S 05 DEG 56 MIN 38 SEC E ALONG R/W 257.7 FT THN ALONG ARC OF CURVE TO RT CHD BRG S 01 DEG 42 MIN 51 SEC E 18.88 FT THN W 355.64 FT AND S TO BEG---LESS I-75 BYPASS MILDRED PATRICK DIED 5/6/89 J F PATRICK DEC'D 7-16-95 PROBATE 95-2457 OR 8460-1154 CORRECTING 8380-465

SMF 18A

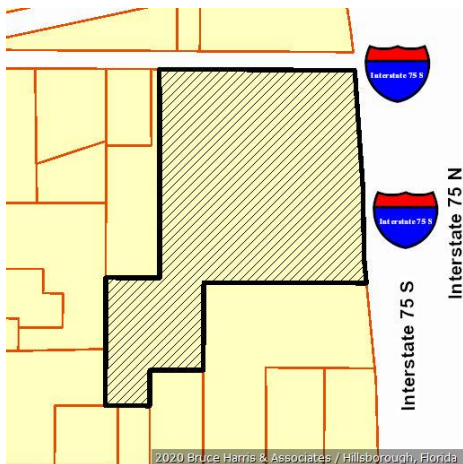
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Folio: 065057-0000



Owner Information	
Owner Name	PATRICK FREDERICK LAVERNE
Mailing Address	10404 TANNER RD TAMPA, FL 33610-9673
Site Address	E OLD HILLSBOROUGH AVE, TAMPA
PIN	U-05-29-20-ZZZ-000002-37110.0
Folio	065057-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary				
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$232,645	\$2,856	\$0	\$2,856
Public Schools	\$232,645	\$2,856	\$0	\$2,856
Municipal	\$232,645	\$2,856	\$0	\$2,856
Other Districts	\$232,645	\$2,856	\$0	\$2,856

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information							
Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
8380	0465	11	1996	AD	Unqualified	Vacant	\$100

Land Information								
Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value	
6110	IMPROVED PASTURE	AR	0.0	0.0	AC ACREAGE	9.52	\$2,856	

Legal Description
SEC 5-29-20 W 1/2 OF SW 1/4 OF NW 1/4 OF NE 1/4 LESS TRACT BEG 148.2 FT E AND 9.90 FT N OF SW COR OF NW 1/4 OF NE 1/4 RUN N 185.32 FT E 155 FT S 183.33 FT TO NLY R/W OF TANNER RD AND W 155.01 FT TO BEG AND THAT PART OF NE 1/4 OF NW 1/4 DESC AS BEG AT NE COR AND RUN W 689.4 FT S 713.8 FT E 342.1 FT S 275.05 FT E 354 FT AND N TO BEG LESS THAT PT LYING W/I PARCEL DESC AS BEG 354 W OF SE COR OF NE 1/4 OF NW 1/4 CONT W 200 FT N 620.47 FT THN E 526.48 FT MOL TO WLY R/W LINE OF I-75 BYPASS THN S 05 DEG 56 MIN 38 SEC E ALONG R/W 257.7 FT THN ALONG ARC OF CURVE TO RT CHD BRG S 01 DEG 42 MIN 51 SEC E 18.88 FT THN W 355.64 FT AND S TO BEG---LESS I-75 BYPASS MILDRED PATRICK DIED 5/6/89 J F PATRICK DEC'D 7-16-95 PROBATE 95-2457 OR 8460-1154 CORRECTING 8380-465

SMF 18B

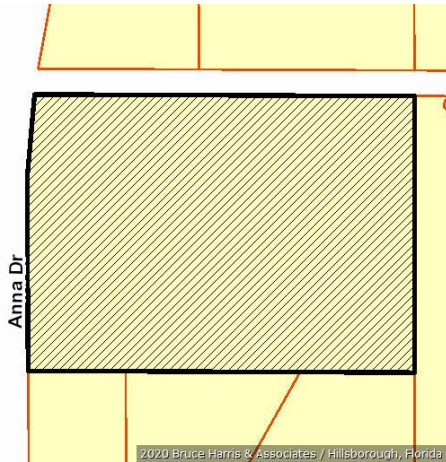
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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065057-0100



Owner Information

Owner Name	PATRICK FREDERICK L PATRICK BARBARA J
Mailing Address	10404 TANNER RD TAMPA, FL 33610-9673
Site Address	ANNA DR, TAMPA
PIN	U-05-29-20-ZZZ-000002-37120.0
Folio	065057-0100
Prior PIN	
Prior Folio	065057-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	220011.00 NW Area of 579 & MLK E of I75
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$364,792	\$4,314	\$0	\$4,314
Public Schools	\$364,792	\$4,314	\$0	\$4,314
Municipal	\$364,792	\$4,314	\$0	\$4,314
Other Districts	\$364,792	\$4,314	\$0	\$4,314

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
5734	0299	07	1989	FD	Unqualified	Vacant	\$100

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
6110	IMPROVED PASTURE	AR	0.0	0.0	AC ACREAGE	14.38	\$4,314

Legal Description

SEC 05-29-28 N 1/2 OF NW 1/4 OF NE 1/4 LESS I-75 BYPASS

FPC 20

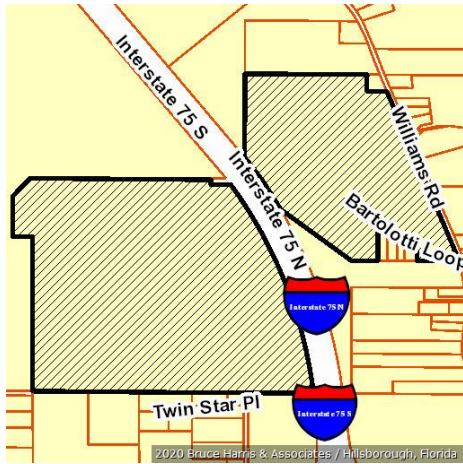
DRAFT



Bob Henriquez
Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 062529-0000



Owner Information	
Owner Name	EAST SIDE DAIRY INC
Mailing Address	10833 BARTOLOTTI LOOP SEFFNER, FL 33584-2827
Site Address	7014 WILLIAMS RD, SEFFNER
PIN	U-29-28-20-ZZZ-000002-23410.0
Folio	062529-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6000 PASTURE
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary				
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$3,603,902	\$214,969	\$0	\$214,969
Public Schools	\$3,603,902	\$219,028	\$0	\$219,028
Municipal	\$3,603,902	\$214,969	\$0	\$214,969
Other Districts	\$3,603,902	\$214,969	\$0	\$214,969

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

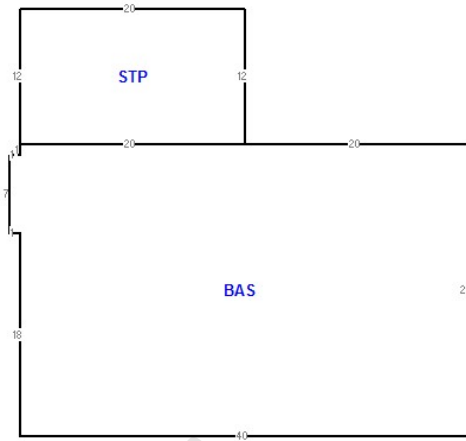
Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	2000

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Condition	3	Average
Bedrooms	2.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

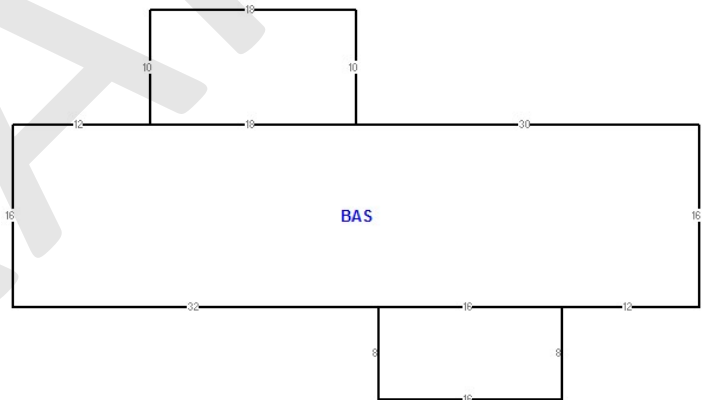
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,047	1,047	\$33,716
STP	240		\$773
Totals	1,287	1,047	\$34,489

Building 2

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	2014

Building 2 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Condition	3	Average
Bedrooms	2.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	960	960	\$43,879
UOP	180		\$1,234
UOP	128		\$868
Totals	1,268	960	\$45,981

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0730	STABLE WOOD	1	2001	36	36	1,296.00	\$15,915
0651	SHED NOT PERMANENTLY AFFIXED	0	2006	0	0	1.00	\$0
0460	CARPORT	0	2008	24	25	600.00	\$1,051

0470	OPEN SHED	0	2008	16	10	160.00	\$881
0520	CANOPY	0	2014	19	12	228.00	\$572
0651	SHED NOT PERMANENTLY AFFIXED	0	2014	0	0	2.00	\$0
0630	UTILITY METAL	0	2014	22	10	220.00	\$5,550
0630	UTILITY METAL	0	2019	22	12	264.00	\$5,550
0470	OPEN SHED	0	2014	19	6	114.00	\$858
0520	CANOPY	0	2014	12	8	96.00	\$241

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	AR	0.0	0.0	AC ACREAGE	1.00	\$13,300
5200	FEED/SEED	AR	0.0	0.0	AC ACREAGE	4.46	\$6,690
6110	IMPROVED PASTURE	AR	0.0	0.0	AC ACREAGE	253.79	\$76,137
6120	HORSE FARM	AR	0.0	0.0	AC ACREAGE	2.00	\$10,600
9600	GB LOWLANDS	AR	0.0	0.0	AC ACREAGE	24.25	\$1,212

Legal Description

SECTIONS 29 AND 30-28-20 SE 1/4 OF NW 1/4 LESS I-75 BY PASS R/W IN SEC 29- 28-20 --- THAT PART OF SW 1/4 OF NE 1/4 W OF RD LESS TRACT BEG 185.7 FT E OF NW COR RUN E 164 FT TO RD SELY ALONG RD 227.9 FT W 254 FT N 208.71 FT TO BEG SEC 29 --- THAT PART OF N 3/4 OF NW 1/4 OF SE 1/4 W OF RD LESS TRACT BEG 330.18 FT E OF SW COR THN E 330 FT N 188 FT N 27 DEG 58 MIN W 194.7 FT N 47 DEG 28 MIN W 164.02 FT N 65 DEG 48 MIN W 132.01 FT S 525 FT TO BEG LESS I-75 BY PASS R/W IN SEC 29 --- SW 1/4 LESS I-75 BY PASS R/W --- N 1/2 OF SE 1/4 OF SEC 30-28-20 LESS BEG AT SE COR OF NW 1/4 OF SE 1/4 RUN W 1320.64 FT N 1327.61 FT E 1274.5 FT S 43 DEG W 305.26 FT S 499.16 FT E 250 FT S 600 FT TO POB --- SE 1/4 OF SE 1/4 IN SEC 30 . . . LESS THE FOLLOWING PARCEL DESC AS: A PARCEL OF LAND LYING IN THE NE 1/4 OF SW 1/4 AND SE 1/4 OF SW 1/4 OF SEC 29 TWP 28 RGE 20 BEING MORE PARTICULARLY DESC AS FOLLOWS: COMM AT THE NW COR OF THE S 1/4 OF THE N 1/2 OF THE SE 1/4 OF SD SEC PROCEED S 0 DEG 02 MIN 27 SEC E ALG THE W BDRY OF THE S 1/4 OF THE N 1/2 OF THE SE 1/4 OF SD SEC A DIST OF 331.55 FT TO THE SW COR OF THE S 1/4 OF THE N 1/2 OF THE SE 1/4 OF SD SEC THN S 0 DEG 04 MIN 05 SEC E ALG THE E BDRY OF THE SE 1/4 OF THE SW 1/4 OF SD SEC A DIST OF 1325.11 FT TO THE SE COR OF THE SE 1/4 OF THE SW 1/4 OF SD SEC 29 THN N 89 DEG 35 MIN 58 SEC W ALG THE S BDRY OF THE SE 1/4 OF THE SW 1/4 OF SD SEC 29 A DIST OF 103.03 FT TO A PT ON THE ELY R/W LINE OF INTERSTATE HWY 75 SD PT LYING ON A CURVE CONCAVE SWLY HAVING A RAD OF 5823.58 FT AND A CHD BRG N 10 DEG 58 MIN 47 SEC W A DIST OF 656.15 FT THN ALG THE ARC OF SD CURVE TO THE LEFT AND ALG SD ELY R/W A DIST OF 656.50 FT TO THE END OF SD CURVE SD PT BEING THE BEG OF A CURVE CONCAVE SWLY HAVING A RAD OF 5903.58 FT AND A CHD BRG N 21 DEG 33 MIN 47 SEC W A DIST OF 1769.64 FT THN ALG THE ARC OF SD CURVE TO THE LEFT AND ALG SD ELY R/W LINE A DIST OF 1776.34 FT TO THE END OF SD CURVE THN DEPARTING SD R/W S 54 DEG 07 MIN 25 SEC E A DIST OF 1081.82 FT TO POB AND LESS THAT PART DESC AS FOLLOWS: FROM SW COR OF N 3/4 OF NW 1/4 OF SE 1/4 RUN S 89 DEG 36 MIN 18 SEC E 659.62 FOR A POB THN N 188.07 FT THN S 65 DEG 13 MIN 40 SEC E 170.85 FT THN S 117.55 FT THN N 89 DEG 36 MIN 18 SEC W 155.09 FT TO POB

Morris, John R.

From: Adams, David <AdamsDS@HillsboroughCounty.ORG>
Sent: Monday, July 27, 2015 3:34 PM
To: Morris, John R.
Cc: Greenwell, Jeffrey; Byer, Kimberly; Helvenston, Edward; Schipfer, Andy; Katie Bartolotti; Lockett, Laurel; Rick Bartolotti; Cope, Ronald
Subject: Closed Eureka Springs Landfill - April 2015 Analytical Data Report
Attachments: ESLF415ADR.pdf

Dear Mr. Morris,

Attached please find an electronic copy of the April 2015 Analytical Data Report for the closed Eureka Springs Landfill site. A hard copy will be sent to your attention. Should you or anyone copied on this e-mail have any questions or wish to discuss the information submitted, please feel free to call me directly at (813) 663-3221.

Respectfully,

David S. Adams, P.G.

Environmental Manager
Public Utilities Department - BSOC
Hillsborough County BOCC
phone: 813-663-3221
VOIP 43944
e-mail: adamsds@hillsboroughcounty.org
web: <http://www.hillsboroughcounty.org>

Please note: all correspondence to or from this office is subject to Florida's Public Records laws.

HillsboroughCounty
GOVERNMENT
Florida





Hillsborough County

July 27, 2015

**Board of County
Commissioners**

Kevin Beckner
Victor D. Crist
Ken Hagan
Al Higginbotham
Lesley "Les" Miller, Jr.
Sandra L. Murman
Stacy R. White

County Administrator
Michael S. Merrill

**County Administrator
Executive Team**

Lucia E. Garsys
Carl S. Harness
Gregory S. Horwedel
Ramin Kouzehkanani
Liana Lopez
Bonnie M. Wise

Interim Internal Auditor
Peggy Caskey

County Attorney
Chip Fletcher

Mr. John Morris, P.G.
Florida Department of Environmental Protection
Waste Permitting Section
13051 Telecom Parkway
Temple Terrace, FL 33637

**RE: Closed Eureka Springs Landfill
Laboratory Analytical Report – April 2015**

Dear Mr. Morris:

The Hillsborough County Public Utilities Department (County) is pleased to provide the analytical results for the semi-annual water quality sampling event conducted at the closed Eureka Springs Landfill (ESLF) site on April 13-17, 2015. A total of nine (9) surficial aquifer monitoring wells, three (3) upper Floridan aquifer monitoring wells, one (1) surface water sampling location, and six (6) private supply wells were sampled during this event.

Surficial Aquifer Monitoring Wells

pH

Six (6) of the nine (9) surficial aquifer groundwater monitoring wells exhibit pH values below the Secondary Drinking Water Standard (SDWS) acceptable range of 6.5 to 8.5 pH units. These wells include ES-3S, ES-4S, ES-5S, ES-6S, ES-8S, and ES-9S observed at 5.55, 5.87, 5.31, 6.49, 4.60, and 5.51 pH units, respectively. The pH values within the surficial aquifer are consistent with the historical data set for the site, and no unusual changes in pH values within any of the surficial aquifer groundwater monitoring wells were observed during the sampling event. The lower pH values are not clearly attributable to the buried waste as the lower values are observed in both the impacted and the unaffected wells. This observation supports the position that the low pH values may be naturally occurring and attributable to the wetland area in close proximity to the landfill.

Mr. John Morris, P.G.

July 27, 2015

Page 2

Total Dissolved Solids (TDS)

Four (4) of the nine (9) surficial aquifer groundwater monitoring wells, ES-2S, ES-4S, ES-6S, and ES-8S exhibited TDS values exceeding the SDWS of 500 milligrams per liter (mg/l), with concentrations of 810, 2,600, 760, and 530 mg/l, respectively. These values are consistent with the historical data sets for these wells.

Chloride

Chloride values in the surficial aquifer groundwater monitoring wells are generally below the SDWS of 250 mg/l. Concentrations in eight (8) of the nine (9) of the wells range from 9.2 to 140 mg/l. However, the chloride value observed in ES-4S was 1,000 mg/l, and the elevated value is consistent with the historical data set for this monitoring well. The water quality impacts in ES-4S are indicative of impacts from the buried waste. However, there are no detections of volatile organic compounds and the only metal above drinking water standards is iron. It should be noted that ES-4S is an internal monitoring point, very close to the landfill footprint, several hundred feet away from the closest property boundary.

Aluminum

Aluminum concentrations in six (6) of the nine (9) surficial aquifer groundwater monitoring wells were observed above the SDWS of 0.2 mg/l. Monitoring wells, ES-1S, ES-3S, ES-5S, ES-7S, ES-8S, and ES-9S exhibited aluminum at 1.7, 1.3, 0.24, 1.9, 11, and 0.62 mg/l. Aluminum has consistently been observed above the standard in these wells, and may be partially attributable to the clayey sediments in the subsurface or the materials that were excavated during construction of the Bypass Canal and subsequently spread over a majority of the western portion of the landfill.

Arsenic

The arsenic in surficial aquifer groundwater monitoring well ES-5S was observed above the PDWS of 0.01 mg/l, at a concentration of 0.054 mg/l. It appears the arsenic in ES-5S is attributable to the buried waste in the vicinity of this well, as the turbidity value is low and the concentrations of arsenic in the other surficial aquifer wells across the site were observed below the standard.

Iron

Iron concentrations in six (6) of the nine (9) surficial aquifer groundwater monitoring wells were observed above the SDWS of 0.3 mg/l. Monitoring wells, ES-3S, ES-5S, ES-6S, ES-7S, ES-8S, and ES-9S exhibited iron at 0.51, 13, 13, 0.47, 75, and 2.2 mg/l, respectively. The concentrations of iron observed in the surficial aquifer wells across the site are consistent with the historical data set, and are likely attributable to multiple sources, including the buried wastes, the dredge spoils from the Bypass Canal, and naturally occurring in the organic material associated with the numerous wetland areas surrounding the landfill.

Mr. John Morris, P.G.

July 27, 2015

Page 3

Manganese

Manganese was observed exceeding the Primary Drinking Water Standard (PDWS) of 0.05 mg/l in two (2) of the nine (9) surficial aquifer groundwater monitoring wells. Monitoring wells, ES-4S and ES-6S exhibited manganese at concentrations of 0.067 and 0.096 mg/l, respectively. All other wells sampled exhibited manganese below the PDWS, and these observations are relatively consistent with the historical data set for the site.

Organic Compounds

Volatile Organic Compounds (VOCs) analyzed by EPA Method 8260 continue to be detected above their respective standards in surficial aquifer groundwater monitoring wells ES-5S and ES-6S. Monitor well ES-5S exhibited benzene at a concentration of 1.1 micrograms per liter (ug/l), which is slightly above the PDWS of 1 microgram per liter (ug/l). However, in accordance with the November 17, 2011 Florida Department of Environmental Protection (FDEP) memorandum authorizing rounding of analytical data for site rehabilitation completion, this result would not be considered a violation. Additionally, isopropylbenzene was observed at a concentration of 3.7 ug/l in ES-6S, which exceeds the Groundwater Cleanup Target Level (GCTL) of 0.8 ug/l.

Each of these surficial aquifer locations has historically exhibited low concentrations of these specific VOCs. ES-5S has consistently exhibited benzene at low concentrations with values ranging from 0.54i to 5.4 ug/l since the initial sampling in November 2008. ES-6S has consistently exhibited isopropylbenzene at low concentrations with values ranging from 1.4 to 3.7 ug/l over the same period. Based on the direction of flow within the surficial aquifer, the landfill appears to be the likely source of these impacts. However, based on the consistency of the data set and the very low concentrations of benzene and isopropylbenzene, the horizontal extent of these impacts does not likely extend much further beyond these two data points. Furthermore, there are no identified down gradient receptors, i.e. surface water bodies or supply wells, in this area of the site.

Upper Floridan Aquifer Monitoring Wells

pH

The pH value observed in the upper Floridan aquifer well, ES-9D, was 5.89 pH units. This value is below the Secondary Drinking Water Standard (SDWS) acceptable range of 6.5 to 8.5 pH units. The water quality in ES-9D may be affected by the known up gradient sources east of Williams Road. The pH values within the remaining two upper Floridan aquifer wells, ES-5D and ES-6D, exhibited values of 6.86, and 7.47 pH units, respectively. These values are within the SDWS acceptable range and consistent with their historical data sets. No unusual changes in pH values were observed in of the upper Floridan aquifer monitoring wells during this sampling event.

Mr. John Morris, P.G.

July 27, 2015

Page 4

Iron

The upper Floridan aquifer well, ES-5D, exhibited iron above the SDWS of 0.3 mg/l at a concentration of 1.5 mg/l. This value is consistent with the historical data set for this well, and since no other parameters appear elevated, the iron is likely naturally occurring in the formation surrounding this well. No unusual changes in the iron values were observed in any of the upper Floridan aquifer monitoring wells during this sampling event.

Aluminum

Aluminum was observed exceeding the SDWS of 0.2 mg/l in the upper Floridan aquifer monitoring wells, ES-5D and ES-9D with concentrations of 0.97 and 0.31 mg/l, respectively. These values are consistent with the historical data sets for these wells. No unusual changes in the aluminum values were observed in any of the upper Floridan aquifer monitoring wells during this sampling event.

Manganese

Manganese was observed exceeding the PDWS of 0.05 mg/l in upper Floridan aquifer wells, ES-5D and ES-9D, with concentrations of 0.06 mg/l and 0.099 mg/l, respectively. The direction of flow within the upper Floridan indicates that ES-9D is cross/up gradient of the buried wastes at the site and over 100 ft. away. Furthermore, the concentrations of manganese in the surficial aquifer where the buried wastes are present are generally lower than those at this location. Based on these observations, the manganese in the upper Floridan aquifer well ES-9S does not appear to be attributable to the landfill, and may be naturally occurring in the formation surrounding this well, or attributable to other up gradient sources. No unusual changes in manganese values were observed in any of the upper Floridan aquifer wells during this sampling event.

Private Supply Well Sampling Locations

pH

Two (2) of the six (6) private supply wells exhibited pH values below the Secondary Drinking Water Standard (SDWS) acceptable range of 6.5 to 8.5 pH units. The Aldridge and Guarisco 2 supply wells exhibited pH values of 3.49 and 5.07 pH units. These values are consistent with the historical data sets for these wells. Although these pH values present a concern, the overall water quality observed in these two supply wells does not indicate that the wells are being impacted by the landfill.

Iron

The iron concentration observed in the Suarez supply well was above the SDWS of 0.3 mg/l at a concentration of 0.37 mg/l. The concentrations of iron observed in some of the upper Floridan aquifer monitoring wells in the area have historically been elevated, and the County maintains the position that the iron is naturally occurring in the formation within the production zones of those wells.

Mr. John Morris, P.G.

July 27, 2015

Page 5

Aluminum

Aluminum concentrations in the Aldridge and Guarisco 2 supply wells were observed above the SDWS of 0.2 mg/l with concentrations of 2.6 mg/l and 0.3 mg/l, respectively. Aluminum concentrations observed in the upper Floridan aquifer wells across the area have historically been elevated and the County believes the aluminum may be naturally occurring in the formation within the production zones of these wells.

Groundwater Elevations and Contour Diagrams

The County collected groundwater elevation data from the thirteen (13) surficial aquifer monitoring wells, five (5) upper Floridan aquifer monitoring wells, and four (4) staff gauges located at surface water sampling sites on April 13, 2015. Additionally, elevation data was collected from three (3) surficial aquifer and two (2) upper Floridan aquifer groundwater monitoring wells located on the Tampa Executive Airport property.

The data collected was utilized to prepare elevation and contour diagrams for the surficial and upper Floridan aquifers. The additional elevation data points facilitated a more comprehensive evaluation of the directions of flow on the western portion of the closed landfill, as requested by the FDEP.

Two surficial aquifer contour diagrams, that represent the east and west landfill areas, are included in this submittal. The two diagrams exhibit patterns of flow generally consistent with the diagrams submitted in previous ADR's and the 2012 SAR. The flow on the western portion of the site has historically exhibited a radial pattern. The pattern of flow on the east side continues to exhibit a converging pattern towards the drainage ditch that runs east to west through the site, and then off towards the northwest.

The flow pattern in the upper Floridan aquifer across each of the landfill footprints is to the northwest which is consistent with the historical data for the site. However, data from the two upper Floridan wells on the airport property, identified as GD-1 and GD-3, indicates groundwater flowing back to the east-southeast and appears to potentially be influenced by the seasonally high water levels in the Tampa Bypass Canal.

Evaluation of Hydraulic Gradient

The hydraulic gradient evaluation table indicates that the potentiometric surface of the upper Floridan aquifer is below the water table elevation within the surficial aquifer in three (3) of the five (5) well pairs at the site. This indicates that a generally weak downward gradient was present during the April 2015 sampling event. The well pairs, ES-1S/ES-1D and ES-6S/ES-6D, exhibited a very slight upward gradient during the event.

The evaluation of the hydraulic gradient across the site concludes that the gradient across the confining clays appears to be in a neutral to downward direction during this sampling event at the end of the dry

Mr. John Morris, P.G.

July 27, 2015

Page 6

season. The observations are consistent, and the results are not unexpected. The County intends to continue recording groundwater elevations at all of the monitoring points during the semi-annual sampling events. This data will be utilized in a continued effort to evaluate seasonal fluctuations in the directions of flow and the hydraulic gradient at the site.

Conclusions and Recommendations

Overall, the water quality at the Eureka Springs Landfill remains consistent with the historical data set for this closed landfill site. The groundwater within the surficial aquifer exhibits concentrations of pH, chloride, TDS, iron, aluminum, arsenic, manganese, and isopropylbenzene that are not within their applicable water quality standards. However, these water quality impacts appear to be limited in horizontal extent, and no immediate threats to any potential down gradient receptors have been identified to date.

The water quality impacts attributable to the buried wastes on the west landfill are minimal and contained well within the property boundaries. The County has conducted supplemental assessment activities to specifically address the direction of groundwater flow within the surficial aquifer on the west and north sides of the west landfill, and concluded that the radial pattern away from the landfill is present.

The water quality impacts within the surficial aquifer on the east landfill are also minimal, and are limited to low concentrations of benzene at ES-5S and isopropylbenzene at ES-6S. These impacts, although above their respective standards, likely only extend a short distance beyond the property boundaries. Based on the direction of flow within the surficial aquifer in these areas and the current use of the properties in the down gradient directions, no receptors have been identified.


The upper Floridan aquifer groundwater monitoring wells continue to exhibit pH below the acceptable range and iron, aluminum, and manganese above their applicable standards. Based on the low concentrations of other indicator parameters (conductivity, TDS, chloride, and sodium) these water quality concerns do not appear to be readily attributable to the landfill. The direction of flow within the upper Floridan across the site is consistently to the northwest, but the additional data points on the airport authority property indicate a higher potentiometric surface that appears to be associated with the Bypass Canal. Overall flow continues to remain consistent with the historical data set.

Enclosed for your review, please find a detailed site location map, data summary tables for the surficial and upper Floridan aquifer monitoring wells, the surface water sites, and private supply wells, a groundwater elevation data summary table, a hydraulic gradient evaluation table, groundwater elevation and contour diagrams for the surficial and upper Floridan aquifers, copies of the letters sent to the owners of the private supply wells, and the complete laboratory analytical data report from Advanced Environmental Laboratories, Inc. The laboratory report includes all the associated quality control data from the analyses performed.

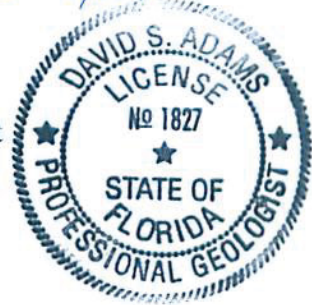
Mr. John Morris, P.G.
July 27, 2015
Page 7

Should you have any questions, require any additional information, or would like to discuss the information provided within this submittal, please feel free to contact us at (813) 663-3222 or (813) 663-3221.

Respectfully submitted,

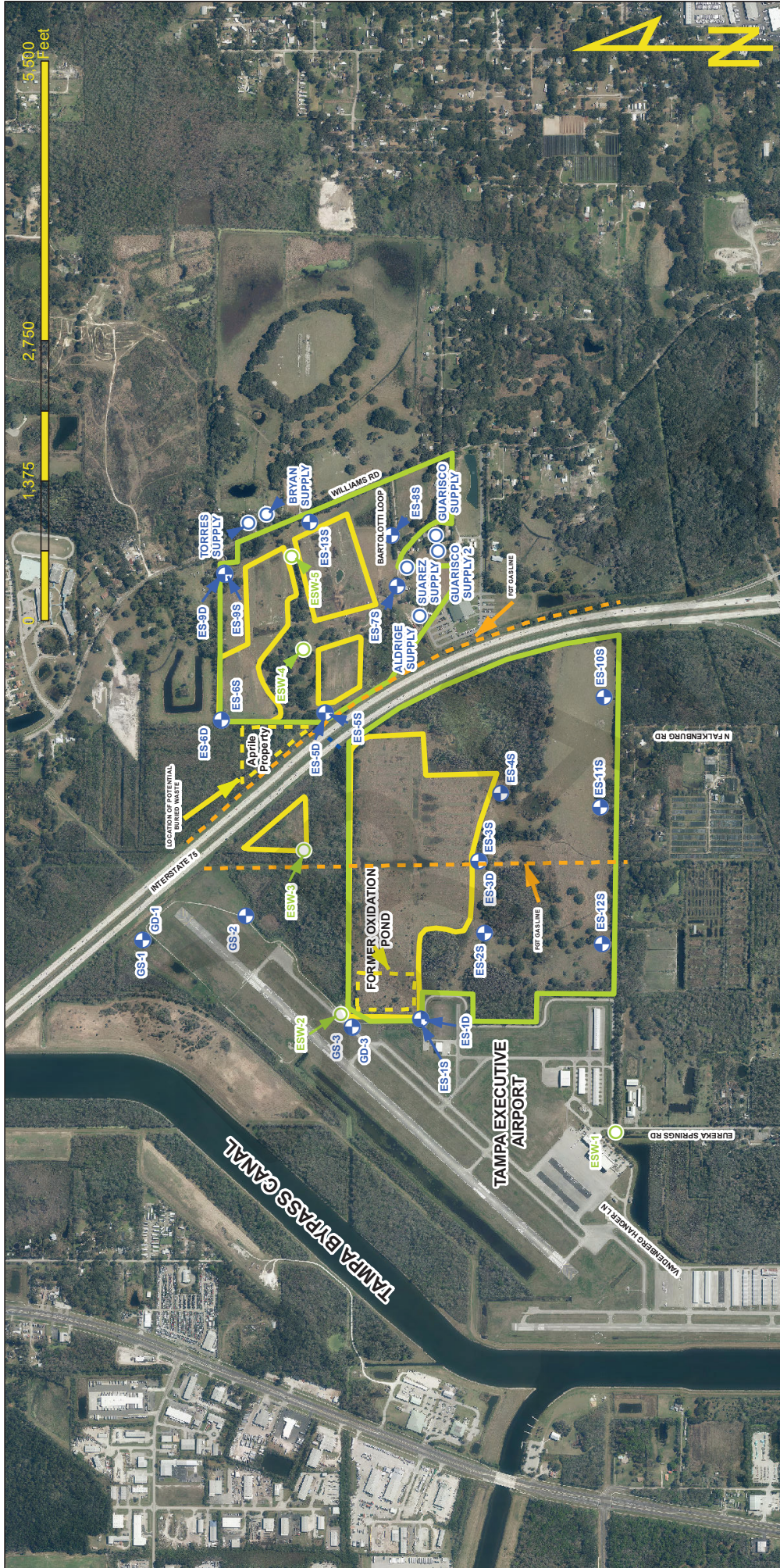

Michael D. Townsel 7/27/2015
Senior Hydrologist
Environmental Services
Public Utilities Department

 7/27/2015
David S. Adams, P.G.
Environmental Manager
Environmental Services
Public Utilities Department



DSA/mdt
g:\enviro\EurekaSprings\Scanned Reports-Docs\2015\ESLF4-15ADR.doc

xc: Jeff Greenwell, Environmental Services Section, Public Utilities
Kimberly Byer, Solid Waste Division Manager, Public Works
Ed Helvenston, County Attorney's Office
Andy Schipfer, HC Environmental Protection Commission
Rick Bartolotti, Property Owners
Katie Bartolotti, Property Owners
Laurel Lockett, Carlton Fields



Legend

- Surface Water Sites
- Private Wells
- ⊕ Monitor Wells
- Property Boundary
- Approximate Landfill Boundary

SITE MAP

**CLOSED EUREKA SPRINGS
LANDFILL TOWNSHIP RANGE
SECTION 28-20-29,30,31**



**Closed Eureka Springs Landfill
Laboratory Analytical Data
Upper Floridan Groundwater Monitoring Wells
April 15, 2015**

General Parameters	ES-5D	ES-6D	ES-9D	MCL Standard
conductivity (umhos/cm) (field)	607	320	324	NS
dissolved oxygen (mg/l) (field)	0.25	0.26	0.37	NS
pH (field)	6.86	7.47	5.89	(6.5 - 8.5)**
temperature (°C) (field)	23.36	22.77	22.91	NS
turbidity (NTU) (field)	4.56	0.59	1.72	NS
chloride (mg/l)	28	6	26	250**
total dissolved solids (mg/l)	330	200	210	500**
Metals (mg/l)				MCL Standard
iron	1.5	0.038 u	0.2 i	0.3**
aluminum	0.97	0.061 u	0.31	0.2**
arsenic	0.002	0.0002 i	0.00035 i	0.01*
manganese	0.06	0.016	0.099	0.05**
lead	0.001 i	0.00048 u	0.00048 u	0.015*
sodium	11	5.7	9	160*
Organic Parameters Detected (ug/l)				MCL Standard
chlorobenzene	1.1	0.56 u	0.56 u	1*
cis-1,2-dichloroethene	0.63 i	0.51 u	0.51 u	100*

NOTE: Reference Groundwater Guidance Concentrations

NS = No Standard

MCL = Maximum Contaminant Level

* = Denotes Primary Drinking Water Standard

** = Denotes Secondary Drinking Water Standard

6.33 - Exceeds Standard

NTU = Nephelometric Turbidity Units

ug/l = micrograms Per Liter

mg/l = milligrams Per Liter

i = reported value between the laboratory method detection limit and the laboratory practical quantitation limit

u = parameter was analyzed but not detected.

**Closed Eureka Springs Landfill
Laboratory Analytical Data
Surface Water Sampling Locations
April 13, 2015**

General Parameters	ESW-2	MCL Standard
conductivity (umhos/cm) (field)	474	1275
dissolved oxygen (mg/l) (field)	5.45	Must Be > OR=5.0
pH (field)	6.55	(6.5 - 8.5)
temperature (°C) in field	24.08	NS
turbidity (field) (NTU)	1.61	29
chloride(mg/l)	20	NS
total dissolved solids (mg/l)	280	NS
Metals (mg/l)		MCL Standard
iron	0.17 i	1
arsenic	0.0016 i	0.05
manganese	0.011	NS
sodium	0.017	NS
Note: Surface Water Quality Standards Title 62 Chapter 62-302, Class III: Fresh		
NS = No Standard		
ND = No Data (surface water location was dry)		
MCL = Maximum Contaminant Level		
BDL = Below Detection Limit		
NTU = Nephelometric Turbidity Units		
ug/l = Micrograms Per Liter		
mg/l = Milligrams Per Liter		
i = reported value between the laboratory method detection limit and the laboratory practical quantitation limit.		
u = parameter was analyzed but not detected.		

**Closed Eureka Springs Landfill
Laboratory Analytical Data
Private Supply Wells
April 14 and April 17, 2015**

GENERAL PARAMETERS	Bryan	Aldridge	Guarisco	Guarisco 2	Suarez	Torres	MCL STANDARD
conductivity (umhos/cm) (field)	NA	238	449	299	468	530	NS
pH (field)	NA	3.49	7.13	5.07	7.16	6.93	(6.5 - 8.5)**
temperature (°C) (field)	NA	23.04	23.26	23.6	23.7	23.6	NS
turbidity (NTU) (field)	NA	0.45	0.59	2.52	1.01	0.7	NS
dissolved oxygen (mg/l) (field)	NA	0.75	0.47	1.24	0.48	0.2	NS
chloride	NA	17	15	42	17	17	250**
total dissolved solids (mg/l)	NA	130	250	220	260	290	500**
Metals: (mg/l)							
iron	NA	0.16 i	0.27	0.16 i	0.37	0.038 u	0.3**
aluminum	NA	2.6	0.061 u	0.3	0.087 i	0.061 u	0.2**
arsenic	NA	0.00015 u	0.0017 i	0.00022 i	0.0012 i	0.00044 i	0.01*
lead	NA	0.004	0.00048 u	0.00048 u	0.00048 u	0.00048 u	0.015*
cadmium	NA	0.00049 i	0.000056 u	0.001	0.000056 u	0.000056 u	0.005*
manganese	NA	0.0094	0.03	0.046	0.017	0.019	0.05*
sodium	NA	14	6.9	24	7.4	11	160*
Notes: Reference Groundwater Guidance Concentrations							
3.49 : Exceeds Standard							
NS = No Standard							
MCL = Maximum Contaminant Level							
NA = Not Analyzed (property locked up)							
*=Denotes Primary Drinking Water Standard							
**=Denotes Secondary Drinking Water Standard							
***=Denotes Groundwater Cleanup Target Level							
NTU = Nephelometric Turbidity Units							
ug/l = micrograms Per Liter							
mg/l = milligrams Per Liter							
i = reported value between the laboratory method detection limit and the laboratory practical quantitation limit							
u = parameter was analyzed but not detected.							

Closed Eureka Springs Landfill Groundwater Elevations April 13, 2015

Measuring Point I.D.	TOC Elevations (NGVD)	W.L. B.T.O.C.	W.L. (NGVD)
ES-1S	24.10	6.26	17.84
ES-2S	23.60	3.79	19.81
ES-3S	25.26	3.69	21.57
ES-4S	24.60	5.60	19.00
ES-5S	26.10	6.56	19.54
ES-6S	19.51	4.93	14.58
ES-7S	33.78	8.18	25.60
ES-8S	27.68	4.90	22.78
ES-9S	29.27	5.93	23.34
ES-10S	29.76	5.26	24.50
ES-11S	22.61	5.28	17.33
ES-12S	22.59	3.93	18.66
ES-13S	30.09	7.88	22.21
ES-1D*	23.59	5.67	17.92
ES-3D*	25.62	7.55	18.07
ES-5D*	26.51	8.18	18.33
ES-6D*	19.46	1.70	17.76
ES-9D*	29.12	10.30	18.82
GS-1	20.80	6.08	14.72
GS-2	20.55	5.56	14.99
GS-3	21.62	4.19	17.43
GD-1	21.22	3.34	17.88
GD-3	22.02	3.25	18.77
ESW-1	5.0'=17.78'	1.96	14.74
ESW-2	5.0'=16.83'	1.38	13.21
ESW-3	4.0'=16.17'	2.22	14.39
ESW-4	6.0'=23.88'	2.60	20.48
ESW-5	4.0'=24.99'	1.88	22.87
NGVD	= National Geodetic Vertical Datum		
T.O.C.	= Top of Casing		
B.T.O.C.	= Below Top of Casing		
*	= Upper Floridan Well		
W.L.	= Water Level		

**Closed Eureka Springs Landfill
Hydraulic Gradient Evaluation
April 13, 2015**

	Well ID #	W.L. (NGVD)
Surficial Aquifer Monitoring Well	ES-1S	17.84
Floridian Aquifer Monitoring Well	ES-1D	17.92 ↑
Surficial Aquifer Monitoring Well	ES-3S	21.57
Floridian Aquifer Monitoring Well	ES-3D	18.07 ↓
Surficial Aquifer Monitoring Well	ES-5S	19.54
Floridian Aquifer Monitoring Well	ES-5D	18.33 ↓
Surficial Aquifer Monitoring Well	ES-6S	14.58
Floridian Aquifer Monitoring Well	ES-6D	17.76 ↑
Surficial Aquifer Monitoring Well	ES-9S	23.34
Floridian Aquifer Monitoring Well	ES-9D	18.82 ↓



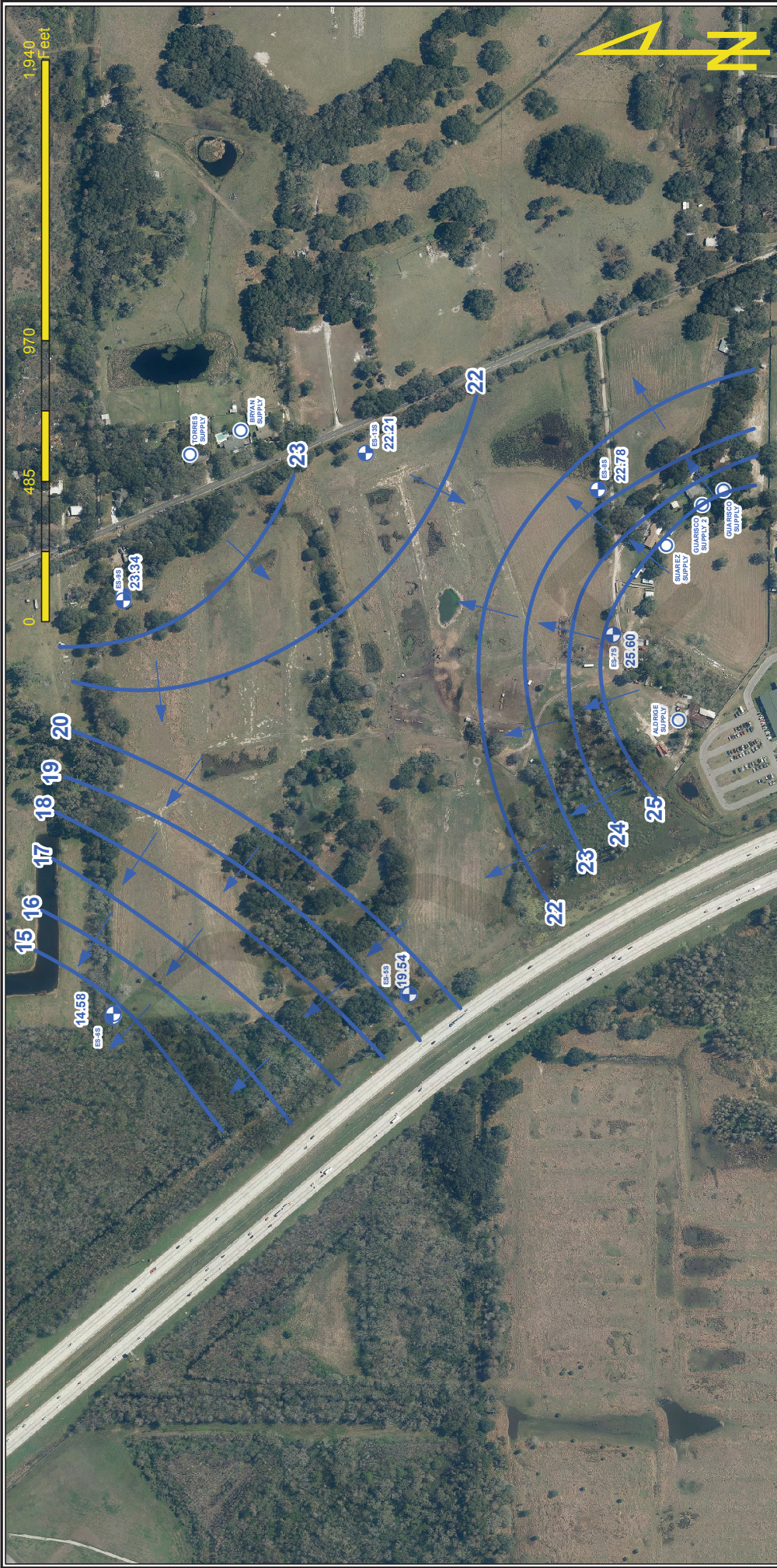
Surficial Aquifer Groundwater Elevation
and Contour Map April 13, 2015

Legend

- Direction Of Flow
- Airport Monitor Wells
- Landfill Monitor Wells

**WEST SIDE
CLOSED EUREKA SPRINGS
LANDFILL TOWNSHIP RANGE
SECTION 28-20-29,30,31**





Surficial Aquifer Groundwater Elevation
and Contour Map April 13, 2015

Legend

-  Direction Of Flow
-  Private Wells
-  Landfill Monitor Wells

**EAST SIDE
CLOSED EUREKA SPRINGS
LANDFILL TOWNSHIP RANGE
SECTION 28-20-29, 30, 31**





Upper Floridan Aquifer Groudwater Elevation and Contour Map April 13, 2015

**CLOSED EUREKA SPRING
LANDFILL TOWNSHIP RANGE
SECTION 28-20-29,30,31**

Legend

- Direction Of Flow
- Monitor Well





Hillsborough County

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Ken Hagan
Al Higginbotham
Lesley "Les" Miller, Jr.
Sandra L. Murman
Stacy R. White

June 12, 2015

County Administrator

Michael S. Merrill

Mr. R.J. Aldridge

P.O. Box 1121

Mango, FL 33550

County Administrator

Executive Team

Lucia E. Garsys
Carl S. Harness
Gregory S. Horwedel
Ramin Kouzehkanani
Liana Lopez
Bonnie M. Wise

**Subject: Private Supply Well
Water Quality Report
A&A Cattle - Bartolotti Loop**

Interim Internal Auditor

Peggy Caskey

Dear Mr. Aldridge,

County Attorney

Chip Fletcher

The Hillsborough County Public Utilities Department (County) is pleased to provide this laboratory analytical data report for your domestic supply well located at the property you utilize for cattle ranching at the end of Bartolotti Loop. County environmental services personnel conducted the sampling event on April 14, 2015. Results of the analytical data indicated pH below the acceptable range of 6.5-8.5 pH units and aluminum exceeding the Secondary Drinking Water Standard (SDWS) of 0.2 milligrams per liter. All other analyzed constituents were within their respective standards. The County intends to conduct the next sampling event in October 2015, and we will continue to closely evaluate the analytical results from your supply well.

A copy of the reported analytical data from our contracted laboratory, Advanced Environmental Laboratories Inc., is attached for your records. For any health effect information you may call the Hillsborough County Health Department at (813) 307-8000. Should you have any questions on the laboratory analysis, please call me at (813) 663-3222. For questions regarding the sampling program for the closed Eureka Springs Landfill site, please contact Mr. David Adams at (813) 663-3221. Thank you again for allowing the County to sample and analyze the water quality from this well.

Sincerely,

Michael D. Townsel
Senior Hydrologist
Public Utilities Department
Environmental Services



Hillsborough County

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June 12, 2015

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Michael S. Merrill

County Administrator

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Liana Lopez
Bonnie M. Wise

Interim Internal Auditor

Peggy Caskey

County Attorney

Chip Fletcher

Mr. Nuncy Guarisco
10833 Bartolotti Loop
Seffner, FL 33584

**Subject: Private Supply Well - Guarisco
Water Quality Report
10833 Bartolotti Loop**

Dear Mr. Guarisco,

The Hillsborough County Public Utilities Department (County) is pleased to provide the laboratory analytical data for your residential supply well. County personnel conducted the sampling event on April 14, 2015. Results of the analysis indicated all constituents tested for were within their respective applicable water quality standards. The County intends to sample your well in the next scheduled sampling event in October 2015.

A copy of the reported analytical data from our contracted laboratory, Advanced Environmental Laboratories Inc., is attached for your records. If you have any questions on the laboratory results, please call me at (813) 663-3222. For questions regarding the sampling program for the Closed Eureka Springs Landfill site please call Mr. David Adams at (813) 663-3221. Thank you for allowing the County to sample and analyze the water quality from your well.

Sincerely,

6/12/2015
Michael D. Townsel
Senior Hydrologist
Public Utilities Department
Environmental Services



Hillsborough County

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Victor D. Crist
Ken Hagan
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Stacy R. White

June 12, 2015

County Administrator
Michael S. Merrill

Mr. Nuncy Guarisco
10833 Bartolotti Loop
Seffner, FL 33584

**County Administrator
Executive Team**
Lucla E. Garsys
Carl S. Harness
Gregory S. Horwedel
Ramin Kouzehkanani
Liana Lopez
Bonnie M. Wise

**Subject: Private Supply Well – Guarisco 2
Water Quality Report
10825 Bartolotti Loop**

Interim Internal Auditor
Peggy Caskey

County Attorney
Chip Fletcher

Dear Mr. Guarisco,

The Hillsborough County Public Utilities Department (County) is pleased to provide the laboratory analytical data for your residential supply well. County personnel conducted the sampling event on April 14, 2015. Results of the analytical data indicated pH below the acceptable range of 6.5-8.5 pH units with aluminum above the Secondary Drinking Water Standards (SDWS). The County intends to sample your well in the next scheduled sampling event in October 2015.

A copy of the reported analytical data from our contracted laboratory, Advanced Environmental Laboratories Inc., is attached for your records. For any health effect information you may call the Hillsborough County Health Department at (813) 307-8000. If you have any questions on the laboratory results, please call me at (813) 663-3222. For questions regarding the sampling program for the Closed Eureka Springs Landfill site please call Mr. David Adams at (813) 663-3221. Thank you for allowing the County to sample and analyze the water quality from your well.

Sincerely,

Michael D. Townsel 6/12/2015
Senior Hydrologist
Public Utilities Department
Environmental Services



Hillsborough County

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June 19, 2015

County Administrator

Michael S. Merrill

County Administrator

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Ramin Kouzehkanani
Liana Lopez
Bonnie M. Wise

Interim Internal Auditor

Peggy Caskey

County Attorney

Chip Fletcher

Hillsborough County Resident
10809 Bartolotti Loop
Seffner, FL 33581

**Subject: Private Supply Well (Formerly Suarez)
Water Quality Report
10809 Bartolotti Loop**

Dear Resident,

The Hillsborough County Public Utilities Department (County) is pleased to provide the laboratory analytical data for your residential supply well. County environmental services personnel conducted the sampling event on April 14, 2015. The laboratory analysis indicated total iron exceeding its respective Secondary Drinking Water Standards (SDWS) during this sampling event. All other analyzed constituents were within their respective standards and the County plans to conduct the next sampling event in October 2015.

A copy of the reported analytical data from our contracted laboratory, Advanced Environmental Laboratories Inc., is attached for your records. If you have any questions on the analysis, please call me at (813) 663-3222. For questions regarding the sampling program for the closed Eureka Springs Landfill site, please call Mr. David Adams at (813) 663-3221. Thank you for allowing the County to sample and analyze the water quality from this well.

Sincerely,

Michael D. Townsel
Senior Hydrologist
Public Utilities Department
Environmental Services

6/19/2015



Hillsborough County

June 12, 2015

**Board of County
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Ramin Kouzehkanani
Liana Lopez
Bonnie M. Wise

Interim Internal Auditor

Peggy Caskey

County Attorney

Chip Fletcher

Ms. Belinda Torres
7403 Williams Road
Seffner, FL 33584

**Subject: Private Supply Well
Water Quality Report
7403 Williams Road**

Dear Ms. Torres,

The Hillsborough County Public Utilities Department (County) is pleased to provide the laboratory analytical data for your residential supply well. County personnel conducted the sampling event on April 17, 2015. Results of the analysis indicated all constituents tested for were within their respective applicable water quality standards. The County intends to sample your well in the next scheduled sampling event in October 2015.

A copy of the reported analytical data from our contracted laboratory, Advanced Environmental Laboratories Inc., is attached for your records. If you have any questions on the laboratory results, please call me at (813) 663-3222. For questions regarding the sampling program for the Closed Eureka Springs Landfill site please call Mr. David Adams at (813) 663-3221. Thank you for allowing the County to sample and analyze the water quality from your well.

Sincerely,



6/12/2015

Michael D. Townsel
Senior Hydrologist
Public Utilities Department
Environmental Services

May 12, 2015

David Adams
Hillsborough Co Public Utilities
332 North Falkenburg Rd
Tampa, FL 33619

RE: Workorder: T1505007 Eureka Springs Landfill

Dear David Adams:

Enclosed are the analytical results for sample(s) received by the laboratory between Monday, April 13, 2015 and Friday, April 17, 2015. Results reported herein conform to the most current NELAC standards, where applicable, unless otherwise narrated in the body of the report. The analytical results for the samples contained in this report were submitted for analysis as outlined by the Chain of Custody and results pertain only to these samples.

If you have any questions concerning this report, please feel free to contact me.

Sincerely,



Heidi Brooks
HBrooks@AELLab.com

Enclosures

CERTIFICATE OF ANALYSIS

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SAMPLE SUMMARY

Workorder: T1505007 Eureka Springs Landfill

Lab ID	Sample ID	Matrix	Date Collected	Date Received
T1505007001	Field Blank	Water	4/13/2015 11:35	4/13/2015 14:50
T1505007002	ESW-2	Water	4/13/2015 11:39	4/13/2015 14:50
T1505007003	Trip Blank	Water	4/13/2015 00:00	4/13/2015 14:50
T1505007004	ES-1S	Water	4/14/2015 10:09	4/14/2015 15:25
T1505007005	ES-2S	Water	4/14/2015 11:26	4/14/2015 15:25
T1505007006	ES-3S	Water	4/14/2015 12:26	4/14/2015 15:25
T1505007007	ES-4S	Water	4/14/2015 13:30	4/14/2015 15:25
T1505007008	Duplicate	Water	4/15/2015 00:00	4/15/2015 15:20
T1505007009	ES-5S	Water	4/15/2015 10:20	4/15/2015 15:20
T1505007010	ES-5D	Water	4/15/2015 11:06	4/15/2015 15:20
T1505007011	ES-9S	Water	4/15/2015 12:09	4/15/2015 15:20
T1505007012	ES-9D	Water	4/15/2015 13:01	4/15/2015 15:20
T1505007013	ES-6S	Water	4/15/2015 13:55	4/15/2015 15:20
T1505007014	ES-6D	Water	4/15/2015 14:50	4/15/2015 15:20
T1505007015	Trip Blank	Water	4/15/2015 00:00	4/15/2015 15:20
T1505007016	Trip Blank	Water	4/14/2015 00:00	4/15/2015 15:20
T1505007017	ES-7S	Water	4/14/2015 10:16	4/15/2015 15:20
T1505007018	Aldridge	Water	4/14/2015 10:50	4/15/2015 15:20
T1505007019	ES-8S	Water	4/14/2015 11:53	4/15/2015 15:20
T1505007020	Suarez	Water	4/14/2015 12:35	4/15/2015 15:20
T1505007021	Guarisco 2	Water	4/14/2015 13:01	4/15/2015 15:20
T1505007022	Guarisco	Water	4/14/2015 13:31	4/15/2015 15:20
T1505007023	Trip Blank	Water	4/14/2015 00:00	4/15/2015 15:20
T1505007024	Torres	Water	4/17/2015 10:29	4/17/2015 14:08
T1505007025	Trip Blank	Water	4/17/2015 00:00	4/17/2015 14:08

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007001** Date Received: 04/13/15 14:50 Matrix: Water
 Sample ID: **Field Blank** Date Collected: 04/13/15 11:35

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A Analytical Method: SW-846 6010					
Aluminum	61	U	ug/L	1	200	61	4/16/2015 19:07	J
Iron	38	U	ug/L	1	200	38	4/17/2015 11:47	J
Sodium	0.19	I	mg/L	1	0.20	0.026	4/16/2015 19:07	J
METALS								
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A Analytical Method: SW-846 6020					
Arsenic	0.15	U	ug/L	1	2.0	0.15	4/28/2015 18:32	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 18:32	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 18:32	J
Manganese	0.11	U	ug/L	1	2.0	0.11	4/28/2015 18:32	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/21/2015 15:33	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/21/2015 15:33	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/21/2015 15:33	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/21/2015 15:33	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/21/2015 15:33	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/21/2015 15:33	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/21/2015 15:33	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/21/2015 15:33	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/21/2015 15:33	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 15:33	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/21/2015 15:33	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/21/2015 15:33	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/21/2015 15:33	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/21/2015 15:33	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 15:33	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/21/2015 15:33	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/21/2015 15:33	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/21/2015 15:33	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/21/2015 15:33	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/21/2015 15:33	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/21/2015 15:33	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007001**
Sample ID: **Field Blank**

Date Received: 04/13/15 14:50 Matrix: Water
Date Collected: 04/13/15 11:35

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/21/2015 15:33	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/21/2015 15:33	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/21/2015 15:33	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/21/2015 15:33	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/21/2015 15:33	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/21/2015 15:33	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/21/2015 15:33	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/21/2015 15:33	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/21/2015 15:33	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 15:33	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/21/2015 15:33	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/21/2015 15:33	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/21/2015 15:33	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/21/2015 15:33	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/21/2015 15:33	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/21/2015 15:33	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/21/2015 15:33	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/21/2015 15:33	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/21/2015 15:33	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/21/2015 15:33	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/21/2015 15:33	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 15:33	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/21/2015 15:33	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/21/2015 15:33	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/21/2015 15:33	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 15:33	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/21/2015 15:33	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/21/2015 15:33	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/21/2015 15:33	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/21/2015 15:33	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 15:33	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 15:33	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/21/2015 15:33	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/21/2015 15:33	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/21/2015 15:33	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/21/2015 15:33	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/21/2015 15:33	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/21/2015 15:33	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/21/2015 15:33	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/21/2015 15:33	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007001**

Date Received: 04/13/15 14:50 Matrix: Water

Sample ID: **Field Blank**

Date Collected: 04/13/15 11:35

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/21/2015 15:33	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/21/2015 15:33	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/21/2015 15:33	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/21/2015 15:33	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 15:33	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/21/2015 15:33	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/21/2015 15:33	T
1,2-Dichloroethane-d4 (S)	113		%	1	70-130		4/21/2015 15:33	
Toluene-d8 (S)	111		%	1	70-130		4/21/2015 15:33	
Bromofluorobenzene (S)	105		%	1	70-130		4/21/2015 15:33	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids,SM2540C

Analytical Method: SM 2540 C

Total Dissolved Solids	10	U	mg/L	1	10	10	4/16/2015 08:41	T
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Analysis Desc: Chlorides,SM4500-Cl-E,Water

Analytical Method: SM 4500-Cl-E

Chloride	1.1	U	mg/L	1	5.0	1.1	4/14/2015 14:22	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007002** Date Received: 04/13/15 14:50 Matrix: Water
 Sample ID: **ESW-2** Date Collected: 04/13/15 11:39

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	474		umhos/cm	1			4/13/2015 11:39	
Dissolved Oxygen	5.45		mg/L	1			4/13/2015 11:39	
Temperature	24.08		°C	1			4/13/2015 11:39	
Turbidity	1.61		NTU	1			4/13/2015 11:39	
pH	6.55		SU	1			4/13/2015 11:39	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	61	U	ug/L	1	200	61	4/16/2015 19:11	J
Iron	170	I	ug/L	1	200	38	4/17/2015 11:52	J
Sodium	17		mg/L	1	0.20	0.026	4/16/2015 19:11	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	1.6	I	ug/L	1	2.0	0.15	4/28/2015 18:36	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 18:36	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 18:36	J
Manganese	11		ug/L	1	2.0	0.11	4/28/2015 18:36	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/21/2015 16:20	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/21/2015 16:20	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/21/2015 16:20	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/21/2015 16:20	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/21/2015 16:20	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/21/2015 16:20	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/21/2015 16:20	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/21/2015 16:20	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/21/2015 16:20	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 16:20	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/21/2015 16:20	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/21/2015 16:20	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007002**
Sample ID: **ESW-2**

Date Received: 04/13/15 14:50 Matrix: Water
Date Collected: 04/13/15 11:39

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/21/2015 16:20	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/21/2015 16:20	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 16:20	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/21/2015 16:20	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/21/2015 16:20	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/21/2015 16:20	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/21/2015 16:20	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/21/2015 16:20	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/21/2015 16:20	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/21/2015 16:20	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/21/2015 16:20	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/21/2015 16:20	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/21/2015 16:20	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/21/2015 16:20	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/21/2015 16:20	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/21/2015 16:20	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/21/2015 16:20	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/21/2015 16:20	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 16:20	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/21/2015 16:20	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/21/2015 16:20	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/21/2015 16:20	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/21/2015 16:20	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/21/2015 16:20	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/21/2015 16:20	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/21/2015 16:20	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/21/2015 16:20	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/21/2015 16:20	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/21/2015 16:20	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/21/2015 16:20	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 16:20	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/21/2015 16:20	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/21/2015 16:20	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/21/2015 16:20	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 16:20	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/21/2015 16:20	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/21/2015 16:20	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/21/2015 16:20	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/21/2015 16:20	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 16:20	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007002**
Sample ID: **ESW-2**

Date Received: 04/13/15 14:50 Matrix: Water
Date Collected: 04/13/15 11:39

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 16:20	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/21/2015 16:20	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/21/2015 16:20	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/21/2015 16:20	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/21/2015 16:20	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/21/2015 16:20	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/21/2015 16:20	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/21/2015 16:20	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/21/2015 16:20	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/21/2015 16:20	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/21/2015 16:20	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/21/2015 16:20	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/21/2015 16:20	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 16:20	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/21/2015 16:20	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/21/2015 16:20	T
1,2-Dichloroethane-d4 (S)	108		%	1	70-130		4/21/2015 16:20	
Toluene-d8 (S)	109		%	1	70-130		4/21/2015 16:20	
Bromofluorobenzene (S)	107		%	1	70-130		4/21/2015 16:20	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	280		mg/L	1	10	10	4/16/2015 08:41	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	20		mg/L	1	5.0	1.1	4/14/2015 14:22	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007003** Date Received: 04/13/15 14:50 Matrix: Water
 Sample ID: **Trip Blank** Date Collected: 04/13/15 00:00

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/21/2015 17:07	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/21/2015 17:07	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/21/2015 17:07	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/21/2015 17:07	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/21/2015 17:07	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/21/2015 17:07	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/21/2015 17:07	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/21/2015 17:07	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/21/2015 17:07	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 17:07	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/21/2015 17:07	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/21/2015 17:07	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/21/2015 17:07	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/21/2015 17:07	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 17:07	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/21/2015 17:07	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/21/2015 17:07	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/21/2015 17:07	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/21/2015 17:07	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/21/2015 17:07	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/21/2015 17:07	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/21/2015 17:07	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/21/2015 17:07	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/21/2015 17:07	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/21/2015 17:07	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/21/2015 17:07	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/21/2015 17:07	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/21/2015 17:07	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/21/2015 17:07	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/21/2015 17:07	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 17:07	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/21/2015 17:07	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/21/2015 17:07	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/21/2015 17:07	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/21/2015 17:07	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/21/2015 17:07	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007003**
Sample ID: **Trip Blank**

Date Received: 04/13/15 14:50 Matrix: Water
Date Collected: 04/13/15 00:00

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/21/2015 17:07	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/21/2015 17:07	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/21/2015 17:07	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/21/2015 17:07	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/21/2015 17:07	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/21/2015 17:07	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 17:07	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/21/2015 17:07	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/21/2015 17:07	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/21/2015 17:07	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 17:07	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/21/2015 17:07	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/21/2015 17:07	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/21/2015 17:07	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/21/2015 17:07	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 17:07	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 17:07	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/21/2015 17:07	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/21/2015 17:07	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/21/2015 17:07	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/21/2015 17:07	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/21/2015 17:07	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/21/2015 17:07	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/21/2015 17:07	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/21/2015 17:07	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/21/2015 17:07	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/21/2015 17:07	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/21/2015 17:07	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/21/2015 17:07	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 17:07	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/21/2015 17:07	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/21/2015 17:07	T
1,2-Dichloroethane-d4 (S)	111		%	1	70-130		4/21/2015 17:07	
Toluene-d8 (S)	105		%	1	70-130		4/21/2015 17:07	
Bromofluorobenzene (S)	107		%	1	70-130		4/21/2015 17:07	

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007004** Date Received: 04/14/15 15:25 Matrix: Water
 Sample ID: **ES-1S** Date Collected: 04/14/15 10:09

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	751		umhos/cm	1			4/14/2015 10:09	
Dissolved Oxygen	1.62		mg/L	1			4/14/2015 10:09	
Temperature	22.63		°C	1			4/14/2015 10:09	
Turbidity	8.42		NTU	1			4/14/2015 10:09	
pH	7		SU	1			4/14/2015 10:09	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	1700		ug/L	1	200	61	4/16/2015 19:16	J
Iron	220		ug/L	1	200	38	4/17/2015 11:56	J
Sodium	7.6		mg/L	1	0.20	0.026	4/16/2015 19:16	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.83	I	ug/L	1	2.0	0.15	4/28/2015 18:39	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 18:39	J
Lead	1.4		ug/L	1	1.4	0.48	4/28/2015 18:39	J
Manganese	8.0		ug/L	1	2.0	0.11	4/28/2015 18:39	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/21/2015 17:54	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/21/2015 17:54	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/21/2015 17:54	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/21/2015 17:54	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/21/2015 17:54	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/21/2015 17:54	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/21/2015 17:54	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/21/2015 17:54	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/21/2015 17:54	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 17:54	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/21/2015 17:54	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/21/2015 17:54	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007004**
Sample ID: **ES-1S**

Date Received: 04/14/15 15:25 Matrix: Water
Date Collected: 04/14/15 10:09

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/21/2015 17:54	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/21/2015 17:54	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 17:54	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/21/2015 17:54	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/21/2015 17:54	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/21/2015 17:54	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/21/2015 17:54	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/21/2015 17:54	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/21/2015 17:54	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/21/2015 17:54	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/21/2015 17:54	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/21/2015 17:54	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/21/2015 17:54	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/21/2015 17:54	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/21/2015 17:54	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/21/2015 17:54	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/21/2015 17:54	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/21/2015 17:54	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 17:54	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/21/2015 17:54	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/21/2015 17:54	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/21/2015 17:54	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/21/2015 17:54	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/21/2015 17:54	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/21/2015 17:54	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/21/2015 17:54	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/21/2015 17:54	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/21/2015 17:54	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/21/2015 17:54	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/21/2015 17:54	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/21/2015 17:54	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/21/2015 17:54	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/21/2015 17:54	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/21/2015 17:54	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 17:54	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/21/2015 17:54	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/21/2015 17:54	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/21/2015 17:54	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/21/2015 17:54	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/21/2015 17:54	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007004**
 Sample ID: **ES-1S**

Date Received: 04/14/15 15:25 Matrix: Water
 Date Collected: 04/14/15 10:09

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/21/2015 17:54	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/21/2015 17:54	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/21/2015 17:54	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/21/2015 17:54	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/21/2015 17:54	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/21/2015 17:54	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/21/2015 17:54	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/21/2015 17:54	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/21/2015 17:54	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/21/2015 17:54	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/21/2015 17:54	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/21/2015 17:54	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/21/2015 17:54	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/21/2015 17:54	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/21/2015 17:54	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/21/2015 17:54	T
1,2-Dichloroethane-d4 (S)	113		%	1	70-130		4/21/2015 17:54	
Toluene-d8 (S)	112		%	1	70-130		4/21/2015 17:54	
Bromofluorobenzene (S)	105		%	1	70-130		4/21/2015 17:54	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	460		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	26		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007005**
 Sample ID: **ES-2S**

Date Received: 04/14/15 15:25 Matrix: Water
 Date Collected: 04/14/15 11:26

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	1218		umhos/cm	1			4/14/2015 11:26	
Dissolved Oxygen	1.12		mg/L	1			4/14/2015 11:26	
Temperature	20.89		°C	1			4/14/2015 11:26	
Turbidity	2.96		NTU	1			4/14/2015 11:26	
pH	6.61		SU	1			4/14/2015 11:26	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	61	U	ug/L	1	200	61	4/16/2015 19:21	J
Iron	38	U	ug/L	1	200	38	4/17/2015 12:00	J
Sodium	34		mg/L	1	0.20	0.026	4/16/2015 19:21	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.33	I	ug/L	1	2.0	0.15	4/28/2015 18:51	J
Cadmium	0.14	I	ug/L	1	1.0	0.056	4/28/2015 18:51	J
Lead	0.84	I	ug/L	1	1.4	0.48	4/28/2015 18:51	J
Manganese	3.1		ug/L	1	2.0	0.11	4/28/2015 18:51	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/22/2015 15:20	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/22/2015 15:20	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/22/2015 15:20	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/22/2015 15:20	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/22/2015 15:20	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/22/2015 15:20	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/22/2015 15:20	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/22/2015 15:20	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/22/2015 15:20	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/22/2015 15:20	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/22/2015 15:20	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/22/2015 15:20	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007005**
 Sample ID: **ES-2S**

Date Received: 04/14/15 15:25 Matrix: Water
 Date Collected: 04/14/15 11:26

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/22/2015 15:20	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/22/2015 15:20	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/22/2015 15:20	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/22/2015 15:20	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/22/2015 15:20	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/22/2015 15:20	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/22/2015 15:20	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/22/2015 15:20	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/22/2015 15:20	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/22/2015 15:20	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/22/2015 15:20	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/22/2015 15:20	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/22/2015 15:20	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/22/2015 15:20	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/22/2015 15:20	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/22/2015 15:20	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/22/2015 15:20	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/22/2015 15:20	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/22/2015 15:20	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/22/2015 15:20	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/22/2015 15:20	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/22/2015 15:20	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/22/2015 15:20	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/22/2015 15:20	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/22/2015 15:20	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/22/2015 15:20	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/22/2015 15:20	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/22/2015 15:20	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/22/2015 15:20	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/22/2015 15:20	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/22/2015 15:20	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/22/2015 15:20	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/22/2015 15:20	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/22/2015 15:20	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/22/2015 15:20	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/22/2015 15:20	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/22/2015 15:20	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/22/2015 15:20	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/22/2015 15:20	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/22/2015 15:20	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007005**
 Sample ID: **ES-2S**

Date Received: 04/14/15 15:25 Matrix: Water
 Date Collected: 04/14/15 11:26

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/22/2015 15:20	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/22/2015 15:20	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/22/2015 15:20	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/22/2015 15:20	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/22/2015 15:20	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/22/2015 15:20	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/22/2015 15:20	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/22/2015 15:20	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/22/2015 15:20	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/22/2015 15:20	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/22/2015 15:20	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/22/2015 15:20	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/22/2015 15:20	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/22/2015 15:20	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/22/2015 15:20	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/22/2015 15:20	T
1,2-Dichloroethane-d4 (S)	91		%	1	70-130		4/22/2015 15:20	
Toluene-d8 (S)	100		%	1	70-130		4/22/2015 15:20	
Bromofluorobenzene (S)	107		%	1	70-130		4/22/2015 15:20	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	810		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	140		mg/L	2	10	2.3	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007006** Date Received: 04/14/15 15:25 Matrix: Water
 Sample ID: **ES-3S** Date Collected: 04/14/15 12:26

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	291		umhos/cm	1			4/14/2015 12:26	
Dissolved Oxygen	0.77		mg/L	1			4/14/2015 12:26	
Temperature	22.04		°C	1			4/14/2015 12:26	
Turbidity	11.5		NTU	1			4/14/2015 12:26	
pH	5.55		SU	1			4/14/2015 12:26	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	1300		ug/L	1	200	61	4/16/2015 19:25	J
Iron	510		ug/L	1	200	38	4/17/2015 12:04	J
Sodium	16		mg/L	1	0.20	0.026	4/16/2015 19:25	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.92	I	ug/L	1	2.0	0.15	4/28/2015 18:55	J
Cadmium	0.13	I	ug/L	1	1.0	0.056	4/28/2015 18:55	J
Lead	0.96	I	ug/L	1	1.4	0.48	4/28/2015 18:55	J
Manganese	12		ug/L	1	2.0	0.11	4/28/2015 18:55	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 05:19	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 05:19	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 05:19	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 05:19	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 05:19	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 05:19	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 05:19	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 05:19	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 05:19	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 05:19	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 05:19	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 05:19	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007006**
Sample ID: **ES-3S**

Date Received: 04/14/15 15:25 Matrix: Water
Date Collected: 04/14/15 12:26

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 05:19	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 05:19	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 05:19	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 05:19	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 05:19	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 05:19	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 05:19	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 05:19	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 05:19	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 05:19	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 05:19	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 05:19	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 05:19	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 05:19	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 05:19	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 05:19	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 05:19	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 05:19	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 05:19	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 05:19	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 05:19	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 05:19	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 05:19	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 05:19	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 05:19	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 05:19	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 05:19	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 05:19	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 05:19	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 05:19	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 05:19	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 05:19	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 05:19	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 05:19	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 05:19	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 05:19	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 05:19	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 05:19	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 05:19	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 05:19	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007006**
Sample ID: **ES-3S**

Date Received: 04/14/15 15:25 Matrix: Water
Date Collected: 04/14/15 12:26

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 05:19	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 05:19	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 05:19	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 05:19	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 05:19	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 05:19	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 05:19	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 05:19	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 05:19	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 05:19	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 05:19	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 05:19	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 05:19	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 05:19	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 05:19	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 05:19	T
1,2-Dichloroethane-d4 (S)	99		%	1	70-130		4/23/2015 05:19	
Toluene-d8 (S)	99		%	1	70-130		4/23/2015 05:19	
Bromofluorobenzene (S)	107		%	1	70-130		4/23/2015 05:19	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	210		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	44		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007007** Date Received: 04/14/15 15:25 Matrix: Water
 Sample ID: **ES-4S** Date Collected: 04/14/15 13:30

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	3805		umhos/cm	1			4/14/2015 13:30	
Dissolved Oxygen	0.44		mg/L	1			4/14/2015 13:30	
Temperature	21.98		°C	1			4/14/2015 13:30	
Turbidity	4.97		NTU	1			4/14/2015 13:30	
pH	5.87		SU	1			4/14/2015 13:30	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	150	I	ug/L	1	200	61	4/16/2015 19:29	J
Iron	170	I	ug/L	1	200	38	4/17/2015 12:09	J
Sodium	160		mg/L	1	0.20	0.026	4/16/2015 19:29	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.86	I	ug/L	1	2.0	0.15	4/28/2015 18:58	J
Cadmium	0.10	I	ug/L	1	1.0	0.056	4/28/2015 18:58	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 18:58	J
Manganese	67		ug/L	1	2.0	0.11	4/28/2015 18:58	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 06:06	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 06:06	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 06:06	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 06:06	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 06:06	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 06:06	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 06:06	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 06:06	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 06:06	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 06:06	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 06:06	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 06:06	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007007**
Sample ID: **ES-4S**

Date Received: 04/14/15 15:25 Matrix: Water
Date Collected: 04/14/15 13:30

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 06:06	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 06:06	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 06:06	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 06:06	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 06:06	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 06:06	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 06:06	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 06:06	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 06:06	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 06:06	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 06:06	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 06:06	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 06:06	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 06:06	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 06:06	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 06:06	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 06:06	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 06:06	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 06:06	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 06:06	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 06:06	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 06:06	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 06:06	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 06:06	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 06:06	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 06:06	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 06:06	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 06:06	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 06:06	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 06:06	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 06:06	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 06:06	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 06:06	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 06:06	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 06:06	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 06:06	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 06:06	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 06:06	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 06:06	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 06:06	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007007**
Sample ID: **ES-4S**

Date Received: 04/14/15 15:25 Matrix: Water
Date Collected: 04/14/15 13:30

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 06:06	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 06:06	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 06:06	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 06:06	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 06:06	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 06:06	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 06:06	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 06:06	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 06:06	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 06:06	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 06:06	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 06:06	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 06:06	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 06:06	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 06:06	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 06:06	T
1,2-Dichloroethane-d4 (S)	101		%	1	70-130		4/23/2015 06:06	
Toluene-d8 (S)	98		%	1	70-130		4/23/2015 06:06	
Bromofluorobenzene (S)	108		%	1	70-130		4/23/2015 06:06	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids,SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	2600	mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides,SM4500-Cl-E,Water Analytical Method: SM 4500-Cl-E

Chloride	1000	mg/L	20	100	23	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007008** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Duplicate** Date Collected: 04/15/15 00:00

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
METALS								
Analysis Desc: SW846 6010B			Preparation Method: SW-846 3010A					
Analysis, Water			Analytical Method: SW-846 6010					
Aluminum	410		ug/L	1	200	61	4/22/2015 09:05	J
Iron	13000		ug/L	1	200	38	4/22/2015 09:05	J
Sodium	29		mg/L	1	0.20	0.026	4/22/2015 09:05	J
Analysis Desc: SW846 6020B			Preparation Method: SW-846 3010A					
Analysis, Total			Analytical Method: SW-846 6020					
Arsenic	44		ug/L	1	2.0	0.15	4/28/2015 19:02	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 19:02	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 19:02	J
Manganese	19		ug/L	1	2.0	0.11	4/28/2015 19:02	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 04:27	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 04:27	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 04:27	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 04:27	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 04:27	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 04:27	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 04:27	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 04:27	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 04:27	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 04:27	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 04:27	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 04:27	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 04:27	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 04:27	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 04:27	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 04:27	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 04:27	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 04:27	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 04:27	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 04:27	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 04:27	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007008**
 Sample ID: **Duplicate**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/15/15 00:00

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 04:27	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 04:27	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 04:27	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 04:27	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 04:27	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 04:27	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 04:27	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 04:27	T
Benzene	1.2		ug/L	1	1.0	0.34	4/24/2015 04:27	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 04:27	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 04:27	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 04:27	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 04:27	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 04:27	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 04:27	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 04:27	T
Chlorobenzene	3.0		ug/L	1	1.0	0.56	4/24/2015 04:27	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 04:27	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 04:27	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 04:27	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 04:27	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 04:27	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 04:27	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 04:27	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 04:27	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 04:27	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 04:27	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 04:27	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 04:27	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 04:27	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 04:27	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 04:27	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 04:27	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 04:27	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 04:27	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 04:27	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 04:27	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 04:27	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 04:27	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 04:27	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007008**
Sample ID: **Duplicate**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 00:00

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 04:27	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 04:27	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 04:27	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 04:27	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 04:27	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 04:27	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 04:27	T
1,2-Dichloroethane-d4 (S)	103		%	1	70-130		4/24/2015 04:27	
Toluene-d8 (S)	99		%	1	70-130		4/24/2015 04:27	
Bromofluorobenzene (S)	107		%	1	70-130		4/24/2015 04:27	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids,SM2540C

Analytical Method: SM 2540 C

Total Dissolved Solids	410		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides,SM4500-Cl-E,Water

Analytical Method: SM 4500-Cl-E

Chloride	76		mg/L	1	5.0	1.1	5/7/2015 16:03	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007009** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-5S** Date Collected: 04/15/15 10:20

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	650		umhos/cm	1			4/15/2015 10:20	
Dissolved Oxygen	0.55		mg/L	1			4/15/2015 10:20	
Temperature	22.05		°C	1			4/15/2015 10:20	
Turbidity	4.22		NTU	1			4/15/2015 10:20	
pH	5.31		SU	1			4/15/2015 10:20	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	240		ug/L	1	200	61	4/22/2015 09:51	J
Iron	13000		ug/L	1	200	38	4/22/2015 09:51	J
Sodium	29		mg/L	1	0.20	0.026	4/22/2015 09:51	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	54		ug/L	1	2.0	0.15	4/28/2015 19:06	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 19:06	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 19:06	J
Manganese	24		ug/L	1	2.0	0.11	4/28/2015 19:06	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 05:13	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 05:13	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 05:13	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 05:13	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 05:13	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 05:13	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 05:13	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 05:13	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 05:13	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 05:13	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 05:13	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 05:13	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007009**
Sample ID: **ES-5S**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 10:20

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 05:13	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 05:13	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 05:13	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 05:13	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 05:13	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 05:13	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 05:13	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 05:13	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 05:13	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 05:13	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 05:13	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 05:13	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 05:13	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 05:13	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 05:13	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 05:13	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 05:13	T
Benzene	1.1	U	ug/L	1	1.0	0.34	4/24/2015 05:13	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 05:13	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 05:13	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 05:13	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 05:13	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 05:13	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 05:13	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 05:13	T
Chlorobenzene	2.9	U	ug/L	1	1.0	0.56	4/24/2015 05:13	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 05:13	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 05:13	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 05:13	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 05:13	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 05:13	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 05:13	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 05:13	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 05:13	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 05:13	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 05:13	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 05:13	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 05:13	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 05:13	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 05:13	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007009**
Sample ID: **ES-5S**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 10:20

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 05:13	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 05:13	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 05:13	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 05:13	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 05:13	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 05:13	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 05:13	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 05:13	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 05:13	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 05:13	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 05:13	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 05:13	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 05:13	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 05:13	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 05:13	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 05:13	T
1,2-Dichloroethane-d4 (S)	108		%	1	70-130		4/24/2015 05:13	
Toluene-d8 (S)	98		%	1	70-130		4/24/2015 05:13	
Bromofluorobenzene (S)	105		%	1	70-130		4/24/2015 05:13	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	410		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	78		mg/L	1	5.0	1.1	5/7/2015 16:03	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007010** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-5D** Date Collected: 04/15/15 11:06

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	607		umhos/cm	1			4/15/2015 11:06	
Dissolved Oxygen	0.25		mg/L	1			4/15/2015 11:06	
Temperature	23.36		°C	1			4/15/2015 11:06	
Turbidity	4.56		NTU	1			4/15/2015 11:06	
pH	6.86		SU	1			4/15/2015 11:06	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	970		ug/L	1	200	61	4/22/2015 09:55	J
Iron	1500		ug/L	1	200	38	4/22/2015 09:55	J
Sodium	11		mg/L	1	0.20	0.026	4/22/2015 09:55	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	2.0		ug/L	1	2.0	0.15	4/28/2015 19:10	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 19:10	J
Lead	1.0	I	ug/L	1	1.4	0.48	4/28/2015 19:10	J
Manganese	60		ug/L	1	2.0	0.11	4/28/2015 19:10	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 06:00	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 06:00	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 06:00	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 06:00	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 06:00	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 06:00	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 06:00	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 06:00	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 06:00	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 06:00	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 06:00	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 06:00	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007010**
Sample ID: **ES-5D**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 11:06

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 06:00	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 06:00	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 06:00	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 06:00	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 06:00	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 06:00	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 06:00	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 06:00	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 06:00	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 06:00	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 06:00	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 06:00	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 06:00	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 06:00	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 06:00	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 06:00	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 06:00	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 06:00	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 06:00	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 06:00	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 06:00	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 06:00	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 06:00	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 06:00	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 06:00	T
Chlorobenzene	1.1	U	ug/L	1	1.0	0.56	4/24/2015 06:00	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 06:00	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 06:00	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 06:00	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 06:00	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 06:00	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 06:00	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 06:00	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 06:00	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 06:00	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 06:00	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 06:00	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 06:00	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 06:00	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 06:00	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007010**
Sample ID: **ES-5D**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 11:06

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 06:00	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 06:00	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 06:00	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 06:00	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 06:00	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 06:00	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 06:00	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 06:00	T
cis-1,2-Dichloroethylene	0.63	I	ug/L	1	1.0	0.51	4/24/2015 06:00	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 06:00	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 06:00	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 06:00	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 06:00	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 06:00	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 06:00	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 06:00	T
1,2-Dichloroethane-d4 (S)	100		%	1	70-130		4/24/2015 06:00	
Toluene-d8 (S)	100		%	1	70-130		4/24/2015 06:00	
Bromofluorobenzene (S)	109		%	1	70-130		4/24/2015 06:00	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	330		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	28		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007011** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-9S** Date Collected: 04/15/15 12:09

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	470		umhos/cm	1			4/15/2015 12:09	
Dissolved Oxygen	0.42		mg/L	1			4/15/2015 12:09	
Temperature	21.71		°C	1			4/15/2015 12:09	
Turbidity	7.13		NTU	1			4/15/2015 12:09	
pH	5.51		SU	1			4/15/2015 12:09	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	620		ug/L	1	200	61	4/22/2015 10:00	J
Iron	2200		ug/L	1	200	38	4/22/2015 10:00	J
Sodium	19		mg/L	1	0.20	0.026	4/22/2015 10:00	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	1.8	I	ug/L	1	2.0	0.15	4/28/2015 19:14	J
Cadmium	0.062	I	ug/L	1	1.0	0.056	4/28/2015 19:14	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 19:14	J
Manganese	11		ug/L	1	2.0	0.11	4/28/2015 19:14	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 06:47	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 06:47	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 06:47	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 06:47	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 06:47	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 06:47	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 06:47	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 06:47	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 06:47	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 06:47	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 06:47	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 06:47	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007011**
Sample ID: **ES-9S**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 12:09

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 06:47	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 06:47	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 06:47	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 06:47	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 06:47	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 06:47	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 06:47	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 06:47	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 06:47	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 06:47	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 06:47	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 06:47	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 06:47	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 06:47	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 06:47	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 06:47	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 06:47	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 06:47	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 06:47	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 06:47	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 06:47	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 06:47	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 06:47	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 06:47	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 06:47	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/24/2015 06:47	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 06:47	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 06:47	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 06:47	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 06:47	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 06:47	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 06:47	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 06:47	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 06:47	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 06:47	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 06:47	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 06:47	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 06:47	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 06:47	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 06:47	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007011**
 Sample ID: **ES-9S**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/15/15 12:09

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 06:47	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 06:47	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 06:47	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 06:47	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 06:47	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 06:47	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 06:47	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 06:47	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 06:47	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 06:47	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 06:47	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 06:47	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 06:47	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 06:47	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 06:47	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 06:47	T
1,2-Dichloroethane-d4 (S)	104		%	1	70-130		4/24/2015 06:47	
Toluene-d8 (S)	98		%	1	70-130		4/24/2015 06:47	
Bromofluorobenzene (S)	111		%	1	70-130		4/24/2015 06:47	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	360		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	34		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007012** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-9D** Date Collected: 04/15/15 13:01

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	324		umhos/cm	1			4/15/2015 13:01	
Dissolved Oxygen	0.37		mg/L	1			4/15/2015 13:01	
Temperature	22.91		°C	1			4/15/2015 13:01	
Turbidity	1.72		NTU	1			4/15/2015 13:01	
pH	5.89		SU	1			4/15/2015 13:01	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	310		ug/L	1	200	61	4/22/2015 10:04	J
Iron	200	I	ug/L	1	200	38	4/22/2015 10:04	J
Sodium	9.0		mg/L	1	0.20	0.026	4/22/2015 10:04	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.35	I	ug/L	1	2.0	0.15	4/28/2015 19:17	J
Cadmium	1.6		ug/L	1	1.0	0.056	4/28/2015 19:17	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 19:17	J
Manganese	99		ug/L	1	2.0	0.11	4/28/2015 19:17	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 07:34	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 07:34	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 07:34	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 07:34	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 07:34	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 07:34	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 07:34	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 07:34	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 07:34	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 07:34	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 07:34	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 07:34	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007012**
Sample ID: **ES-9D**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 13:01

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 07:34	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 07:34	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 07:34	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 07:34	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 07:34	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 07:34	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 07:34	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 07:34	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 07:34	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 07:34	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 07:34	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 07:34	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 07:34	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 07:34	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 07:34	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 07:34	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 07:34	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 07:34	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 07:34	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 07:34	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 07:34	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 07:34	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 07:34	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 07:34	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 07:34	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/24/2015 07:34	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 07:34	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 07:34	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 07:34	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 07:34	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 07:34	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 07:34	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 07:34	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 07:34	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 07:34	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 07:34	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 07:34	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 07:34	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 07:34	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 07:34	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007012**
Sample ID: **ES-9D**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 13:01

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 07:34	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 07:34	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 07:34	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 07:34	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 07:34	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 07:34	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 07:34	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 07:34	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 07:34	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 07:34	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 07:34	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 07:34	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 07:34	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 07:34	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 07:34	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 07:34	T
1,2-Dichloroethane-d4 (S)	99		%	1	70-130		4/24/2015 07:34	
Toluene-d8 (S)	100		%	1	70-130		4/24/2015 07:34	
Bromofluorobenzene (S)	110		%	1	70-130		4/24/2015 07:34	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	210	mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	26	mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007013** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-6S** Date Collected: 04/15/15 13:55

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	1660		umhos/cm	1			4/15/2015 13:55	
Dissolved Oxygen	0.78		mg/L	1			4/15/2015 13:55	
Temperature	2261		°C	1			4/15/2015 13:55	
Turbidity	2.33		NTU	1			4/15/2015 13:55	
pH	6.49		SU	1			4/15/2015 13:55	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	61	U	ug/L	1	200	61	4/22/2015 10:09	J
Iron	13000		ug/L	1	200	38	4/22/2015 10:09	J
Sodium	21		mg/L	1	0.20	0.026	4/22/2015 10:09	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	3.6		ug/L	1	2.0	0.15	4/28/2015 19:21	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 19:21	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 19:21	J
Manganese	96		ug/L	1	2.0	0.11	4/28/2015 19:21	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 08:20	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 08:20	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 08:20	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 08:20	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 08:20	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 08:20	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 08:20	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 08:20	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 08:20	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 08:20	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 08:20	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 08:20	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007013**
 Sample ID: **ES-6S**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/15/15 13:55

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 08:20	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 08:20	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 08:20	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 08:20	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 08:20	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 08:20	T
1,4-Dichlorobenzene	2.8	U	ug/L	1	1.0	0.97	4/24/2015 08:20	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 08:20	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 08:20	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 08:20	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 08:20	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 08:20	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 08:20	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 08:20	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 08:20	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 08:20	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 08:20	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 08:20	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 08:20	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 08:20	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 08:20	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 08:20	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 08:20	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 08:20	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 08:20	T
Chlorobenzene	16	U	ug/L	1	1.0	0.56	4/24/2015 08:20	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 08:20	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 08:20	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 08:20	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 08:20	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 08:20	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 08:20	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 08:20	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 08:20	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 08:20	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 08:20	T
Isopropylbenzene	3.7	U	ug/L	1	1.0	0.31	4/24/2015 08:20	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 08:20	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 08:20	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 08:20	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007013**
Sample ID: **ES-6S**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/15/15 13:55

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 08:20	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 08:20	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 08:20	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 08:20	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 08:20	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 08:20	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 08:20	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 08:20	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 08:20	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 08:20	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 08:20	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 08:20	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 08:20	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 08:20	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 08:20	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 08:20	T
1,2-Dichloroethane-d4 (S)	101		%	1	70-130		4/24/2015 08:20	
Toluene-d8 (S)	98		%	1	70-130		4/24/2015 08:20	
Bromofluorobenzene (S)	108		%	1	70-130		4/24/2015 08:20	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	760		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	21		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007014** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-6D** Date Collected: 04/15/15 14:50

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	320		umhos/cm	1			4/15/2015 14:50	
Dissolved Oxygen	0.26		mg/L	1			4/15/2015 14:50	
Temperature	22.77		°C	1			4/15/2015 14:50	
Turbidity	0.59		NTU	1			4/15/2015 14:50	
pH	7.47		SU	1			4/15/2015 14:50	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	61	U	ug/L	1	200	61	4/22/2015 10:14	J
Iron	38	U	ug/L	1	200	38	4/22/2015 10:14	J
Sodium	5.7		mg/L	1	0.20	0.026	4/22/2015 10:14	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.20	I	ug/L	1	2.0	0.15	4/28/2015 19:25	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 19:25	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 19:25	J
Manganese	16		ug/L	1	2.0	0.11	4/28/2015 19:25	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 17:16	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 17:16	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 17:16	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 17:16	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 17:16	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 17:16	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 17:16	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 17:16	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 17:16	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 17:16	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 17:16	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 17:16	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007014**
 Sample ID: **ES-6D**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/15/15 14:50

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 17:16	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 17:16	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 17:16	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 17:16	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 17:16	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 17:16	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 17:16	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 17:16	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 17:16	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 17:16	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 17:16	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 17:16	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 17:16	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 17:16	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 17:16	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 17:16	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 17:16	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 17:16	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 17:16	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 17:16	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 17:16	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 17:16	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 17:16	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 17:16	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 17:16	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/24/2015 17:16	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 17:16	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 17:16	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 17:16	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 17:16	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 17:16	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 17:16	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 17:16	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 17:16	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 17:16	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 17:16	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 17:16	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 17:16	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 17:16	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 17:16	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007014**
 Sample ID: **ES-6D**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/15/15 14:50

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 17:16	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 17:16	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 17:16	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 17:16	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 17:16	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 17:16	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 17:16	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 17:16	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 17:16	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 17:16	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 17:16	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 17:16	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 17:16	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 17:16	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 17:16	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 17:16	T
1,2-Dichloroethane-d4 (S)	98		%	1	70-130		4/24/2015 17:16	
Toluene-d8 (S)	100		%	1	70-130		4/24/2015 17:16	
Bromofluorobenzene (S)	110		%	1	70-130		4/24/2015 17:16	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	200		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	6.0		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007015** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Trip Blank** Date Collected: 04/15/15 00:00

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 18:02	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 18:02	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 18:02	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 18:02	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 18:02	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 18:02	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 18:02	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 18:02	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 18:02	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 18:02	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 18:02	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 18:02	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 18:02	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 18:02	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 18:02	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 18:02	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 18:02	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 18:02	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 18:02	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 18:02	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 18:02	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 18:02	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 18:02	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 18:02	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 18:02	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 18:02	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 18:02	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 18:02	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 18:02	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 18:02	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 18:02	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 18:02	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 18:02	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 18:02	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 18:02	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 18:02	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007015**
 Sample ID: **Trip Blank**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/15/15 00:00

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 18:02	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/24/2015 18:02	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 18:02	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 18:02	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 18:02	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 18:02	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 18:02	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 18:02	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 18:02	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 18:02	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 18:02	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 18:02	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 18:02	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 18:02	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 18:02	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 18:02	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 18:02	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 18:02	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 18:02	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 18:02	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 18:02	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 18:02	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 18:02	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 18:02	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 18:02	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 18:02	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 18:02	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 18:02	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 18:02	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 18:02	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 18:02	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 18:02	T
1,2-Dichloroethane-d4 (S)	100		%	1	70-130		4/24/2015 18:02	
Toluene-d8 (S)	100		%	1	70-130		4/24/2015 18:02	
Bromofluorobenzene (S)	109		%	1	70-130		4/24/2015 18:02	

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007016** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Trip Blank** Date Collected: 04/14/15 00:00

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 06:53	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 06:53	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 06:53	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 06:53	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 06:53	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 06:53	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 06:53	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 06:53	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 06:53	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 06:53	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 06:53	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 06:53	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 06:53	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 06:53	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 06:53	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 06:53	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 06:53	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 06:53	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 06:53	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 06:53	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 06:53	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 06:53	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 06:53	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 06:53	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 06:53	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 06:53	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 06:53	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 06:53	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 06:53	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 06:53	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 06:53	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 06:53	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 06:53	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 06:53	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 06:53	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 06:53	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007016**
Sample ID: **Trip Blank**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 00:00

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 06:53	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 06:53	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 06:53	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 06:53	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 06:53	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 06:53	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 06:53	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 06:53	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 06:53	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 06:53	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 06:53	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 06:53	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 06:53	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 06:53	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 06:53	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 06:53	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 06:53	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 06:53	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 06:53	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 06:53	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 06:53	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 06:53	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 06:53	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 06:53	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 06:53	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 06:53	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 06:53	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 06:53	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 06:53	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 06:53	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 06:53	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 06:53	T
1,2-Dichloroethane-d4 (S)	102		%	1	70-130		4/23/2015 06:53	
Toluene-d8 (S)	99		%	1	70-130		4/23/2015 06:53	
Bromofluorobenzene (S)	108		%	1	70-130		4/23/2015 06:53	

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007017** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-7S** Date Collected: 04/14/15 10:16

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	455		umhos/cm	1			4/16/2015 10:16	
Dissolved Oxygen	3.6		mg/L	1			4/16/2015 10:16	
Temperature	23.28		°C	1			4/16/2015 10:16	
Turbidity	19		NTU	1			4/16/2015 10:16	
pH	6.56		SU	1			4/16/2015 10:16	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	1900		ug/L	1	200	61	4/22/2015 10:19	J
Iron	470		ug/L	1	200	38	4/22/2015 10:19	J
Sodium	6.4		mg/L	1	0.20	0.026	4/22/2015 10:19	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.80	I	ug/L	1	2.0	0.15	4/28/2015 19:36	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 19:36	J
Lead	1.2	I	ug/L	1	1.4	0.48	4/28/2015 19:36	J
Manganese	2.1		ug/L	1	2.0	0.11	4/28/2015 19:36	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 07:39	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 07:39	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 07:39	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 07:39	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 07:39	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 07:39	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 07:39	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 07:39	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 07:39	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 07:39	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 07:39	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 07:39	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007017**
Sample ID: **ES-7S**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 10:16

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 07:39	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 07:39	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 07:39	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 07:39	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 07:39	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 07:39	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 07:39	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 07:39	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 07:39	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 07:39	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 07:39	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 07:39	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 07:39	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 07:39	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 07:39	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 07:39	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 07:39	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 07:39	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 07:39	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 07:39	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 07:39	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 07:39	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 07:39	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 07:39	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 07:39	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 07:39	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 07:39	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 07:39	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 07:39	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 07:39	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 07:39	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 07:39	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 07:39	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 07:39	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 07:39	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 07:39	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 07:39	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 07:39	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 07:39	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 07:39	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007017**
 Sample ID: **ES-7S**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/14/15 10:16

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 07:39	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 07:39	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 07:39	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 07:39	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 07:39	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 07:39	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 07:39	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 07:39	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 07:39	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 07:39	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 07:39	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 07:39	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 07:39	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 07:39	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 07:39	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 07:39	T
1,2-Dichloroethane-d4 (S)	106		%	1	70-130		4/23/2015 07:39	
Toluene-d8 (S)	97		%	1	70-130		4/23/2015 07:39	
Bromofluorobenzene (S)	107		%	1	70-130		4/23/2015 07:39	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	350		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	9.2		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007018** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Aldridge** Date Collected: 04/14/15 10:50

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	238		umhos/cm	1			4/16/2015 10:50	
Dissolved Oxygen	0.75		mg/L	1			4/16/2015 10:50	
Temperature	23.04		°C	1			4/16/2015 10:50	
Turbidity	0.45		NTU	1			4/16/2015 10:50	
pH	3.49		SU	1			4/16/2015 10:50	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	2600		ug/L	1	200	61	4/22/2015 10:23	J
Iron	160	I	ug/L	1	200	38	4/22/2015 10:23	J
Sodium	14		mg/L	1	0.20	0.026	4/22/2015 10:23	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.15	U	ug/L	1	2.0	0.15	4/28/2015 19:40	J
Cadmium	0.49	I	ug/L	1	1.0	0.056	4/28/2015 19:40	J
Lead	4.0		ug/L	1	1.4	0.48	4/28/2015 19:40	J
Manganese	9.4		ug/L	1	2.0	0.11	4/28/2015 19:40	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 16:01	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 16:01	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 16:01	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 16:01	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 16:01	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 16:01	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 16:01	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 16:01	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 16:01	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 16:01	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 16:01	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 16:01	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007018**
Sample ID: **Aldridge**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 10:50

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 16:01	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 16:01	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 16:01	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 16:01	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 16:01	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 16:01	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 16:01	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 16:01	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 16:01	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 16:01	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 16:01	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 16:01	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 16:01	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 16:01	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 16:01	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 16:01	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 16:01	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 16:01	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 16:01	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 16:01	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 16:01	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 16:01	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 16:01	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 16:01	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 16:01	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 16:01	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 16:01	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 16:01	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 16:01	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 16:01	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 16:01	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 16:01	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 16:01	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 16:01	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 16:01	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 16:01	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 16:01	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 16:01	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 16:01	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 16:01	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007018**
Sample ID: **Aldridge**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 10:50

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 16:01	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 16:01	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 16:01	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 16:01	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 16:01	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 16:01	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 16:01	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 16:01	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 16:01	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 16:01	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 16:01	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 16:01	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 16:01	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 16:01	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 16:01	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 16:01	T
1,2-Dichloroethane-d4 (S)	93		%	1	70-130		4/23/2015 16:01	
Toluene-d8 (S)	101		%	1	70-130		4/23/2015 16:01	
Bromofluorobenzene (S)	109		%	1	70-130		4/23/2015 16:01	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	130		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	17		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007019** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **ES-8S** Date Collected: 04/14/15 11:53

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	714		umhos/cm	1			4/16/2015 11:53	
Dissolved Oxygen	1.3		mg/L	1			4/16/2015 11:53	
Temperature	20.35		°C	1			4/16/2015 11:53	
Turbidity	59.7		NTU	1			4/16/2015 11:53	
pH	4.6		SU	1			4/16/2015 11:53	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	11000		ug/L	1	200	61	4/22/2015 10:28	J
Iron	75000		ug/L	1	200	38	4/22/2015 10:28	J
Sodium	30		mg/L	1	0.20	0.026	4/22/2015 10:28	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	1.4	I	ug/L	1	2.0	0.15	4/28/2015 19:44	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 19:44	J
Lead	2.8		ug/L	1	1.4	0.48	4/28/2015 19:44	J
Manganese	27		ug/L	1	2.0	0.11	4/28/2015 19:44	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 16:48	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 16:48	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 16:48	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 16:48	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 16:48	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 16:48	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 16:48	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 16:48	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 16:48	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 16:48	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 16:48	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 16:48	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007019**
 Sample ID: **ES-8S**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/14/15 11:53

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 16:48	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 16:48	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 16:48	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 16:48	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 16:48	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 16:48	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 16:48	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 16:48	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 16:48	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 16:48	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 16:48	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 16:48	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 16:48	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 16:48	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 16:48	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 16:48	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 16:48	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 16:48	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 16:48	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 16:48	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 16:48	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 16:48	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 16:48	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 16:48	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 16:48	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 16:48	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 16:48	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 16:48	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 16:48	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 16:48	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 16:48	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 16:48	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 16:48	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 16:48	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 16:48	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 16:48	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 16:48	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 16:48	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 16:48	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 16:48	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007019**
Sample ID: **ES-8S**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 11:53

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 16:48	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 16:48	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 16:48	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 16:48	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 16:48	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 16:48	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 16:48	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 16:48	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 16:48	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 16:48	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 16:48	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 16:48	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 16:48	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 16:48	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 16:48	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 16:48	T
1,2-Dichloroethane-d4 (S)	93		%	1	70-130		4/23/2015 16:48	
Toluene-d8 (S)	100		%	1	70-130		4/23/2015 16:48	
Bromofluorobenzene (S)	109		%	1	70-130		4/23/2015 16:48	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	530		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	69		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007020** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Suarez** Date Collected: 04/14/15 12:35

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	468		umhos/cm	1			4/16/2015 12:35	
Dissolved Oxygen	0.48		mg/L	1			4/16/2015 12:35	
Temperature	23.7		°C	1			4/16/2015 12:35	
Turbidity	1.01		NTU	1			4/16/2015 12:35	
pH	7.16		SU	1			4/16/2015 12:35	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	87	I	ug/L	1	200	61	4/22/2015 10:32	J
Iron	370		ug/L	1	200	38	4/22/2015 10:32	J
Sodium	7.4		mg/L	1	0.20	0.026	4/22/2015 10:32	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	1.2	I	ug/L	1	2.0	0.15	4/28/2015 20:26	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 20:26	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 20:26	J
Manganese	17		ug/L	1	2.0	0.11	4/28/2015 20:26	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 17:35	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 17:35	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 17:35	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 17:35	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 17:35	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 17:35	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 17:35	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 17:35	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 17:35	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 17:35	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 17:35	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 17:35	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007020**
 Sample ID: **Suarez**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/14/15 12:35

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 17:35	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 17:35	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 17:35	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 17:35	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 17:35	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 17:35	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 17:35	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 17:35	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 17:35	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 17:35	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 17:35	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 17:35	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 17:35	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 17:35	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 17:35	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 17:35	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 17:35	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 17:35	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 17:35	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 17:35	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 17:35	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 17:35	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 17:35	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 17:35	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 17:35	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 17:35	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 17:35	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 17:35	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 17:35	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 17:35	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 17:35	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 17:35	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 17:35	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 17:35	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 17:35	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 17:35	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 17:35	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 17:35	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 17:35	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 17:35	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007020**
Sample ID: **Suarez**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 12:35

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 17:35	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 17:35	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 17:35	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 17:35	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 17:35	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 17:35	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 17:35	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 17:35	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 17:35	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 17:35	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 17:35	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 17:35	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 17:35	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 17:35	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 17:35	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 17:35	T
1,2-Dichloroethane-d4 (S)	97		%	1	70-130		4/23/2015 17:35	
Toluene-d8 (S)	100		%	1	70-130		4/23/2015 17:35	
Bromofluorobenzene (S)	110		%	1	70-130		4/23/2015 17:35	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	260		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	17		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007021** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Guarisco 2** Date Collected: 04/14/15 13:01

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	299		umhos/cm	1			4/16/2015 13:01	
Dissolved Oxygen	1.24		mg/L	1			4/16/2015 13:01	
Temperature	23.6		°C	1			4/16/2015 13:01	
Turbidity	2.52		NTU	1			4/16/2015 13:01	
pH	5.07		SU	1			4/16/2015 13:01	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	300		ug/L	1	200	61	4/22/2015 10:56	J
Iron	160	I	ug/L	1	200	38	4/22/2015 10:56	J
Sodium	24		mg/L	1	0.20	0.026	4/22/2015 10:56	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.22	I	ug/L	1	2.0	0.15	4/28/2015 20:45	J
Cadmium	1.0		ug/L	1	1.0	0.056	4/28/2015 20:45	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 20:45	J
Manganese	46		ug/L	1	2.0	0.11	4/28/2015 20:45	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 18:21	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 18:21	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 18:21	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 18:21	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 18:21	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 18:21	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 18:21	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 18:21	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 18:21	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 18:21	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 18:21	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 18:21	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007021**
Sample ID: **Guarisco 2**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 13:01

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 18:21	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 18:21	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 18:21	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 18:21	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 18:21	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 18:21	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 18:21	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 18:21	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 18:21	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 18:21	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 18:21	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 18:21	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 18:21	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 18:21	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 18:21	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 18:21	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 18:21	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 18:21	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 18:21	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 18:21	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 18:21	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 18:21	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 18:21	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 18:21	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 18:21	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 18:21	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 18:21	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 18:21	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 18:21	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 18:21	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 18:21	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 18:21	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 18:21	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 18:21	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 18:21	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 18:21	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 18:21	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 18:21	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 18:21	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 18:21	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007021**
Sample ID: **Guarisco 2**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 13:01

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 18:21	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 18:21	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 18:21	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 18:21	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 18:21	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 18:21	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 18:21	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 18:21	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 18:21	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 18:21	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 18:21	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 18:21	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 18:21	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 18:21	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 18:21	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 18:21	T
1,2-Dichloroethane-d4 (S)	99		%	1	70-130		4/23/2015 18:21	
Toluene-d8 (S)	100		%	1	70-130		4/23/2015 18:21	
Bromofluorobenzene (S)	109		%	1	70-130		4/23/2015 18:21	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids,SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	220		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides,SM4500-Cl-E,Water Analytical Method: SM 4500-Cl-E

Chloride	42		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007022** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Guarisco** Date Collected: 04/14/15 13:31

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	449		umhos/cm	1			4/16/2015 13:31	
Dissolved Oxygen	0.47		mg/L	1			4/16/2015 13:31	
Temperature	23.26		°C	1			4/16/2015 13:31	
Turbidity	0.59		NTU	1			4/16/2015 13:31	
pH	7.13		SU	1			4/16/2015 13:31	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	61	U	ug/L	1	200	61	4/22/2015 11:01	J
Iron	270		ug/L	1	200	38	4/22/2015 11:01	J
Sodium	6.9		mg/L	1	0.20	0.026	4/22/2015 11:01	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	1.7	I	ug/L	1	2.0	0.15	4/28/2015 20:48	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 20:48	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 20:48	J
Manganese	30		ug/L	1	2.0	0.11	4/28/2015 20:48	J
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 19:08	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 19:08	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 19:08	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 19:08	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 19:08	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 19:08	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 19:08	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 19:08	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 19:08	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 19:08	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 19:08	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 19:08	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007022**

Date Received: 04/15/15 15:20 Matrix: Water

Sample ID: **Guarisco**

Date Collected: 04/14/15 13:31

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 19:08	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 19:08	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 19:08	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 19:08	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 19:08	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 19:08	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 19:08	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 19:08	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 19:08	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 19:08	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 19:08	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 19:08	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 19:08	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 19:08	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 19:08	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 19:08	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 19:08	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 19:08	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 19:08	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 19:08	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 19:08	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 19:08	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 19:08	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 19:08	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 19:08	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 19:08	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 19:08	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 19:08	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 19:08	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 19:08	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 19:08	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 19:08	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 19:08	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 19:08	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 19:08	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 19:08	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 19:08	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 19:08	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 19:08	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 19:08	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007022**
 Sample ID: **Guarisco**

Date Received: 04/15/15 15:20 Matrix: Water
 Date Collected: 04/14/15 13:31

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 19:08	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 19:08	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 19:08	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 19:08	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 19:08	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 19:08	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 19:08	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 19:08	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 19:08	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 19:08	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 19:08	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 19:08	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 19:08	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 19:08	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 19:08	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 19:08	T
1,2-Dichloroethane-d4 (S)	96		%	1	70-130		4/23/2015 19:08	
Toluene-d8 (S)	99		%	1	70-130		4/23/2015 19:08	
Bromofluorobenzene (S)	109		%	1	70-130		4/23/2015 19:08	

WET CHEMISTRY

Analysis Desc: Tot Dissolved Solids, SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	250		mg/L	1.25	12	12	4/20/2015 10:13	T
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Analysis Desc: Chlorides, SM4500-Cl-E, Water Analytical Method: SM 4500-Cl-E

Chloride	15		mg/L	1	5.0	1.1	4/23/2015 15:45	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007023** Date Received: 04/15/15 15:20 Matrix: Water
 Sample ID: **Trip Blank** Date Collected: 04/14/15 00:00

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/23/2015 19:54	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/23/2015 19:54	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/23/2015 19:54	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/23/2015 19:54	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/23/2015 19:54	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/23/2015 19:54	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/23/2015 19:54	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/23/2015 19:54	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/23/2015 19:54	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 19:54	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/23/2015 19:54	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/23/2015 19:54	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/23/2015 19:54	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/23/2015 19:54	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 19:54	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/23/2015 19:54	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/23/2015 19:54	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/23/2015 19:54	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/23/2015 19:54	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/23/2015 19:54	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/23/2015 19:54	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/23/2015 19:54	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/23/2015 19:54	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/23/2015 19:54	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/23/2015 19:54	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/23/2015 19:54	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/23/2015 19:54	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/23/2015 19:54	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/23/2015 19:54	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/23/2015 19:54	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 19:54	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/23/2015 19:54	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/23/2015 19:54	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/23/2015 19:54	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/23/2015 19:54	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/23/2015 19:54	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007023**
Sample ID: **Trip Blank**

Date Received: 04/15/15 15:20 Matrix: Water
Date Collected: 04/14/15 00:00

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/23/2015 19:54	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/23/2015 19:54	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/23/2015 19:54	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/23/2015 19:54	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/23/2015 19:54	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/23/2015 19:54	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/23/2015 19:54	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/23/2015 19:54	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/23/2015 19:54	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/23/2015 19:54	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 19:54	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/23/2015 19:54	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/23/2015 19:54	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/23/2015 19:54	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/23/2015 19:54	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/23/2015 19:54	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/23/2015 19:54	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/23/2015 19:54	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/23/2015 19:54	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/23/2015 19:54	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/23/2015 19:54	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/23/2015 19:54	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/23/2015 19:54	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/23/2015 19:54	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/23/2015 19:54	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/23/2015 19:54	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/23/2015 19:54	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/23/2015 19:54	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/23/2015 19:54	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/23/2015 19:54	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/23/2015 19:54	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/23/2015 19:54	T
1,2-Dichloroethane-d4 (S)	96		%	1	70-130		4/23/2015 19:54	
Toluene-d8 (S)	98		%	1	70-130		4/23/2015 19:54	
Bromofluorobenzene (S)	112		%	1	70-130		4/23/2015 19:54	

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007024** Date Received: 04/17/15 14:08 Matrix: Water
 Sample ID: **Torres** Date Collected: 04/17/15 10:29

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
FIELD PARAMETERS								
Analysis Desc: Data entry of field measurements			Analytical Method: Field Measurements					
Conductivity	530		umhos/cm	1			4/17/2015 10:29	
Dissolved Oxygen	0.2		mg/L	1			4/17/2015 10:29	
Temperature	23.6		°C	1			4/17/2015 10:29	
Turbidity	0.7		NTU	1			4/17/2015 10:29	
pH	6.93		SU	1			4/17/2015 10:29	
METALS								
Analysis Desc: SW846 6010B Analysis, Water			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6010					
Aluminum	61	U	ug/L	1	200	61	4/23/2015 19:35	J
Iron	38	U	ug/L	1	200	38	4/23/2015 19:35	J
Sodium	11		mg/L	1	0.20	0.026	4/23/2015 19:35	J
Analysis Desc: SW846 6020B Analysis, Total			Preparation Method: SW-846 3010A					
			Analytical Method: SW-846 6020					
Arsenic	0.44	I	ug/L	1	2.0	0.15	4/28/2015 22:01	J
Cadmium	0.056	U	ug/L	1	1.0	0.056	4/28/2015 22:01	J
Lead	0.48	U	ug/L	1	1.4	0.48	4/28/2015 22:01	J
Manganese	19		ug/L	1	2.0	0.11	4/28/2015 22:01	J
VOLATILES								
Analysis Desc: Chlorides, SM4500-Cl-E, Water			Analytical Method: SM 4500-Cl-E					
Chloride	17		mg/L	1	5.0	1.1	4/23/2015 15:45	T
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 19:35	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 19:35	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 19:35	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 19:35	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 19:35	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 19:35	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 19:35	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 19:35	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 19:35	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007024**
 Sample ID: **Torres**

Date Received: 04/17/15 14:08 Matrix: Water
 Date Collected: 04/17/15 10:29

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 19:35	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 19:35	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 19:35	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 19:35	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 19:35	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 19:35	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 19:35	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 19:35	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 19:35	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 19:35	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 19:35	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 19:35	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 19:35	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 19:35	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 19:35	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 19:35	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 19:35	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 19:35	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 19:35	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 19:35	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 19:35	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 19:35	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 19:35	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 19:35	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 19:35	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 19:35	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 19:35	T
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 19:35	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/24/2015 19:35	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 19:35	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 19:35	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 19:35	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 19:35	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 19:35	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 19:35	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 19:35	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 19:35	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 19:35	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 19:35	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 19:35	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007024**
Sample ID: **Torres**

Date Received: 04/17/15 14:08 Matrix: Water
Date Collected: 04/17/15 10:29

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 19:35	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 19:35	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 19:35	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 19:35	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 19:35	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 19:35	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 19:35	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 19:35	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 19:35	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 19:35	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 19:35	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 19:35	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 19:35	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 19:35	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 19:35	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 19:35	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 19:35	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 19:35	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 19:35	T
1,2-Dichloroethane-d4 (S)	98		%	1	70-130		4/24/2015 19:35	
Toluene-d8 (S)	99		%	1	70-130		4/24/2015 19:35	
Bromofluorobenzene (S)	109		%	1	70-130		4/24/2015 19:35	

VOLATILES

Analysis Desc: Tot Dissolved Solids,SM2540C Analytical Method: SM 2540 C

Total Dissolved Solids	290		mg/L	1.25	12	12	4/22/2015 09:38	T
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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007025** Date Received: 04/17/15 14:08 Matrix: Water
 Sample ID: **Trip Blank** Date Collected: 04/17/15 00:00

Sample Description: Location:

Parameters	Results	Qual	Units	DF	Adjusted PQL	Adjusted MDL	Analyzed	Lab
VOLATILES								
Analysis Desc: 8260B Analysis, Water			Preparation Method: SW-846 5030B					
			Analytical Method: SW-846 8260B					
1,1,1,2-Tetrachloroethane	0.64	U	ug/L	1	1.0	0.64	4/24/2015 20:22	T
1,1,1-Trichloroethane	0.44	U	ug/L	1	1.0	0.44	4/24/2015 20:22	T
1,1,2,2-Tetrachloroethane	0.41	U	ug/L	1	1.0	0.41	4/24/2015 20:22	T
1,1,2-Trichloroethane	0.40	U	ug/L	1	1.0	0.40	4/24/2015 20:22	T
1,1-Dichloroethane	0.86	U	ug/L	1	1.0	0.86	4/24/2015 20:22	T
1,1-Dichloroethylene	0.70	U	ug/L	1	1.0	0.70	4/24/2015 20:22	T
1,1-Dichloropropene	0.39	U	ug/L	1	1.0	0.39	4/24/2015 20:22	T
1,2,3-Trichlorobenzene	0.86	U	ug/L	1	1.0	0.86	4/24/2015 20:22	T
1,2,3-Trichloropropane	0.58	U	ug/L	1	1.0	0.58	4/24/2015 20:22	T
1,2,4-Trichlorobenzene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 20:22	T
1,2,4-Trimethylbenzene	0.54	U	ug/L	1	1.0	0.54	4/24/2015 20:22	T
1,2-Dibromo-3-Chloropropane	0.25	U	ug/L	1	1.0	0.25	4/24/2015 20:22	T
1,2-Dichlorobenzene	0.63	U	ug/L	1	1.0	0.63	4/24/2015 20:22	T
1,2-Dichloroethane	0.68	U	ug/L	1	1.0	0.68	4/24/2015 20:22	T
1,2-Dichloropropane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 20:22	T
1,3,5-Trimethylbenzene	0.68	U	ug/L	1	1.0	0.68	4/24/2015 20:22	T
1,3-Dichlorobenzene	0.43	U	ug/L	1	1.0	0.43	4/24/2015 20:22	T
1,3-Dichloropropane	0.80	U	ug/L	1	1.0	0.80	4/24/2015 20:22	T
1,4-Dichlorobenzene	0.97	U	ug/L	1	1.0	0.97	4/24/2015 20:22	T
2,2-Dichloropropane	0.82	U	ug/L	1	1.0	0.82	4/24/2015 20:22	T
2-Butanone (MEK)	0.59	U	ug/L	1	1.0	0.59	4/24/2015 20:22	T
2-Chloroethyl Vinyl Ether	0.38	U	ug/L	1	1.0	0.38	4/24/2015 20:22	T
2-Chlorotoluene	0.49	U	ug/L	1	1.0	0.49	4/24/2015 20:22	T
2-Hexanone	0.99	U	ug/L	1	1.0	0.99	4/24/2015 20:22	T
4-Chlorotoluene	0.44	U	ug/L	1	1.0	0.44	4/24/2015 20:22	T
4-Methyl-2-pentanone (MIBK)	0.93	U	ug/L	1	1.0	0.93	4/24/2015 20:22	T
Acetone	1.0	U	ug/L	1	1.0	1.0	4/24/2015 20:22	T
Acrolein (Propenal)	3.1	U	ug/L	1	5.0	3.1	4/24/2015 20:22	T
Acrylonitrile	4.6	U	ug/L	1	5.0	4.6	4/24/2015 20:22	T
Benzene	0.34	U	ug/L	1	1.0	0.34	4/24/2015 20:22	T
Bromobenzene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 20:22	T
Bromochloromethane	0.33	U	ug/L	1	1.0	0.33	4/24/2015 20:22	T
Bromodichloromethane	0.49	U	ug/L	1	1.0	0.49	4/24/2015 20:22	T
Bromoform	0.61	U	ug/L	1	1.0	0.61	4/24/2015 20:22	T
Bromomethane	0.81	U	ug/L	1	1.0	0.81	4/24/2015 20:22	T
Carbon Disulfide	0.49	U	ug/L	1	1.0	0.49	4/24/2015 20:22	T

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ANALYTICAL RESULTS

Workorder: T1505007 Eureka Springs Landfill

Lab ID: **T1505007025**
 Sample ID: **Trip Blank**

Date Received: 04/17/15 14:08 Matrix: Water
 Date Collected: 04/17/15 00:00

Sample Description:

Location:

Parameters	Results	Qual	Units	DF	Adjusted	Adjusted	Analyzed	Lab
					PQL	MDL		
Carbon Tetrachloride	0.57	U	ug/L	1	1.0	0.57	4/24/2015 20:22	T
Chlorobenzene	0.56	U	ug/L	1	1.0	0.56	4/24/2015 20:22	T
Chloroethane	0.38	U	ug/L	1	1.0	0.38	4/24/2015 20:22	T
Chloroform	0.31	U	ug/L	1	1.0	0.31	4/24/2015 20:22	T
Chloromethane	0.70	U	ug/L	1	1.0	0.70	4/24/2015 20:22	T
Dibromochloromethane	0.56	U	ug/L	1	1.0	0.56	4/24/2015 20:22	T
Dibromomethane	0.76	U	ug/L	1	1.0	0.76	4/24/2015 20:22	T
Dichlorodifluoromethane	0.36	U	ug/L	1	1.0	0.36	4/24/2015 20:22	T
Ethylbenzene	0.26	U	ug/L	1	1.0	0.26	4/24/2015 20:22	T
Ethylene Dibromide (EDB)	0.67	U	ug/L	1	1.0	0.67	4/24/2015 20:22	T
Hexachlorobutadiene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 20:22	T
Iodomethane (Methyl Iodide)	0.65	U	ug/L	1	1.0	0.65	4/24/2015 20:22	T
Isopropylbenzene	0.31	U	ug/L	1	1.0	0.31	4/24/2015 20:22	T
Methyl tert-butyl Ether (MTBE)	0.41	U	ug/L	1	1.0	0.41	4/24/2015 20:22	T
Methylene Chloride	1.0	U	ug/L	1	1.0	1.0	4/24/2015 20:22	T
Naphthalene	0.73	U	ug/L	1	1.0	0.73	4/24/2015 20:22	T
Styrene	0.84	U	ug/L	1	1.0	0.84	4/24/2015 20:22	T
Tetrachloroethylene (PCE)	0.52	U	ug/L	1	1.0	0.52	4/24/2015 20:22	T
Toluene	0.45	U	ug/L	1	1.0	0.45	4/24/2015 20:22	T
Trichloroethene	0.66	U	ug/L	1	1.0	0.66	4/24/2015 20:22	T
Trichlorofluoromethane	0.84	U	ug/L	1	1.0	0.84	4/24/2015 20:22	T
Vinyl Acetate	0.40	U	ug/L	1	1.0	0.40	4/24/2015 20:22	T
Vinyl Chloride	0.73	U	ug/L	1	1.0	0.73	4/24/2015 20:22	T
Xylene (Total)	1.3	U	ug/L	1	3.0	1.3	4/24/2015 20:22	T
cis-1,2-Dichloroethylene	0.51	U	ug/L	1	1.0	0.51	4/24/2015 20:22	T
cis-1,3-Dichloropropene	0.36	U	ug/L	1	1.0	0.36	4/24/2015 20:22	T
n-Butylbenzene	0.64	U	ug/L	1	1.0	0.64	4/24/2015 20:22	T
n-propylbenzene	0.48	U	ug/L	1	1.0	0.48	4/24/2015 20:22	T
sec-butylbenzene	0.38	U	ug/L	1	1.0	0.38	4/24/2015 20:22	T
tert-butylbenzene	0.53	U	ug/L	1	1.0	0.53	4/24/2015 20:22	T
trans-1,2-Dichloroethylene	0.50	U	ug/L	1	1.0	0.50	4/24/2015 20:22	T
trans-1,3-Dichloropropylene	0.42	U	ug/L	1	1.0	0.42	4/24/2015 20:22	T
1,2-Dichloroethane-d4 (S)	101		%	1	70-130		4/24/2015 20:22	
Toluene-d8 (S)	98		%	1	70-130		4/24/2015 20:22	
Bromofluorobenzene (S)	107		%	1	70-130		4/24/2015 20:22	

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ANALYTICAL RESULTS QUALIFIERS

Workorder: T1505007 Eureka Springs Landfill

PARAMETER QUALIFIERS

- U The compound was analyzed for but not detected.
- I The reported value is between the laboratory method detection limit and the laboratory practical quantitation limit.

LAB QUALIFIERS

- J DOH Certification #E82574(AEL-JAX)(FL NELAC Certification)
- T DOH Certification #E84589(AEL-T)(FL NELAC Certification)
- T^ Not Certified

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

QC Batch: WCAI/2688 Analysis Method: SM 4500-Cl-E
QC Batch Method: SM 4500-Cl-E Prepared:
Associated Lab Samples: T1505007001, T1505007002

METHOD BLANK: 1725331

Parameter	Units	Blank Result	Reporting Limit Qualifiers
WET CHEMISTRY Chloride	mg/L	1.1	1.1 U

LABORATORY CONTROL SAMPLE: 1725332

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits Qualifiers
WET CHEMISTRY Chloride	mg/L	40	39	98	90-110

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1725333 1725334 Original: T1504992008

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
WET CHEMISTRY Chloride	mg/L	170	40	210	210	105	99	90-110	1	10	

QC Batch: DGMj/1407 Analysis Method: SW-846 6010
QC Batch Method: SW-846 3010A Prepared: 04/16/2015 03:30
Associated Lab Samples: T1505007001, T1505007002, T1505007004, T1505007005, T1505007006, T1505007007

METHOD BLANK: 1727196

Parameter	Units	Blank Result	Reporting Limit Qualifiers
METALS			
Aluminum	ug/L	61	61 U
Iron	ug/L	38	38 U
Sodium	mg/L	0.026	0.026 U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

LABORATORY CONTROL SAMPLE & LCSD: 1727197 1727198

Parameter	Units	Spike Conc.	LCS Result	LCSD Result	LCS % Rec	LCSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS										
Aluminum	ug/L	25000	24000	24000	96	94	80-120	2	20	
Iron	ug/L	25000	22000	22000	87	86	80-120	0	20	
Sodium	mg/L	50	51	50	102	100	80-120	2	20	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1727199 1727200 Original: J1503309001

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS											
Aluminum	ug/L	0	25000	25000	26000	98	102	75-125	4	20	
Iron	ug/L	14000	25000	36000	38000	86	93	75-125	5	20	
Sodium	mg/L	30	50	79	83	99	106	75-125	4	20	

QC Batch: WCA1/2728 Analysis Method: SM 2540 C
QC Batch Method: SM 2540 C Prepared:
Associated Lab Samples: T1505007001, T1505007002

METHOD BLANK: 1727287

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
WET CHEMISTRY				
Total Dissolved Solids	mg/L	10	10 U	

LABORATORY CONTROL SAMPLE: 1727288

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
WET CHEMISTRY						
Total Dissolved Solids	mg/L	660	660	99	75-125	

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

SAMPLE DUPLICATE: 1727577 Original: T1503355050

Parameter	Units	Original Result	DUP Result	RPD	Max RPD Qualifiers
WET CHEMISTRY					
Total Dissolved Solids	mg/L	500	500	1	10
QC Batch:	WCAI/2776		Analysis Method:		SM 2540 C
QC Batch Method:	SM 2540 C		Prepared:		
Associated Lab Samples: T1505007004, T1505007005, T1505007006, T1505007007, T1505007008, T1505007009, T1505007010, T1505007011,					

METHOD BLANK: 1729122

Parameter	Units	Blank Result	Reporting Limit Qualifiers
WET CHEMISTRY			
Total Dissolved Solids	mg/L	10	10 U

LABORATORY CONTROL SAMPLE: 1729123

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits Qualifiers
WET CHEMISTRY					
Total Dissolved Solids	mg/L	660	630	96	75-125

SAMPLE DUPLICATE: 1729124 Original: T1505007004

Parameter	Units	Original Result	DUP Result	RPD	Max RPD Qualifiers
WET CHEMISTRY					
Total Dissolved Solids	mg/L	460	480	3	10
QC Batch:	DGMj/1417		Analysis Method:		SW-846 6010
QC Batch Method:	SW-846 3010A		Prepared:		04/21/2015 03:30
Associated Lab Samples: T1505007008, T1505007009, T1505007010, T1505007011, T1505007012, T1505007013, T1505007014, T1505007017,					

METHOD BLANK: 1729205

Parameter	Units	Blank Result	Reporting Limit Qualifiers
METALS			
Aluminum	ug/L	61	61 U
Iron	ug/L	38	38 U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1729205

Parameter	Units	Blank Result	Reporting Limit Qualifiers
Sodium	mg/L	0.026	0.026 U

LABORATORY CONTROL SAMPLE & LCSD: 1729206 1729207

Parameter	Units	Spike Conc.	LCS Result	LCSD Result	LCS % Rec	LCSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS										
Aluminum	ug/L	25000	25000	25000	97	98	80-120	1	20	
Iron	ug/L	25000	24000	25000	96	97	80-120	0	20	
Sodium	mg/L	50	51	52	102	103	80-120	1	20	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1729208 1729209 Original: T1505007008

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS											
Aluminum	ug/L	410	25000	26000	26000	100	100	75-125	0	20	
Iron	ug/L	13000	25000	38000	38000	98	97	75-125	1	20	
Sodium	mg/L	29	50	80	80	101	100	75-125	1	20	

QC Batch: MSV/1248

Analysis Method: SW-846 8260B

QC Batch Method: SW-846 5030B

Prepared: 04/21/2015 00:00

Associated Lab Samples: T1505007001, T1505007002, T1505007003, T1505007004

METHOD BLANK: 1731261

Parameter	Units	Blank Result	Reporting Limit Qualifiers
VOLATILES			
Dichlorodifluoromethane	ug/L	0.36	0.36 U
Chloromethane	ug/L	0.70	0.70 U
Vinyl Chloride	ug/L	0.73	0.73 U
Bromomethane	ug/L	0.81	0.81 U
Chloroethane	ug/L	0.38	0.38 U
Trichlorofluoromethane	ug/L	0.84	0.84 U
Acrolein (Propenal)	ug/L	3.1	3.1 U
Acetone	ug/L	1.0	1.0 U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1731261

Parameter	Units	Blank Result	Reporting Limit Qualifiers
1,1-Dichloroethylene	ug/L	0.70	0.70 U
Iodomethane (Methyl Iodide)	ug/L	0.65	0.65 U
Acrylonitrile	ug/L	4.6	4.6 U
Methylene Chloride	ug/L	1.0	1.0 U
Carbon Disulfide	ug/L	0.49	0.49 U
trans-1,2-Dichloroethylene	ug/L	0.50	0.50 U
Methyl tert-butyl Ether (MTBE)	ug/L	0.41	0.41 U
1,1-Dichloroethane	ug/L	0.86	0.86 U
Vinyl Acetate	ug/L	0.40	0.40 U
2-Butanone (MEK)	ug/L	0.59	0.59 U
cis-1,2-Dichloroethylene	ug/L	0.51	0.51 U
Bromochloromethane	ug/L	0.33	0.33 U
Chloroform	ug/L	0.31	0.31 U
2,2-Dichloropropane	ug/L	0.82	0.82 U
1,2-Dichloroethane	ug/L	0.68	0.68 U
1,1,1-Trichloroethane	ug/L	0.44	0.44 U
1,1-Dichloropropene	ug/L	0.39	0.39 U
Carbon Tetrachloride	ug/L	0.57	0.57 U
Benzene	ug/L	0.34	0.34 U
Dibromomethane	ug/L	0.76	0.76 U
1,2-Dichloropropane	ug/L	0.76	0.76 U
Trichloroethene	ug/L	0.66	0.66 U
Bromodichloromethane	ug/L	0.49	0.49 U
2-Chloroethyl Vinyl Ether	ug/L	0.38	0.38 U
cis-1,3-Dichloropropene	ug/L	0.36	0.36 U
4-Methyl-2-pentanone (MIBK)	ug/L	0.93	0.93 U
trans-1,3-Dichloropropylene	ug/L	0.42	0.42 U
1,1,2-Trichloroethane	ug/L	0.40	0.40 U
Toluene	ug/L	0.45	0.45 U
1,3-Dichloropropane	ug/L	0.80	0.80 U
2-Hexanone	ug/L	0.99	0.99 U
Dibromochloromethane	ug/L	0.56	0.56 U
Ethylene Dibromide (EDB)	ug/L	0.67	0.67 U
Tetrachloroethylene (PCE)	ug/L	0.52	0.52 U
1,1,1,2-Tetrachloroethane	ug/L	0.64	0.64 U
Chlorobenzene	ug/L	0.56	0.56 U
Ethylbenzene	ug/L	0.26	0.26 U
Bromoform	ug/L	0.61	0.61 U
Styrene	ug/L	0.84	0.84 U
1,1,2,2-Tetrachloroethane	ug/L	0.41	0.41 U
1,2,3-Trichloropropane	ug/L	0.58	0.58 U
Isopropylbenzene	ug/L	0.31	0.31 U
Bromobenzene	ug/L	0.73	0.73 U
n-propylbenzene	ug/L	0.48	0.48 U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1731261

Parameter	Units	Blank Result	Reporting Limit Qualifiers
2-Chlorotoluene	ug/L	0.49	0.49 U
4-Chlorotoluene	ug/L	0.44	0.44 U
1,3,5-Trimethylbenzene	ug/L	0.68	0.68 U
tert-butylbenzene	ug/L	0.53	0.53 U
1,2,4-Trimethylbenzene	ug/L	0.54	0.54 U
sec-butylbenzene	ug/L	0.38	0.38 U
1,3-Dichlorobenzene	ug/L	0.43	0.43 U
1,4-Dichlorobenzene	ug/L	0.97	0.97 U
1,2-Dichlorobenzene	ug/L	0.63	0.63 U
n-Butylbenzene	ug/L	0.64	0.64 U
1,2-Dibromo-3-Chloropropane	ug/L	0.25	0.25 U
1,2,4-Trichlorobenzene	ug/L	0.84	0.84 U
Naphthalene	ug/L	0.73	0.73 U
Hexachlorobutadiene	ug/L	0.53	0.53 U
1,2,3-Trichlorobenzene	ug/L	0.86	0.86 U
Xylene (Total)	ug/L	1.3	1.3 U
1,2-Dichloroethane-d4 (S)	%	109	70-130
Toluene-d8 (S)	%	107	70-130
Bromofluorobenzene (S)	%	107	70-130

LABORATORY CONTROL SAMPLE: 1731262

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits Qualifiers
VOLATILES					
Vinyl Chloride	ug/L	20	17	85	70-130
1,1-Dichloroethylene	ug/L	20	19	96	70-130
Methyl tert-butyl Ether (MTBE)	ug/L	20	21	105	70-130
cis-1,2-Dichloroethylene	ug/L	20	17	87	70-130
Chloroform	ug/L	20	18	89	70-130
Benzene	ug/L	20	17	87	70-130
Trichloroethene	ug/L	20	18	88	70-130
Toluene	ug/L	20	19	94	70-130
Tetrachloroethylene (PCE)	ug/L	20	19	95	70-130
Chlorobenzene	ug/L	20	19	95	70-130
Ethylbenzene	ug/L	20	19	95	70-130
1,2,4-Trimethylbenzene	ug/L	20	19	95	70-130
1,3-Dichlorobenzene	ug/L	20	19	94	70-130
1,2-Dichlorobenzene	ug/L	20	19	97	70-130
Xylene (Total)	ug/L	60	57	95	70-130
1,2-Dichloroethane-d4 (S)	%			105	70-130

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

LABORATORY CONTROL SAMPLE: 1731262

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
Toluene-d8 (S)	%			110	70-130	
Bromofluorobenzene (S)	%			108	70-130	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1731263 1731264 Original: T1505007002

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
VOLATILES											
Vinyl Chloride	ug/L	0	20	18	17	90	87	70-130	3	30	
1,1-Dichloroethylene	ug/L	0	20	20	20	102	103	70-130	0	30	
Methyl tert-butyl Ether (MTBE)	ug/L	0	20	22	21	110	107	70-130	3	30	
cis-1,2-Dichloroethylene	ug/L	0	20	19	18	93	91	70-130	2	30	
Chloroform	ug/L	0	20	19	18	95	91	70-130	4	30	
Benzene	ug/L	0	20	19	18	94	90	70-130	4	30	
Trichloroethene	ug/L	0	20	19	18	95	91	70-130	4	30	
Toluene	ug/L	0	20	17	18	86	89	70-130	4	30	
Tetrachloroethylene (PCE)	ug/L	0	20	19	20	94	100	70-130	5	30	
Chlorobenzene	ug/L	0	20	18	18	90	91	70-130	1	30	
Ethylbenzene	ug/L	0	20	18	18	89	91	70-130	3	30	
1,2,4-Trimethylbenzene	ug/L	0	20	18	18	89	92	70-130	3	30	
1,3-Dichlorobenzene	ug/L	0	20	18	18	90	90	70-130	1	30	
1,2-Dichlorobenzene	ug/L	0	20	19	19	94	94	70-130	1	30	
Xylene (Total)	ug/L	0	60	55	55	91	92	70-130	1	30	
1,2-Dichloroethane-d4 (S)	%	108				109	106	70-130	3		
Toluene-d8 (S)	%	109				107	111	70-130	3		
Bromofluorobenzene (S)	%	107				104	104	70-130	0		

QC Batch: WCA1/2821 Analysis Method: SM 2540 C
QC Batch Method: SM 2540 C Prepared:
Associated Lab Samples: T1505007024

METHOD BLANK: 1731298

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
WET CHEMISTRY				
Total Dissolved Solids	mg/L	10	10	U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

LABORATORY CONTROL SAMPLE: 1731299

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
WET CHEMISTRY						
Total Dissolved Solids	mg/L	660	650	99	75-125	

SAMPLE DUPLICATE: 1731300

Original: T1505007024

Parameter	Units	Original Result	DUP Result	RPD	Max RPD	Qualifiers
WET CHEMISTRY						
Total Dissolved Solids	mg/L	290	290	3	10	
QC Batch:	MSV/1250			Analysis Method:	SW-846 8260B	
QC Batch Method:	SW-846 5030B			Prepared:	04/22/2015 00:00	
Associated Lab Samples: T1505007005, T1505007006, T1505007007, T1505007016, T1505007017						

METHOD BLANK: 1732484

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
VOLATILES				
Dichlorodifluoromethane	ug/L	0.36	0.36	U
Chloromethane	ug/L	0.70	0.70	U
Vinyl Chloride	ug/L	0.73	0.73	U
Bromomethane	ug/L	0.81	0.81	U
Chloroethane	ug/L	0.38	0.38	U
Trichlorofluoromethane	ug/L	0.84	0.84	U
Acrolein (Propenal)	ug/L	3.1	3.1	U
Acetone	ug/L	1.0	1.0	U
1,1-Dichloroethylene	ug/L	0.70	0.70	U
Iodomethane (Methyl Iodide)	ug/L	0.65	0.65	U
Acrylonitrile	ug/L	4.6	4.6	U
Methylene Chloride	ug/L	1.0	1.0	U
Carbon Disulfide	ug/L	0.49	0.49	U
trans-1,2-Dichloroethylene	ug/L	0.50	0.50	U
Methyl tert-butyl Ether (MTBE)	ug/L	0.41	0.41	U
1,1-Dichloroethane	ug/L	0.86	0.86	U
Vinyl Acetate	ug/L	0.40	0.40	U
2-Butanone (MEK)	ug/L	0.59	0.59	U
cis-1,2-Dichloroethylene	ug/L	0.51	0.51	U
Bromochloromethane	ug/L	0.33	0.33	U
Chloroform	ug/L	0.31	0.31	U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1732484

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
2,2-Dichloropropane	ug/L	0.82	0.82	U
1,2-Dichloroethane	ug/L	0.68	0.68	U
1,1,1-Trichloroethane	ug/L	0.44	0.44	U
1,1-Dichloropropene	ug/L	0.39	0.39	U
Carbon Tetrachloride	ug/L	0.57	0.57	U
Benzene	ug/L	0.34	0.34	U
Dibromomethane	ug/L	0.76	0.76	U
1,2-Dichloropropane	ug/L	0.76	0.76	U
Trichloroethene	ug/L	0.66	0.66	U
Bromodichloromethane	ug/L	0.49	0.49	U
2-Chloroethyl Vinyl Ether	ug/L	0.38	0.38	U
cis-1,3-Dichloropropene	ug/L	0.36	0.36	U
4-Methyl-2-pentanone (MIBK)	ug/L	0.93	0.93	U
trans-1,3-Dichloropropylene	ug/L	0.42	0.42	U
1,1,2-Trichloroethane	ug/L	0.40	0.40	U
Toluene	ug/L	0.45	0.45	U
1,3-Dichloropropane	ug/L	0.80	0.80	U
2-Hexanone	ug/L	0.99	0.99	U
Dibromochloromethane	ug/L	0.56	0.56	U
Ethylene Dibromide (EDB)	ug/L	0.67	0.67	U
Tetrachloroethylene (PCE)	ug/L	0.52	0.52	U
1,1,1,2-Tetrachloroethane	ug/L	0.64	0.64	U
Chlorobenzene	ug/L	0.56	0.56	U
Ethylbenzene	ug/L	0.26	0.26	U
Bromoform	ug/L	0.61	0.61	U
Styrene	ug/L	0.84	0.84	U
1,1,2,2-Tetrachloroethane	ug/L	0.41	0.41	U
1,2,3-Trichloropropane	ug/L	0.58	0.58	U
Isopropylbenzene	ug/L	0.31	0.31	U
Bromobenzene	ug/L	0.73	0.73	U
n-propylbenzene	ug/L	0.48	0.48	U
2-Chlorotoluene	ug/L	0.49	0.49	U
4-Chlorotoluene	ug/L	0.44	0.44	U
1,3,5-Trimethylbenzene	ug/L	0.68	0.68	U
tert-butylbenzene	ug/L	0.53	0.53	U
1,2,4-Trimethylbenzene	ug/L	0.54	0.54	U
sec-butylbenzene	ug/L	0.38	0.38	U
1,3-Dichlorobenzene	ug/L	0.43	0.43	U
1,4-Dichlorobenzene	ug/L	0.97	0.97	U
1,2-Dichlorobenzene	ug/L	0.63	0.63	U
n-Butylbenzene	ug/L	0.64	0.64	U
1,2-Dibromo-3-Chloropropane	ug/L	0.25	0.25	U
1,2,4-Trichlorobenzene	ug/L	0.84	0.84	U
Naphthalene	ug/L	0.73	0.73	U
Hexachlorobutadiene	ug/L	0.53	0.53	U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1732484

Parameter	Units	Blank Result	Reporting Limit Qualifiers
1,2,3-Trichlorobenzene	ug/L	0.86	0.86 U
Xylene (Total)	ug/L	1.3	1.3 U
1,2-Dichloroethane-d4 (S)	%	87	70-130
Toluene-d8 (S)	%	102	70-130
Bromofluorobenzene (S)	%	105	70-130

LABORATORY CONTROL SAMPLE: 1732485

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits Qualifiers
VOLATILES					
Vinyl Chloride	ug/L	20	19	93	70-130
1,1-Dichloroethylene	ug/L	20	21	106	70-130
Methyl tert-butyl Ether (MTBE)	ug/L	20	17	87	70-130
cis-1,2-Dichloroethylene	ug/L	20	22	109	70-130
Chloroform	ug/L	20	20	98	70-130
Benzene	ug/L	20	21	107	70-130
Trichloroethene	ug/L	20	22	111	70-130
Toluene	ug/L	20	20	102	70-130
Tetrachloroethylene (PCE)	ug/L	20	22	109	70-130
Chlorobenzene	ug/L	20	20	101	70-130
Ethylbenzene	ug/L	20	21	106	70-130
1,2,4-Trimethylbenzene	ug/L	20	21	103	70-130
1,3-Dichlorobenzene	ug/L	20	20	102	70-130
1,2-Dichlorobenzene	ug/L	20	21	103	70-130
Xylene (Total)	ug/L	60	61	102	70-130
1,2-Dichloroethane-d4 (S)	%			84	70-130
Toluene-d8 (S)	%			98	70-130
Bromofluorobenzene (S)	%			95	70-130

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1732486 1732487 Original: T1505007005

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
VOLATILES											
Vinyl Chloride	ug/L	0	20	18	19	90	95	70-130	5	30	
1,1-Dichloroethylene	ug/L	0	20	22	22	108	109	70-130	1	30	
Methyl tert-butyl Ether (MTBE)	ug/L	0	20	17	18	86	88	70-130	3	30	

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1732486 1732487 Original: T1505007005

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
cis-1,2-Dichloroethylene	ug/L	0	20	22	22	108	111	70-130	3	30	
Chloroform	ug/L	0	20	20	20	98	101	70-130	3	30	
Benzene	ug/L	0	20	21	22	105	108	70-130	3	30	
Trichloroethene	ug/L	0	20	22	23	111	113	70-130	2	30	
Toluene	ug/L	0	20	20	20	101	102	70-130	1	30	
Tetrachloroethylene (PCE)	ug/L	0	20	22	22	108	112	70-130	4	30	
Chlorobenzene	ug/L	0	20	20	20	100	102	70-130	2	30	
Ethylbenzene	ug/L	0	20	21	21	105	107	70-130	2	30	
1,2,4-Trimethylbenzene	ug/L	0	20	21	21	103	106	70-130	3	30	
1,3-Dichlorobenzene	ug/L	0	20	20	21	101	104	70-130	3	30	
1,2-Dichlorobenzene	ug/L	0	20	20	21	102	105	70-130	3	30	
Xylene (Total)	ug/L	0	60	61	63	101	104	70-130	3	30	
1,2-Dichloroethane-d4 (S)	%	91				87	86	70-130	1		
Toluene-d8 (S)	%	100				98	96	70-130	2		
Bromofluorobenzene (S)	%	107				99	97	70-130	3		

QC Batch: DGMj/1426

Analysis Method: SW-846 6010

QC Batch Method: SW-846 3010A

Prepared: 04/23/2015 03:30

Associated Lab Samples: T1505007024

METHOD BLANK: 1732499

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
METALS				
Aluminum	ug/L	61	61	U
Iron	ug/L	38	38	U
Sodium	mg/L	0.026	0.026	U

LABORATORY CONTROL SAMPLE & LCSD: 1732500 1732501

Parameter	Units	Spike Conc.	LCS Result	LCSD Result	LCS % Rec	LCSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS										
Aluminum	ug/L	25000	25000	24000	97	94	80-120	3	20	
Iron	ug/L	25000	25000	24000	98	95	80-120	3	20	
Sodium	mg/L	50	50	49	99	96	80-120	2	20	

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1732502 1732503 Original: T1505007024

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS											
Aluminum	ug/L	0	25000	25000	25000	96	97	75-125	1	20	
Iron	ug/L	9	25000	25000	25000	98	99	75-125	1	20	
Sodium	mg/L	11	50	61	62	99	101	75-125	1	20	

QC Batch: MSV/1255

Analysis Method: SW-846 8260B

QC Batch Method: SW-846 5030B

Prepared: 04/23/2015 00:00

Associated Lab Samples: T1505007008, T1505007009, T1505007010, T1505007011, T1505007012, T1505007013, T1505007018, T1505007019,

METHOD BLANK: 1733566

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
VOLATILES				
Dichlorodifluoromethane	ug/L	0.36	0.36	U
Chloromethane	ug/L	0.70	0.70	U
Vinyl Chloride	ug/L	0.73	0.73	U
Bromomethane	ug/L	0.81	0.81	U
Chloroethane	ug/L	0.38	0.38	U
Trichlorofluoromethane	ug/L	0.84	0.84	U
Acrolein (Propenal)	ug/L	3.1	3.1	U
Acetone	ug/L	1.0	1.0	U
1,1-Dichloroethylene	ug/L	0.70	0.70	U
Iodomethane (Methyl Iodide)	ug/L	0.65	0.65	U
Acrylonitrile	ug/L	4.6	4.6	U
Methylene Chloride	ug/L	1.0	1.0	U
Carbon Disulfide	ug/L	0.49	0.49	U
trans-1,2-Dichloroethylene	ug/L	0.50	0.50	U
Methyl tert-butyl Ether (MTBE)	ug/L	0.41	0.41	U
1,1-Dichloroethane	ug/L	0.86	0.86	U
Vinyl Acetate	ug/L	0.40	0.40	U
2-Butanone (MEK)	ug/L	0.59	0.59	U
cis-1,2-Dichloroethylene	ug/L	0.51	0.51	U
Bromochloromethane	ug/L	0.33	0.33	U
Chloroform	ug/L	0.31	0.31	U
2,2-Dichloropropane	ug/L	0.82	0.82	U
1,2-Dichloroethane	ug/L	0.68	0.68	U
1,1,1-Trichloroethane	ug/L	0.44	0.44	U
1,1-Dichloropropene	ug/L	0.39	0.39	U
Carbon Tetrachloride	ug/L	0.57	0.57	U
Benzene	ug/L	0.34	0.34	U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1733566

Parameter	Units	Blank Result	Reporting Limit Qualifiers
Dibromomethane	ug/L	0.76	0.76 U
1,2-Dichloropropane	ug/L	0.76	0.76 U
Trichloroethene	ug/L	0.66	0.66 U
Bromodichloromethane	ug/L	0.49	0.49 U
2-Chloroethyl Vinyl Ether	ug/L	0.38	0.38 U
cis-1,3-Dichloropropene	ug/L	0.36	0.36 U
4-Methyl-2-pentanone (MIBK)	ug/L	0.93	0.93 U
trans-1,3-Dichloropropylene	ug/L	0.42	0.42 U
1,1,2-Trichloroethane	ug/L	0.40	0.40 U
Toluene	ug/L	0.45	0.45 U
1,3-Dichloropropane	ug/L	0.80	0.80 U
2-Hexanone	ug/L	0.99	0.99 U
Dibromochloromethane	ug/L	0.56	0.56 U
Ethylene Dibromide (EDB)	ug/L	0.67	0.67 U
Tetrachloroethylene (PCE)	ug/L	0.52	0.52 U
1,1,1,2-Tetrachloroethane	ug/L	0.64	0.64 U
Chlorobenzene	ug/L	0.56	0.56 U
Ethylbenzene	ug/L	0.26	0.26 U
Bromoform	ug/L	0.61	0.61 U
Styrene	ug/L	0.84	0.84 U
1,1,2,2-Tetrachloroethane	ug/L	0.41	0.41 U
1,2,3-Trichloropropane	ug/L	0.58	0.58 U
Isopropylbenzene	ug/L	0.31	0.31 U
Bromobenzene	ug/L	0.73	0.73 U
n-propylbenzene	ug/L	0.48	0.48 U
2-Chlorotoluene	ug/L	0.49	0.49 U
4-Chlorotoluene	ug/L	0.44	0.44 U
1,3,5-Trimethylbenzene	ug/L	0.68	0.68 U
tert-butylbenzene	ug/L	0.53	0.53 U
1,2,4-Trimethylbenzene	ug/L	0.54	0.54 U
sec-butylbenzene	ug/L	0.38	0.38 U
1,3-Dichlorobenzene	ug/L	0.43	0.43 U
1,4-Dichlorobenzene	ug/L	0.97	0.97 U
1,2-Dichlorobenzene	ug/L	0.63	0.63 U
n-Butylbenzene	ug/L	0.64	0.64 U
1,2-Dibromo-3-Chloropropane	ug/L	0.25	0.25 U
1,2,4-Trichlorobenzene	ug/L	0.84	0.84 U
Naphthalene	ug/L	0.73	0.73 U
Hexachlorobutadiene	ug/L	0.53	0.53 U
1,2,3-Trichlorobenzene	ug/L	0.86	0.86 U
Xylene (Total)	ug/L	1.3	1.3 U
1,2-Dichloroethane-d4 (S)	%	94	70-130
Toluene-d8 (S)	%	100	70-130
Bromofluorobenzene (S)	%	110	70-130

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

LABORATORY CONTROL SAMPLE: 1733567

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
VOLATILES						
Vinyl Chloride	ug/L	20	20	98	70-130	
1,1-Dichloroethylene	ug/L	20	23	113	70-130	
Methyl tert-butyl Ether (MTBE)	ug/L	20	18	89	70-130	
cis-1,2-Dichloroethylene	ug/L	20	22	110	70-130	
Chloroform	ug/L	20	21	106	70-130	
Benzene	ug/L	20	21	105	70-130	
Trichloroethene	ug/L	20	23	115	70-130	
Toluene	ug/L	20	20	101	70-130	
Tetrachloroethylene (PCE)	ug/L	20	21	107	70-130	
Chlorobenzene	ug/L	20	20	99	70-130	
Ethylbenzene	ug/L	20	21	106	70-130	
1,2,4-Trimethylbenzene	ug/L	20	20	102	70-130	
1,3-Dichlorobenzene	ug/L	20	20	100	70-130	
1,2-Dichlorobenzene	ug/L	20	20	99	70-130	
Xylene (Total)	ug/L	60	63	104	70-130	
1,2-Dichloroethane-d4 (S)	%			92	70-130	
Toluene-d8 (S)	%			96	70-130	
Bromofluorobenzene (S)	%			103	70-130	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1733568 1733569 Original: T1505007018

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	Max RPD	RPD	Qualifiers
VOLATILES											
Vinyl Chloride	ug/L	0	20	19	19	94	95	70-130	1	30	
1,1-Dichloroethylene	ug/L	0	20	21	26	105	129	70-130	21	30	
Methyl tert-butyl Ether (MTBE)	ug/L	0	20	18	18	88	88	70-130	0	30	
cis-1,2-Dichloroethylene	ug/L	0	20	21	22	107	112	70-130	5	30	
Chloroform	ug/L	0	20	21	21	107	107	70-130	0	30	
Benzene	ug/L	0	20	21	22	107	108	70-130	1	30	
Trichloroethene	ug/L	0	20	23	23	116	117	70-130	1	30	
Toluene	ug/L	0	20	20	20	102	98	70-130	4	30	
Tetrachloroethylene (PCE)	ug/L	0	20	22	21	109	103	70-130	5	30	
Chlorobenzene	ug/L	0	20	20	19	99	93	70-130	6	30	
Ethylbenzene	ug/L	0	20	21	20	106	102	70-130	4	30	
1,2,4-Trimethylbenzene	ug/L	0	20	20	21	101	103	70-130	2	30	
1,3-Dichlorobenzene	ug/L	0	20	20	20	101	102	70-130	1	30	
1,2-Dichlorobenzene	ug/L	0	20	20	20	101	102	70-130	1	30	

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1733568 1733569 Original: T1505007018

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
Xylene (Total)	ug/L	0	60	63	60	104	100	70-130	4	30	
1,2-Dichloroethane-d4 (S)	%	93				91	90	70-130	1		
Toluene-d8 (S)	%	101				98	93	70-130	5		
Bromofluorobenzene (S)	%	109				100	98	70-130	1		

QC Batch: WCA1/2888 Analysis Method: SM 4500-CI-E
QC Batch Method: SM 4500-CI-E Prepared:
Associated Lab Samples: T1505007004, T1505007005, T1505007006, T1505007007, T1505007010

METHOD BLANK: 1733919

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
WET CHEMISTRY Chloride	mg/L	1.1	1.1	U

LABORATORY CONTROL SAMPLE: 1733920

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
WET CHEMISTRY Chloride	mg/L	40	40	99	90-110	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1733921 1733922 Original: A1502540001

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
WET CHEMISTRY Chloride	mg/L	690	40	720	700	80	41	90-110	2	10	

QC Batch: WCA1/2889 Analysis Method: SM 4500-CI-E
QC Batch Method: SM 4500-CI-E Prepared:
Associated Lab Samples: T1505007011, T1505007012, T1505007013, T1505007014, T1505007017, T1505007018, T1505007019, T1505007020,

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1733924

Parameter	Units	Blank Result	Reporting Limit Qualifiers
WET CHEMISTRY Chloride	mg/L	1.1	1.1 U

LABORATORY CONTROL SAMPLE: 1733925

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits Qualifiers
WET CHEMISTRY Chloride	mg/L	40	40	99	90-110

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1733926 1733927 Original: T1505007012

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	Max RPD	Max RPD Qualifiers
WET CHEMISTRY Chloride	mg/L	26	40	67	68	101	104	90-110	2	10

QC Batch: WCA1/2890 Analysis Method: SM 4500-Cl-E
 QC Batch Method: SM 4500-Cl-E Prepared:
 Associated Lab Samples: T1505007024

METHOD BLANK: 1733929

Parameter	Units	Blank Result	Reporting Limit Qualifiers
WET CHEMISTRY Chloride	mg/L	1.1	1.1 U

LABORATORY CONTROL SAMPLE: 1733930

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits Qualifiers
WET CHEMISTRY Chloride	mg/L	40	40	99	90-110

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1733931 1733932 Original: T1505007024

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
WET CHEMISTRY Chloride	mg/L	17	40	60	60	108	107	90-110	0	10	

QC Batch: MSV1/1259 Analysis Method: SW-846 8260B
QC Batch Method: SW-846 5030B Prepared: 04/24/2015 00:00
Associated Lab Samples: T1505007014, T1505007015, T1505007024, T1505007025

METHOD BLANK: 1734674

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
VOLATILES				
Dichlorodifluoromethane	ug/L	0.36	0.36	U
Chloromethane	ug/L	0.70	0.70	U
Vinyl Chloride	ug/L	0.73	0.73	U
Bromomethane	ug/L	0.81	0.81	U
Chloroethane	ug/L	0.38	0.38	U
Trichlorofluoromethane	ug/L	0.84	0.84	U
Acrolein (Propenal)	ug/L	3.1	3.1	U
Acetone	ug/L	1.0	1.0	U
1,1-Dichloroethylene	ug/L	0.70	0.70	U
Iodomethane (Methyl Iodide)	ug/L	0.65	0.65	U
Acrylonitrile	ug/L	4.6	4.6	U
Methylene Chloride	ug/L	1.0	1.0	U
Carbon Disulfide	ug/L	0.49	0.49	U
trans-1,2-Dichloroethylene	ug/L	0.50	0.50	U
Methyl tert-butyl Ether (MTBE)	ug/L	0.41	0.41	U
1,1-Dichloroethane	ug/L	0.86	0.86	U
Vinyl Acetate	ug/L	0.40	0.40	U
2-Butanone (MEK)	ug/L	0.59	0.59	U
cis-1,2-Dichloroethylene	ug/L	0.51	0.51	U
Bromochloromethane	ug/L	0.33	0.33	U
Chloroform	ug/L	0.31	0.31	U
2,2-Dichloropropane	ug/L	0.82	0.82	U
1,2-Dichloroethane	ug/L	0.68	0.68	U
1,1,1-Trichloroethane	ug/L	0.44	0.44	U
1,1-Dichloropropene	ug/L	0.39	0.39	U
Carbon Tetrachloride	ug/L	0.57	0.57	U

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1734674

Parameter	Units	Blank Result	Reporting Limit Qualifiers
Benzene	ug/L	0.34	0.34 U
Dibromomethane	ug/L	0.76	0.76 U
1,2-Dichloropropane	ug/L	0.76	0.76 U
Trichloroethene	ug/L	0.66	0.66 U
Bromodichloromethane	ug/L	0.49	0.49 U
2-Chloroethyl Vinyl Ether	ug/L	0.38	0.38 U
cis-1,3-Dichloropropene	ug/L	0.36	0.36 U
4-Methyl-2-pentanone (MIBK)	ug/L	0.93	0.93 U
trans-1,3-Dichloropropylene	ug/L	0.42	0.42 U
1,1,2-Trichloroethane	ug/L	0.40	0.40 U
Toluene	ug/L	0.45	0.45 U
1,3-Dichloropropane	ug/L	0.80	0.80 U
2-Hexanone	ug/L	0.99	0.99 U
Dibromochloromethane	ug/L	0.56	0.56 U
Ethylene Dibromide (EDB)	ug/L	0.67	0.67 U
Tetrachloroethylene (PCE)	ug/L	0.52	0.52 U
1,1,1,2-Tetrachloroethane	ug/L	0.64	0.64 U
Chlorobenzene	ug/L	0.56	0.56 U
Ethylbenzene	ug/L	0.26	0.26 U
Bromoform	ug/L	0.61	0.61 U
Styrene	ug/L	0.84	0.84 U
1,1,2,2-Tetrachloroethane	ug/L	0.41	0.41 U
1,2,3-Trichloropropane	ug/L	0.58	0.58 U
Isopropylbenzene	ug/L	0.31	0.31 U
Bromobenzene	ug/L	0.73	0.73 U
n-propylbenzene	ug/L	0.48	0.48 U
2-Chlorotoluene	ug/L	0.49	0.49 U
4-Chlorotoluene	ug/L	0.44	0.44 U
1,3,5-Trimethylbenzene	ug/L	0.68	0.68 U
tert-butylbenzene	ug/L	0.53	0.53 U
1,2,4-Trimethylbenzene	ug/L	0.54	0.54 U
sec-butylbenzene	ug/L	0.38	0.38 U
1,3-Dichlorobenzene	ug/L	0.43	0.43 U
1,4-Dichlorobenzene	ug/L	0.97	0.97 U
1,2-Dichlorobenzene	ug/L	0.63	0.63 U
n-Butylbenzene	ug/L	0.64	0.64 U
1,2-Dibromo-3-Chloropropane	ug/L	0.25	0.25 U
1,2,4-Trichlorobenzene	ug/L	0.84	0.84 U
Naphthalene	ug/L	0.73	0.73 U
Hexachlorobutadiene	ug/L	0.53	0.53 U
1,2,3-Trichlorobenzene	ug/L	0.86	0.86 U
Xylene (Total)	ug/L	1.3	1.3 U
1,2-Dichloroethane-d4 (S)	%	97	70-130
Toluene-d8 (S)	%	100	70-130
Bromofluorobenzene (S)	%	108	70-130

Report ID: 363810 - 5410154

Page 91 of 106

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

METHOD BLANK: 1734674

LABORATORY CONTROL SAMPLE: 1734675

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
VOLATILES						
Vinyl Chloride	ug/L	20	20	101	70-130	
1,1-Dichloroethylene	ug/L	20	22	112	70-130	
Methyl tert-butyl Ether (MTBE)	ug/L	20	18	92	70-130	
cis-1,2-Dichloroethylene	ug/L	20	23	114	70-130	
Chloroform	ug/L	20	23	114	70-130	
Benzene	ug/L	20	22	110	70-130	
Trichloroethene	ug/L	20	23	117	70-130	
Toluene	ug/L	20	20	100	70-130	
Tetrachloroethylene (PCE)	ug/L	20	21	103	70-130	
Chlorobenzene	ug/L	20	19	96	70-130	
Ethylbenzene	ug/L	20	21	104	70-130	
1,2,4-Trimethylbenzene	ug/L	20	21	105	70-130	
1,3-Dichlorobenzene	ug/L	20	21	103	70-130	
1,2-Dichlorobenzene	ug/L	20	21	103	70-130	
Xylene (Total)	ug/L	60	61	102	70-130	
1,2-Dichloroethane-d4 (S)	%			93	70-130	
Toluene-d8 (S)	%			91	70-130	
Bromofluorobenzene (S)	%			101	70-130	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1734676 1734677 Original: T1505007014

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	Max RPD	Max RPD	Qualifiers
VOLATILES											
Vinyl Chloride	ug/L	0	20	20	20	99	100	70-130	2	30	
1,1-Dichloroethylene	ug/L	0	20	20	22	98	108	70-130	10	30	
Methyl tert-butyl Ether (MTBE)	ug/L	0	20	19	20	95	98	70-130	3	30	
cis-1,2-Dichloroethylene	ug/L	0	20	23	23	114	116	70-130	2	30	
Chloroform	ug/L	0	20	22	23	112	114	70-130	1	30	
Benzene	ug/L	0	20	22	20	111	99	70-130	11	30	
Trichloroethene	ug/L	0	20	23	23	117	117	70-130	1	30	
Toluene	ug/L	0	20	22	21	108	103	70-130	5	30	
Tetrachloroethylene (PCE)	ug/L	0	20	23	24	116	120	70-130	3	30	
Chlorobenzene	ug/L	0	20	21	20	103	101	70-130	2	30	
Ethylbenzene	ug/L	0	20	22	21	112	107	70-130	5	30	

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1734676 1734677 Original: T1505007014

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
1,2,4-Trimethylbenzene	ug/L	0	20	21	21	105	106	70-130	1	30	
1,3-Dichlorobenzene	ug/L	0	20	21	21	104	106	70-130	1	30	
1,2-Dichlorobenzene	ug/L	0	20	21	21	105	106	70-130	2	30	
Xylene (Total)	ug/L	0	60	67	64	111	106	70-130	4	30	
1,2-Dichloroethane-d4 (S)	%	98				95	89	70-130	7		
Toluene-d8 (S)	%	100				99	91	70-130	9		
Bromofluorobenzene (S)	%	110				99	99	70-130	0		

QC Batch: DGMj/1444

Analysis Method: SW-846 6020

QC Batch Method: SW-846 3010A

Prepared: 04/28/2015 03:30

Associated Lab Samples: T1505007001, T1505007002, T1505007004, T1505007005, T1505007006, T1505007007, T1505007008,

METHOD BLANK: 1734873

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
METALS				
Manganese	ug/L	0.055	0.055	U
Arsenic	ug/L	0.077	0.077	U
Cadmium	ug/L	0.028	0.028	U
Lead	ug/L	0.24	0.24	U

LABORATORY CONTROL SAMPLE & LCSD: 1734874 1734875

Parameter	Units	Spike Conc.	LCS Result	LCSD Result	LCS % Rec	LCSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS										
Manganese	ug/L	100	95	94	95	94	80-120	1	20	
Arsenic	ug/L	100	100	100	100	100	80-120	0	20	
Cadmium	ug/L	100	100	100	102	102	80-120	0	20	
Lead	ug/L	100	97	98	97	98	80-120	1	20	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1734876 1734877 Original: T1503355060

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
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METALS

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1734876 1734877 Original: T1503355060

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
Manganese	ug/L	0	200	230	240	116	121	75-125	4	20	
Arsenic	ug/L	28	200	220	230	98	101	75-125	3	20	
Cadmium	ug/L	0	200	190	200	97	99	75-125	1	20	
Lead	ug/L	0	200	190	190	96	97	75-125	1	20	

QC Batch: DGMj/1445 Analysis Method: SW-846 6020
 QC Batch Method: SW-846 3010A Prepared: 04/28/2015 03:30
 Associated Lab Samples: T1505007020, T1505007021, T1505007022, T1505007024

METHOD BLANK: 1734878

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
METALS				
Manganese	ug/L	0.055	0.055	U
Arsenic	ug/L	0.077	0.077	U
Cadmium	ug/L	0.028	0.028	U
Lead	ug/L	0.24	0.24	U

LABORATORY CONTROL SAMPLE & LCSD: 1734879 1734880

Parameter	Units	Spike Conc.	LCS Result	LCSD Result	LCS % Rec	LCSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS										
Manganese	ug/L	100	94	93	94	93	80-120	0	20	
Arsenic	ug/L	100	100	100	102	101	80-120	0	20	
Cadmium	ug/L	100	100	100	102	102	80-120	0	20	
Lead	ug/L	100	96	96	96	96	80-120	0	20	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1734881 1734882 Original: T1505007020

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
METALS											
Manganese	ug/L	17	200	200	200	92	93	75-125	1	20	
Arsenic	ug/L	1.2	200	200	210	101	102	75-125	2	20	
Cadmium	ug/L	0.028	200	200	200	100	101	75-125	1	20	

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QUALITY CONTROL DATA

Workorder: T1505007 Eureka Springs Landfill

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1734881 1734882 Original: T1505007020

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
Lead	ug/L	0	200	190	190	95	97	75-125	2	20	

QC Batch: WCAI/3135 Analysis Method: SM 4500-Cl-E
QC Batch Method: SM 4500-Cl-E Prepared:
Associated Lab Samples: T1505007008, T1505007009

METHOD BLANK: 1744391

Parameter	Units	Blank Result	Reporting Limit	Qualifiers
WET CHEMISTRY Chloride	mg/L	1.1	1.1	U

LABORATORY CONTROL SAMPLE: 1744392

Parameter	Units	Spike Conc.	LCS Result	LCS % Rec	% Rec Limits	Qualifiers
WET CHEMISTRY Chloride	mg/L	40	39	98	90-110	

MATRIX SPIKE & MATRIX SPIKE DUPLICATE: 1744393 1744394 Original: T1506094001

Parameter	Units	Original Result	Spike Conc.	MS Result	MSD Result	MS % Rec	MSD % Rec	% Rec Limit	RPD	Max RPD	Qualifiers
WET CHEMISTRY Chloride	mg/L	41	40	81	81	99	99	90-110	0	10	

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QUALITY CONTROL DATA QUALIFIERS

Workorder: T1505007 Eureka Springs Landfill

QUALITY CONTROL PARAMETER QUALIFIERS

- U The compound was analyzed for but not detected.
- I The reported value is between the laboratory method detection limit and the laboratory practical quantitation limit.
- J4 Estimated Result

DRAFT

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QUALITY CONTROL DATA CROSS REFERENCE TABLE

Workorder: T1505007 Eureka Springs Landfill

Lab ID	Sample ID	Prep Method	Prep Batch	Analysis Method	Analysis Batch
T1505007001	Field Blank			SM 4500-CI-E	WCA/2688
T1505007002	ESW-2			SM 4500-CI-E	WCA/2688
T1505007001	Field Blank	SW-846 3010A	DGMj/1407	SW-846 6010	ICPj/1245
T1505007002	ESW-2	SW-846 3010A	DGMj/1407	SW-846 6010	ICPj/1245
T1505007004	ES-1S	SW-846 3010A	DGMj/1407	SW-846 6010	ICPj/1245
T1505007005	ES-2S	SW-846 3010A	DGMj/1407	SW-846 6010	ICPj/1245
T1505007006	ES-3S	SW-846 3010A	DGMj/1407	SW-846 6010	ICPj/1245
T1505007007	ES-4S	SW-846 3010A	DGMj/1407	SW-846 6010	ICPj/1245
T1505007001	Field Blank			SM 2540 C	WCA/2728
T1505007002	ESW-2			SM 2540 C	WCA/2728
T1505007004	ES-1S			SM 2540 C	WCA/2776
T1505007005	ES-2S			SM 2540 C	WCA/2776
T1505007006	ES-3S			SM 2540 C	WCA/2776
T1505007007	ES-4S			SM 2540 C	WCA/2776
T1505007008	Duplicate			SM 2540 C	WCA/2776
T1505007009	ES-5S			SM 2540 C	WCA/2776
T1505007010	ES-5D			SM 2540 C	WCA/2776
T1505007011	ES-9S			SM 2540 C	WCA/2776
T1505007012	ES-9D			SM 2540 C	WCA/2776
T1505007013	ES-6S			SM 2540 C	WCA/2776
T1505007014	ES-6D			SM 2540 C	WCA/2776
T1505007017	ES-7S			SM 2540 C	WCA/2776
T1505007018	Aldridge			SM 2540 C	WCA/2776
T1505007019	ES-8S			SM 2540 C	WCA/2776
T1505007020	Suarez			SM 2540 C	WCA/2776
T1505007021	Guarisco 2			SM 2540 C	WCA/2776
T1505007022	Guarisco			SM 2540 C	WCA/2776
T1505007008	Duplicate	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007009	ES-5S	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253

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QUALITY CONTROL DATA CROSS REFERENCE TABLE

Workorder: T1505007 Eureka Springs Landfill

Lab ID	Sample ID	Prep Method	Prep Batch	Analysis Method	Analysis Batch
T1505007010	ES-5D	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007011	ES-9S	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007012	ES-9D	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007013	ES-6S	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007014	ES-6D	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007017	ES-7S	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007018	Aldridge	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007019	ES-8S	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007020	Suarez	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007021	Guarisco 2	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007022	Guarisco	SW-846 3010A	DGMj/1417	SW-846 6010	ICPj/1253
T1505007001	Field Blank	SW-846 5030B	MSVt/1248	SW-846 8260B	MSVt/1249
T1505007002	ESW-2	SW-846 5030B	MSVt/1248	SW-846 8260B	MSVt/1249
T1505007003	Trip Blank	SW-846 5030B	MSVt/1248	SW-846 8260B	MSVt/1249
T1505007004	ES-1S	SW-846 5030B	MSVt/1248	SW-846 8260B	MSVt/1249
T1505007024	Torres			SM 2540 C	WCAt/2821
T1505007005	ES-2S	SW-846 5030B	MSVt/1250	SW-846 8260B	MSVt/1251
T1505007006	ES-3S	SW-846 5030B	MSVt/1250	SW-846 8260B	MSVt/1251
T1505007007	ES-4S	SW-846 5030B	MSVt/1250	SW-846 8260B	MSVt/1251
T1505007016	Trip Blank	SW-846 5030B	MSVt/1250	SW-846 8260B	MSVt/1251
T1505007017	ES-7S	SW-846 5030B	MSVt/1250	SW-846 8260B	MSVt/1251
T1505007024	Torres	SW-846 3010A	DGMj/1426	SW-846 6010	ICPj/1261
T1505007008	Duplicate	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007009	ES-5S	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007010	ES-5D	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007011	ES-9S	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007012	ES-9D	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007013	ES-6S	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256

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QUALITY CONTROL DATA CROSS REFERENCE TABLE

Workorder: T1505007 Eureka Springs Landfill

Lab ID	Sample ID	Prep Method	Prep Batch	Analysis Method	Analysis Batch
T1505007018	Aldridge	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007019	ES-8S	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007020	Suarez	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007021	Guarisco 2	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007022	Guarisco	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007023	Trip Blank	SW-846 5030B	MSVt/1255	SW-846 8260B	MSVt/1256
T1505007004	ES-1S			SM 4500-CI-E	WCA/2888
T1505007005	ES-2S			SM 4500-CI-E	WCA/2888
T1505007006	ES-3S			SM 4500-CI-E	WCA/2888
T1505007007	ES-4S			SM 4500-CI-E	WCA/2888
T1505007010	ES-5D			SM 4500-CI-E	WCA/2888
T1505007011	ES-9S			SM 4500-CI-E	WCA/2889
T1505007012	ES-9D			SM 4500-CI-E	WCA/2889
T1505007013	ES-6S			SM 4500-CI-E	WCA/2889
T1505007014	ES-6D			SM 4500-CI-E	WCA/2889
T1505007017	ES-7S			SM 4500-CI-E	WCA/2889
T1505007018	Aldridge			SM 4500-CI-E	WCA/2889
T1505007019	ES-8S			SM 4500-CI-E	WCA/2889
T1505007020	Suarez			SM 4500-CI-E	WCA/2889
T1505007021	Guarisco 2			SM 4500-CI-E	WCA/2889
T1505007022	Guarisco			SM 4500-CI-E	WCA/2889
T1505007024	Torres			SM 4500-CI-E	WCA/2890
T1505007014	ES-6D	SW-846 5030B	MSVt/1259	SW-846 8260B	MSVt/1260
T1505007015	Trip Blank	SW-846 5030B	MSVt/1259	SW-846 8260B	MSVt/1260
T1505007024	Torres	SW-846 5030B	MSVt/1259	SW-846 8260B	MSVt/1260
T1505007025	Trip Blank	SW-846 5030B	MSVt/1259	SW-846 8260B	MSVt/1260
T1505007001	Field Blank	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007002	ESW-2	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094

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QUALITY CONTROL DATA CROSS REFERENCE TABLE

Workorder: T1505007 Eureka Springs Landfill

Lab ID	Sample ID	Prep Method	Prep Batch	Analysis Method	Analysis Batch
T1505007004	ES-1S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007005	ES-2S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007006	ES-3S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007007	ES-4S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007008	Duplicate	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007009	ES-5S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007010	ES-5D	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007011	ES-9S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007012	ES-9D	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007013	ES-6S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007014	ES-6D	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007017	ES-7S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007018	Aldridge	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007019	ES-8S	SW-846 3010A	DGMj/1444	SW-846 6020	ICMj/1094
T1505007020	Suarez	SW-846 3010A	DGMj/1445	SW-846 6020	ICMj/1095
T1505007021	Guarisco 2	SW-846 3010A	DGMj/1445	SW-846 6020	ICMj/1095
T1505007022	Guarisco	SW-846 3010A	DGMj/1445	SW-846 6020	ICMj/1095
T1505007024	Torres	SW-846 3010A	DGMj/1445	SW-846 6020	ICMj/1095
T1505007008	Duplicate			SM 4500-CI-E	WCA/3135
T1505007009	ES-5S			SM 4500-CI-E	WCA/3135
T1505007002	ESW-2	Field Measurements	FLD/	Field Measurements	FLD/
T1505007004	ES-1S	Field Measurements	FLD/	Field Measurements	FLD/
T1505007005	ES-2S	Field Measurements	FLD/	Field Measurements	FLD/
T1505007006	ES-3S	Field Measurements	FLD/	Field Measurements	FLD/
T1505007007	ES-4S	Field Measurements	FLD/	Field Measurements	FLD/
T1505007009	ES-5S	Field Measurements	FLD/	Field Measurements	FLD/
T1505007010	ES-5D	Field Measurements	FLD/	Field Measurements	FLD/
T1505007011	ES-9S	Field Measurements	FLD/	Field Measurements	FLD/
T1505007012	ES-9D	Field Measurements	FLD/	Field Measurements	FLD/
T1505007013	ES-6S	Field Measurements	FLD/	Field Measurements	FLD/
T1505007014	ES-6D	Field Measurements	FLD/	Field Measurements	FLD/

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QUALITY CONTROL DATA CROSS REFERENCE TABLE

Workorder: T1505007 Eureka Springs Landfill

Lab ID	Sample ID	Prep Method	Prep Batch	Analysis Method	Analysis Batch
T1505007017	ES-7S	Field Measurements	FLDt/	Field Measurements	FLDt/
T1505007018	Aldridge	Field Measurements	FLDt/	Field Measurements	FLDt/
T1505007019	ES-8S	Field Measurements	FLDt/	Field Measurements	FLDt/
T1505007020	Suarez	Field Measurements	FLDt/	Field Measurements	FLDt/
T1505007021	Guarisco 2	Field Measurements	FLDt/	Field Measurements	FLDt/
T1505007022	Guarisco	Field Measurements	FLDt/	Field Measurements	FLDt/
T1505007024	Torres	Field Measurements	FLDt/	Field Measurements	FLDt/

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- Miramar: 10200 USA Today Way, Miramar, FL 33025 • 954.889.2288 • Fax 954.889.2281
- Tallahassee: 1288 Cedar Center Drive, Tallahassee, FL 32301 • 850.219.6274 • Fax 850.219.6175
- Tampa: 9610 Princess Palm Ave. • Tampa, FL 33619 • 813.630.8616 • Fax 813.630.4327

Client Name: Hills. Co. Public Utilities
 Address: 332 North Falkenburg Rd.
 Tampa, Florida 33619
 Phone: (813) 663-3222
 FAX: (813) 274-6801
 Contact: Michael Townsel
 Sampled By: Z. Patterson / A. Croxon
 Turn Around Time: STANDARD RUSH
 Page: 1 of 1

Project Name: Eureka Springs Landfill
 P.O. Number/Project Number: N/A
 Project Location: Seffner, Florida

REMARKS/SPECIAL INSTRUCTIONS:

SAMPLE ID	SAMPLE DESCRIPTION	Grab Comp	SAMPLING		MATRIX	NO. COUNT	ANALYSIS REQUIRED	PRESERVATION	EPA Method 8260	Chloride	TDS	Al, As, Cd, Fe, Pb	Mn, Na	LABORATORY I.D. NUMBER
			DATE	TIME										
	FIELD BLANK	G1	4/13/15	11:35	GW			X	X	X	X	X		111
	ESW-2	↓	↓	11:39	↓			X	X	X	X	X		111
	Trip Blank							X						103

Matrix Code: WW = wastewater SW = surface water GW = ground water DW = drinking water Q = oil A = air SO = soil SL = sludge
 Preservation Code: 1 = ice H=(HCl) S = (H2SO4) N = (HNO3) T = (Sodium Thiosulfate)
 Received on Ice Yes No Temp taken from sample Temp from blank
 Form revised 09/19/2012
 Device used for measuring Temp by unique identifier (circle IR temp gun used) J-9A G-LT-1 LT-2 T-10A A-3A M-1A S-1V
 Temperature when received 2.7 (in degrees celsius)

Relinquished by	Date	Time	Received by	Date	Time
<i>[Signature]</i>	4/13/15	19:50	<i>[Signature]</i>	4/13/15	19:50

FOR DRINKING WATER USE (When PWS information not otherwise supplied)

PWS ID: _____
 Contact Person: _____ Phone: _____
 Supplier of Water: _____
 Site Address: _____



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- Tallahassee: 1298 Cedar Center Drive, Tallahassee, FL 32301 • 850.219.6274 • Fax 850.219.6275
- Tampa: 9610 Princess Palm Ave. • Tampa, FL 33619 • 813.630.9616 • Fax 813.630.4327

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Client Name: Hills. Co. Public Utilities Address: 332 North Falkenburg Rd. Tampa, Florida 33619 Phone: (813) 663-3222 FAX: (813) 274-6801 Contact: Michael Townsel Sampled By: Z. PATTERSON / A. BALLOON Turn Around Time: <input checked="" type="checkbox"/> STANDARD <input type="checkbox"/> RUSH Page: 1 of 1		Project Name: Eureka Springs Landfill P.O. Number/Project Number: N/A Project Location: Seffner, Florida REMARKS/SPECIAL INSTRUCTIONS:		BOTTLE SIZE & TYPE ANALYSIS REQUIRED PRESERVATION		LABORATORY I.D. NUMBER													
SAMPLE ID	SAMPLE DESCRIPTION	Grab Comp	SAMPLING		MATRIX	NO. COUNT	EPA Method 8260	Chloride	TDS	Al, As, Cd, Fe, Pb	Mn, Na								
			DATE	TIME															
ES-15		G	4/14/15	10:09	GW	5	X	X	X	X	X								004
ES-25				11:26			X	X	X	X	X								005
ES-35				12:26			X	X	X	X	X								006
ES-45				13:30			X	X	X	X	X								007
	Trip Blank						X												016 028
																			9/16/15

Matrix Code: WW = wastewater SW = surface water GW = ground water DW = drinking water O = oil A = air SO = soil SL = sludge
 Preservation Code: I = ice H=(HCl) S = (H2SO4) N = (HNO3) T = (Sodium Thiosulfate)
 Where required, pH checked Temperature when received (in degrees Celsius)
 Received on Ice Yes No Temp taken from sample Temp from blank
 Device used for measuring Temp by unique identifier (circle IR temp gun used) J: 9A G: LT-1 LT-2 T: 10A A: 3A M: 1A S: 1V
 Form revised 09/19/2012

Relinquished by: <i>[Signature]</i>		Received by: <i>[Signature]</i>	
1	Date: 4/14/15	Time: 1525	
2			
3			
4			

FOR DRINKING WATER USE (When PWS information not otherwise supplied)
 PWS ID: _____
 Contact Person: _____ Phone: _____
 Supplier of Water: _____
 Site Address: _____



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- Jacksonville: 6681 Southpoint Pkwy. • Jacksonville, FL 32216 • 904.363.9350 • Fax 904.383.9354
- Miramar: 10200 USA Today Way, Miramar, FL 33025 • 954.889.2288 • Fax 954.889.2281
- Tallahassee: 1288 Cedar Center Drive, Tallahassee, FL 32301 • 850.219.6274 • Fax 850.219.6275
- Tampa: 9610 Princess Palm Ave. • Tampa, FL 33619 • 813.630.9616 • Fax 813.630.4327

Client Name: Hills. Co. Public Utilities			Project Name: Eureka Springs Landfill							
Address: 332 North Falkenburg Rd.			P.O. Number/Project Number: N/A							
Tampa, Florida 33619			Project Location: Seffner, Florida							
Phone: (813) 663-3222			REMARKS/SPECIAL INSTRUCTIONS:							
FAX: (813) 274-6801										
Contact: Michael Townsel										
Sampled By: Z. Paterson / A. Ballou										
Turn Around Time: <input checked="" type="checkbox"/> STANDARD <input type="checkbox"/> RUSH										
Page: 1 of 1										
SAMPLE ID	SAMPLE DESCRIPTION	Grab Comp	SAMPLING		MATRIX	NO. COUNT	PRESERVATION	ANALYSIS REQUIRED	BOTTLE SIZE & TYPE	LABORATORY I.D. NUMBER
			DATE	TIME						
	Duplicate	G	4/15/15	1/4	GW	5				
	ES-55		10:20							008 688
	ES-5D		11:06							009 688
	ES-95		12:09							010 688
	ES-9D		13:01							011 688
	ES-65		13:55							012 688
	ES-6D		14:50							013 688
	Trip Blank									014 688
										015 688

Matrix Code: WW = wastewater SW = surface water GW = ground water DW = drinking water O = oil A = air SO = soil SL = sludge
 Received on Ice Yes No Temp taken from sample Temp from blank
 Form revised 09/19/2012
 Device used for measuring Temp by unique identifier (circle IR temp gun used) J-9A G-LT-1 LT-2 2.1 (in degrees Celsius)
 Where required, pH checked Temperature when received 2.1

1	Relinquished By: <u>Michael Townsel</u>	Date: <u>4/15/15</u>	Time: <u>15:20</u>	Received by: <u>[Signature]</u>	Date: <u>4/15/15</u>	Time: <u>15:00</u>
2						
3						
4						

FOR DRINKING WATER USE (When PWS information not otherwise supplied)

PWS ID: _____
 Contact Person: _____ Phone: _____
 Supplier of Water: _____
 Site-Address: _____



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- Miramar: 10200 USA Today Way, Miramar, FL 33025 • 954.889.2288 • Fax 954.889.2281
- Tallahassee: 1288 Cedar Center Drive, Tallahassee, FL 32301 • 850.219.6274 • Fax 850.219.6275
- Tampa: 9610 Princess Palm Ave. • Tampa, FL 33619 • 813.630.9616 • Fax 813.630.4327

Client Name: Hills. Co. Public Utilities		Project Name: Eureka Springs Landfill	
Address: 332 North Falkenburg Rd.		P.O. Number/Project Number: N/A	
Tampa, Florida 33619		Project Location: Seffner, Florida	
Phone: (813) 663-3222		REMARKS/SPECIAL INSTRUCTIONS:	
FAX: (813) 274-6801			
Contact: Michael Townsel			
Sampled By: Z. Patterson / A. Balloon			
Turn Around Time: <input checked="" type="checkbox"/> STANDARD <input type="checkbox"/> RUSH			
Page: 1 of 1			

SAMPLE ID	SAMPLE DESCRIPTION	Grab Comp	SAMPLING		MATRIX	NO. COUNT	ANALYSIS REQUIRED	PRESERVATION	BOTTLER SIZE & TYPE	LABORATORY I.D. NUMBER
			DATE	TIME						
ES-7S	Aldridge	G1	4/16/15	10:16	GW	5	X	X	X	017 017
ES-8S	Suarez			10:50			X	X	X	018 018
Guarisco 2	Guarisco			11:53			X	X	X	019 019
Trip Blank	Trip Blank			12:35			X	X	X	020 019
				13:01			X	X	X	021 016
				13:31			X	X	X	022 017
							X	X	X	023 018

Matrix Code: WW = wastewater SW = surface water GW = ground water DW = drinking water O = oil A = air SO = soil SL = sludge Preservation Code: I = Ice H=(HC) S = (H2SO4) N = (HNO3) T = (Sodium Thioisulfate)

Received on ice Yes No Temp taken from sample Temp from blank Where required, pH checked Temperature when received _____ (in degrees Celsius)

Form revised 09/19/2012 Device used for measuring Temp by unique identifier (circle IR temp gun used) J. 9A G. LT-1 LT-2 T. 10A A. 3A M. 1A S. TV

Relinquished by: <i>Z. Patterson</i>		Received by: <i>[Signature]</i>	
Date: 4/16/15	Time: 1400	Date: 4/16/15	Time: 1420
1			
2			
3			
4			

FOR DRINKING WATER USE (When PWS information not otherwise supplied)

PWS ID: _____
 Contact Person: _____ Phone: _____
 Supplier of Water: _____
 Site-Address: _____



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- Tallahassee: 1288 Cedar Center Drive, Tallahassee, FL 32301 • 850.219.6274 • Fax 850.219.6275
- Tampa: 9610 Princess Palm Ave. • Tampa, FL 33619 • 813.630.9616 • Fax 813.630.4327

Client Name: Hills. Co. Public Utilities
 Address: 332 North Falkenburg Rd.
 Tampa, Florida 33619
 Phone: (813) 663-3222
 FAX: (813) 274-6801
 Contact: Michael Townsel
 Sampled By: Z. PATESSON / A. BALLOON
 Turn Around Time: STANDARD RUSH
 Page: 1 of 1

Project Name: Eureka Springs Landfill
 P.O. Number/Project Number: N/A
 Project Location: Seffner, Florida
 REMARKS/SPECIAL INSTRUCTIONS:

SAMPLE ID	SAMPLE DESCRIPTION	Grab Comp	SAMPLING		MATRIX	NO. COUNT	ANALYSIS REQUIRED					PRESERVATION	
			DATE	TIME			EPA Method 8260	Chloride	TDS	Al, As, Cd, Fe, Pb	Mn, Na		LABORATORY I.D. NUMBER
	Torres	G	4/17/15	10:29	GW	5	X	X	X	X	X	X	CR4
	Trip blank		-	-			X						ORS

Matrix Code: WW = wastewater SW = surface water GW = ground water DW = drinking water Q = oil A = air SO = soil SL = sludge
 Received on Ice: Yes No Temp taken from sample Temp from blank
 Device used for measuring Temp by unique identifier (circle IR temp gun used) J: 9A G: LT-1 LT-2 T: 10A A: 3A M: 1A S: 1V
 Form revised 09/19/2012

FOR DRINKING WATER USE (When PWS information not otherwise supplied)

PWS ID: _____
 Contact Person: _____ Phone: _____
 Supplier of Water: _____
 Site-Address: _____

	Relinquished by:	Date	Time	Received by:	Date	Time
1	<i>[Signature]</i>	4/17/15		<i>[Signature]</i>	4/17/15	14:38
2						
3						
4						

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: Eureka Springs	SITE LOCATION:
WELL NO: FIELD BLANK	SAMPLE ID: FIELD BLANK DATE: 4/13/15

PURGING DATA

WELL DIAMETER (inches): N/A	TUBING DIAMETER (inches): N/A	WELL SCREEN INTERVAL DEPTH: - feet to - feet	STATIC DEPTH TO WATER (feet): N/A	PURGE PUMP TYPE OR BAILER: N/A
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable)				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): N/A	FINAL PUMP OR TUBING DEPTH IN WELL (feet): N/A	PURGING INITIATED AT: N/A	PURGING ENDED AT: N/A	TOTAL VOLUME PURGED (gallons): N/A
---	---	----------------------------------	------------------------------	---

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) mg/L or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
FIELD BLANK											

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016

PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 11:35	SAMPLING ENDED AT: 11:38
---	---	-------------------------------------	---------------------------------

PUMP OR TUBING DEPTH IN WELL (feet): N/A	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
---	--------------------------------	------------------------------	-----------------------

FIELD DECONTAMINATION: PUMP Y N <u>Dedicated</u>	TUBING Y N <u>Dedicated</u>	DUPLICATE: Y (N)
--	---	-------------------------

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			
SEE COC FOR ANALYSIS									

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: Eureka Springs	SITE LOCATION:
WELL NO: ESW-2	SAMPLE ID: ESW-2
DATE: 4/13/15	

PURGING DATA

WELL DIAMETER (inches): N/A	TUBING DIAMETER (inches): N/A	WELL SCREEN INTERVAL DEPTH: - feet to - feet	STATIC DEPTH TO WATER (feet): 1.38	PURGE PUMP TYPE OR BAILER: Bailer
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable)				
= (feet - feet) X gallons/foot = gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				
= gallons + (gallons/foot X feet) + gallons = gallons				

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or 1/5cm	DISSOLVED OXYGEN (circle units) mg/l or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
11:39	N/A	N/A	N/A	1.38	6.55	24.08	474	5.45	1.61	NONE	NONE

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016

PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): 	SAMPLING INITIATED AT: 11:39	SAMPLING ENDED AT: 11:43
PUMP OR TUBING DEPTH IN WELL (feet): N/A	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y N	<u>Dedicated</u> TUBING Y N <u>Dedicated</u>	DUPLICATE: Y (N)	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)

SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: Eureka Springs Landfill	SITE LOCATION:	DATE: 4/14/15
WELL NO: ES-15	SAMPLE ID: ES-15	

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 12.73 feet to 22.73 feet	STATIC DEPTH TO WATER (feet): 6.05	PURGE PUMP TYPE OR BAILER: BP
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (22.73 feet - 6.05 feet) X .16 gallons/foot = 2.67 gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = _____ gallons + (_____ gallons/foot X _____ feet) + _____ gallons = _____ gallons				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 21.73	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 21.73	PURGING INITIATED AT: 7:28	PURGING ENDED AT: 10:09	TOTAL VOLUME PURGED (gallons): 4.1							
TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) (mg/L) or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
7:55	2.7	2.7	.10	14.90	6.99	22.66	741	1.61	8.14	NONE	NONE
10:02	.70	3.4	.10	14.95	7.00	22.64	749	1.63	8.61	↓	↓
10:09	.70	4.1	.10	14.95	7.00	22.63	751	1.62	8.42	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 10:09	SAMPLING ENDED AT: 10:14
PUMP OR TUBING DEPTH IN WELL (feet): 21.73	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y N <u>Dedicated</u>	TUBING Y N <u>Dedicated</u>	DUPLICATE: Y (N)	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: Eureka Springs Landfill	SITE LOCATION:
WELL NO: ES-25	SAMPLE ID: ES-25 DATE: 4/14/15

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 11.55 feet to 21.55 feet	STATIC DEPTH TO WATER (feet): 3.40	PURGE PUMP TYPE OR BAILER: BP
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (21.55 feet - 3.40 feet) X .16 gallons/foot = 2.91 gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = gallons + (gallons/foot X feet) + gallons = gallons				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 20.55	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 20.55	PURGING INITIATED AT: 10:40	PURGING ENDED AT: 11:26	TOTAL VOLUME PURGED (gallons): 4.6
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TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or (SCM)	DISSOLVED OXYGEN (circle units) mg/l or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
11:10	3.0	3.0	.10	11.62	6.68	20.58	1198	.68	2.84	NONE	NONE
11:18	.80	3.8	.10	11.62	6.62	20.90	1210	1.10	3.81	↓	↓
11:26	.80	4.6	.10	11.63	6.61	20.89	1218	1.12	2.96	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016

PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 11:26	SAMPLING ENDED AT: 11:31
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PUMP OR TUBING DEPTH IN WELL (feet): 20.55	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
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FIELD DECONTAMINATION: PUMP Y N (Dedicated)	TUBING Y N (Dedicated)	DUPLICATE: Y (N)
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SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS ←

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)

SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

- NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units **Temperature:** ± 0.2 °C **Specific Conductance:** ± 5% **Dissolved Oxygen:** all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) **Turbidity:** all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: Eureka Springs Landfill	SITE LOCATION:
WELL NO: ES-35	SAMPLE ID: ES-35 DATE: 4/14/15

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 19.14 feet to 20.14 feet	STATIC DEPTH TO WATER (feet): 3.37	PURGE PUMP TYPE OR BAILER: BP
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (20.14 feet - 3.37 feet) X .16 gallons/foot = 2.69 gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = gallons + (gallons/foot X feet) + gallons = gallons				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 19.14	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 19.14	PURGING INITIATED AT: 11:45	PURGING ENDED AT: 12:26	TOTAL VOLUME PURGED (gallons): 4.1							
TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or (S/cm)	DISSOLVED OXYGEN (circle units) mg/l or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
12:12	2.7	2.7	.10	9.80	5.48	22.03	296	.79	12.5	NONE	NONE
12:19	.70	3.4	.10	9.80	5.52	22.06	283	.79	11.9	↓	↓
12:26	.70	4.1	.10	9.80	5.55	22.04	291	.77	11.5	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 12:26	SAMPLING ENDED AT: 12:31
PUMP OR TUBING DEPTH IN WELL (feet): 19.14	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y <input checked="" type="radio"/> N	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y N <input checked="" type="radio"/> Dedicated	TUBING Y N <input checked="" type="radio"/> Dedicated	DUPLICATE: Y <input checked="" type="radio"/> N	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: Eureka Springs Landfill	SITE LOCATION:
WELL NO: ES-45	SAMPLE ID: ES-45 DATE: 4/14/15

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 11.47 feet to 21.47 feet	STATIC DEPTH TO WATER (feet): 5.32	PURGE PUMP TYPE OR BAILER: BP
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (21.47 feet - 5.32 feet) X .16 gallons/foot = 2.59 gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = gallons + (gallons/foot X feet) + gallons = gallons				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 20.47	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 20.47	PURGING INITIATED AT: 12:50	PURGING ENDED AT: 13:30	TOTAL VOLUME PURGED (gallons): 4.0

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or SCM	DISSOLVED OXYGEN (circle units) mg/L or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
13:16	2.6	2.6	.10	10.25	5.86	21.87	3802	.75	2.79	NONE	NONE
13:23	.70	3.3	.10	10.25	5.87	21.82	3794	.73	3.89	↓	↓
13:30	.70	4.0	.10	10.25	5.87	21.98	3805	.44	4.97	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016

PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 13:30	SAMPLING ENDED AT: 13:35
PUMP OR TUBING DEPTH IN WELL (feet): 20.47	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y <input checked="" type="radio"/> N	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y N <input checked="" type="radio"/> Dedicated	TUBING Y N <input checked="" type="radio"/> Dedicated	DUPLICATE: Y <input checked="" type="radio"/> N	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL. ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS ←

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)

SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
 2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
 pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: Eureka Springs Landfill	SITE LOCATION:
WELL NO: ES-55	SAMPLE ID: ES-55 DATE: 4/15/15

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 11.94 feet to 21.94 feet	STATIC DEPTH TO WATER (feet): 6.13	PURGE PUMP TYPE OR BAILER: BP
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (21.94 feet - 6.13 feet) X .16 gallons/foot = 2.53 gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = gallons + (gallons/foot X feet) + gallons = gallons				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 20.94	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 20.94	PURGING INITIATED AT: 9:40	PURGING ENDED AT: 10:20	TOTAL VOLUME PURGED (gallons): 4.0							
TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) (mg/l) or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
10:06	2.6	2.6	.10	10.62	5.32	22.04	650	.55	5.51	NONE	NONE
10:13	.70	3.3	.10	10.62	5.32	22.04	653	.55	4.16	↓	↓
10:20	.70	4.0	.10	10.62	5.31	22.05	650	.55	4.22	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON				SAMPLER(S) SIGNATURE(S):				SAMPLING INITIATED AT: 10:20		SAMPLING ENDED AT: 10:25	
PUMP OR TUBING DEPTH IN WELL (feet): 20.94				TUBING MATERIAL CODE: T				FIELD-FILTERED: Y (N)		FILTER SIZE: _____ μm	
FIELD DECONTAMINATION: PUMP Y N <u>Dedicated</u>				TUBING Y N <u>Dedicated</u>				DUPLICATE: Y N			
SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION				INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)	
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH					

SEE COC FOR ANALYSIS ←

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Revision Date: February 2009

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: Eureka Springs Landfill	SITE LOCATION:	DATE: 4/15/15
WELL NO: Duplicate	SAMPLE ID: Duplicate	

PURGING DATA

WELL DIAMETER (inches): N/A	TUBING DIAMETER (inches): N/A	WELL SCREEN INTERVAL DEPTH: -- feet to -- feet	STATIC DEPTH TO WATER (feet): N/A	PURGE PUMP TYPE OR BAILER: N/A
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable)				
= (feet - feet) X gallons/foot = gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				
= gallons + (gallons/foot X feet) + gallons = gallons				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): N/A	FINAL PUMP OR TUBING DEPTH IN WELL (feet): N/A	PURGING INITIATED AT: N/A	PURGING ENDED AT: N/A	TOTAL VOLUME PURGED (gallons): N/A

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) mg/L or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
DUPLICATE											

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
 PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: N/A	SAMPLING ENDED AT: N/A
PUMP OR TUBING DEPTH IN WELL (feet): N/A	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: μm
FIELD DECONTAMINATION: PUMP Y N Dedicated		TUBING Y N Dedicated	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			
DUPLICATE									

SEE COC FOR ANALYSIS

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
 SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

- NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
 2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
 pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: Eureka Springs Landfill	SITE LOCATION:
WELL NO: ES-5D	SAMPLE ID: ES-5D DATE: 4/15/15

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH 30.82 40.82 feet	STATIC DEPTH TO WATER (feet): 8.20	PURGE PUMP TYPE OR BAILER: BP
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (40.82 feet - 8.20 feet) X .16 gallons/foot = 5.22 gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 39.82	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 39.82	PURGING INITIATED AT: 10:33	PURGING ENDED AT: 11:06	TOTAL VOLUME PURGED (gallons): 8.25							
TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) (mg/l) or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
10:54	5.25	5.25	.25	8.20	6.85	23.36	608	.25	3.92	NONE	NONE
11:00	1.5	6.75	.25	8.20	6.86	23.36	607	.25	4.76	↓	↓
11:06	1.5	8.25	.25	8.20	6.86	23.36	607	.25	4.56	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 11:06	SAMPLING ENDED AT: 11:11
PUMP OR TUBING DEPTH IN WELL (feet): 39.82	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y N Dedicated	TUBING Y N Dedicated	DUPLICATE: Y (N)	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS ←

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: Eureka Springs Landfill		SITE LOCATION:	
WELL NO: ES-95	SAMPLE ID: ES-95	DATE: 4/15/15	

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 10.21 feet to 20.21 feet	STATIC DEPTH TO WATER (feet): 4.99	PURGE PUMP TYPE OR BAILER: BP
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WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY
(only fill out if applicable)
= (**20.21** feet - **4.99** feet) X **.16** gallons/foot = **2.44** gallons

EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME
(only fill out if applicable)
= _____ gallons + (_____ gallons/foot X _____ feet) + _____ gallons = _____ gallons


INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 19.21	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 19.21	PURGING INITIATED AT: 11:30	PURGING ENDED AT: 12:09	TOTAL VOLUME PURGED (gallons): 3.9
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TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or <u>SCM</u>	DISSOLVED OXYGEN (circle units) (mg/l) or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
11:55	2.5	2.5	.10	7.00	5.53	21.68	477	.40	6.49	light yellow tint	none
12:02	.70	3.2	.10	7.00	5.51	21.70	474	.43	6.77	↓	↓
12:09	.70	3.9	.10	7.00	5.51	21.71	470	.42	7.13	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016

PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): 	SAMPLING INITIATED AT: 12:09	SAMPLING ENDED AT: 12:14
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PUMP OR TUBING DEPTH IN WELL (feet): 19.21	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
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FIELD DECONTAMINATION: PUMP Y N (Dedicated)	TUBING Y N (Dedicated)	DUPLICATE: Y (N)
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SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS 

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)

SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: Eureka Springs Landfill		SITE LOCATION:	
WELL NO: ES-9D	SAMPLE ID: ES-9D	DATE: 4/15/15	

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 40.71 feet to 50.71 feet	STATIC DEPTH TO WATER (feet): 10:30	PURGE PUMP TYPE OR BAILER: BP
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WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY
(only fill out if applicable)
= (**50.71** feet - **10.33** feet) X **.16** gallons/foot = **6.47** gallons

EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME
(only fill out if applicable)
= _____ gallons + (_____ gallons/foot X _____ feet) + _____ gallons = _____ gallons

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 49.71	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 49.71	PURGING INITIATED AT: 12:21	PURGING ENDED AT: 13:01	TOTAL VOLUME PURGED (gallons): 10.0
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TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) (mg/L or % saturation)	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
12:47	6.5	6.5	.25	10.30	5.90	22.90	324	.37	1.74	NONE	NONE
12:54	1.75	8.25	.25	10.30	5.89	22.91	324	.37	2.36	↓	↓
13:01	1.75	10.00	.25	10.30	5.89	22.91	324	.37	1.72	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
 PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): 	SAMPLING INITIATED AT: 13:01	SAMPLING ENDED AT: 13:06
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PUMP OR TUBING DEPTH IN WELL (feet): 49.71	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
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FIELD DECONTAMINATION: PUMP **Y** **N** (Dedicated) TUBING **Y** **N** (Dedicated) DUPLICATE: **Y** (N)

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
 SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
 2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
 pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: Eureka Springs Landfill	SITE LOCATION:	DATE: 4/15/15
WELL NO: ES-65	SAMPLE ID: ES-65	

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 5.10 feet to 15.10 feet	STATIC DEPTH TO WATER (feet): 4.81	PURGE PUMP TYPE OR BAILER: BP
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WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY
(only fill out if applicable)
= (**15.10** feet - **4.81** feet) X **.16** gallons/foot = **1.65** gallons

EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME
(only fill out if applicable)
= _____ gallons + (_____ gallons/foot X _____ feet) + _____ gallons = _____ gallons

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 14.10	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 14.10	PURGING INITIATED AT: 13:28	PURGING ENDED AT: 13:55	TOTAL VOLUME PURGED (gallons): 2.7
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TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) mg/L or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
13:45	1.70	1.70	.10	5.19	6.50	22.58	1654	.78	4.56	NONE	NONE
13:50	.50	2.20	.10	5.19	6.50	22.60	1658	.78	3.01	↓	↓
13:55	.50	2.70	.10	5.19	6.49	22.61	1660	.78	2.33	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 13:55	SAMPLING ENDED AT: 14:00
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PUMP OR TUBING DEPTH IN WELL (feet): 14.10	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm Filtration Equipment Type: _____
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FIELD DECONTAMINATION: PUMP **Y** **N** (Dedicated) TUBING **Y** **N** (Dedicated) DUPLICATE: **Y** (N)

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)

SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)
Revision Date: February 2009

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: Eureka Springs Landfill	SITE LOCATION:
WELL NO: ES-6D	SAMPLE ID: ES-6D DATE: 4/15/15

PURGING DATA

WELL DIAMETER (inches): 2	TUBING DIAMETER (inches): 1/2	WELL SCREEN INTERVAL DEPTH: 72.46 feet to 82.46 feet	STATIC DEPTH TO WATER (feet): 1.68	PURGE PUMP TYPE OR BAILER: BP
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (82.46 feet - 1.68 feet) X .16 gallons/foot = 12.93 gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = gallons + (gallons/foot X feet) + gallons = gallons				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): 81.46	FINAL PUMP OR TUBING DEPTH IN WELL (feet): 81.46	PURGING INITIATED AT: 14:10	PURGING ENDED AT: 14:50	TOTAL VOLUME PURGED (gallons): 20							
TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or (S/cm)	DISSOLVED OXYGEN (circle units) (mg/L) or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
14:36	13	13	.50	20.49	7.45	22.75	319	.24	.50	NONE	NONE
14:43	3.5	16.5	.50	20.50	7.46	22.78	320	.25	.60	↓	↓
14:50	3.5	20	.50	20.50	7.47	22.77	320	.26	.59	↓	↓
WATER											
WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016											
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)											

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: 14:50	SAMPLING ENDED AT: 14:55
PUMP OR TUBING DEPTH IN WELL (feet): 81.46	TUBING MATERIAL CODE: T	FIELD-FILTERED: Y <input checked="" type="radio"/> N	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y N <input checked="" type="radio"/> TUBING Y N <input checked="" type="radio"/>	DUPLICATE: Y <input checked="" type="radio"/> N		
SAMPLE CONTAINER SPECIFICATION		SAMPLE PRESERVATION	
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME
		PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)
			FINAL pH
		INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE
			SAMPLE PUMP FLOW RATE (mL per minute)

SEE COC FOR ANALYSIS ←

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
 2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
 pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: <u>Eureka Springs Landfill</u>	SITE LOCATION:
WELL NO: <u>ES-75</u>	SAMPLE ID: <u>ES-75</u> DATE: <u>4/16/15</u>

PURGING DATA

WELL DIAMETER (inches): <u>2</u>	TUBING DIAMETER (inches): <u>1/2</u>	WELL SCREEN INTERVAL DEPTH: <u>10.21</u> feet to <u>20.21</u> feet	STATIC DEPTH TO WATER (feet): <u>8.99</u>	PURGE PUMP TYPE OR BAILER: <u>BP</u>
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (<u>20.21</u> feet - <u>8.99</u> feet) X <u>.16</u> gallons/foot = <u>1.80</u> gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = _____ gallons + (_____ gallons/foot X _____ feet) + _____ gallons = _____ gallons				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): <u>19.21</u>	FINAL PUMP OR TUBING DEPTH IN WELL (feet): <u>19.21</u>	PURGING INITIATED AT: <u>9:48</u>	PURGING ENDED AT: <u>10:16</u>	TOTAL VOLUME PURGED (gallons): <u>2.8</u>

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) mg/l or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
10:06	1.8	1.8	.10	8.99	6.55	23.24	451	3.56	18.7	light cloudy	none
10:11	.5	2.3	.10	8.99	6.56	23.26	453	3.58	19.3	↓	↓
10:16	.5	2.8	.10	8.99	6.56	23.28	455	3.60	19.0	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: <u>ANDREW BALLOON / ZACK PATTERSON</u>				SAMPLER(S) SIGNATURE(S): <u>[Signature]</u>			SAMPLING INITIATED AT: <u>10:16</u>		SAMPLING ENDED AT: <u>10:21</u>	
PUMP OR TUBING DEPTH IN WELL (feet): <u>19.21</u>				TUBING MATERIAL CODE: <u>T</u>		FIELD-FILTERED: Y <input type="radio"/> N <input checked="" type="radio"/>		FILTER SIZE: _____ μm		
FIELD DECONTAMINATION: PUMP Y <input type="radio"/> N <input checked="" type="radio"/> <u>Dedicated</u>				TUBING Y <input type="radio"/> N <input checked="" type="radio"/> <u>Dedicated</u>		DUPLICATE: Y <input type="radio"/> N <input checked="" type="radio"/>				
SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)	
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH				

SEE COC FOR ANALYSIS ←

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPF = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: <u>Eureka Springs Leadfill</u>	SITE LOCATION:
WELL NO: <u>Aldridge</u>	SAMPLE ID: <u>Aldridge</u> DATE: <u>4/16/15</u>

PURGING DATA

WELL DIAMETER (inches): <u>N/A</u>	TUBING DIAMETER (inches): <u>N/A</u>	WELL SCREEN INTERVAL DEPTH: <u>-</u> feet to <u>-</u> feet	STATIC DEPTH TO WATER (feet): <u>N/A</u>	PURGE PUMP TYPE OR BAILER: <u>Valve</u>
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable)				
= (feet - feet) X gallons/foot = gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				
= gallons + (gallons/foot X feet) + gallons = gallons				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	FINAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	PURGING INITIATED AT: <u>10:29</u>	PURGING ENDED AT: <u>10:50</u>	TOTAL VOLUME PURGED (gallons): <u>105</u>

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) mg/L or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
10:44	75	75	5	N/A	3.46	23.03	238	.71	.63	NONE	NONE
10:47	15	90	5	N/A	3.47	23.03	239	.74	.49		
10:50	15	105	5	N/A	3.49	23.04	238	.75	.45	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
 PURGING EQUIPMENT CODES: B = Bailor; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: <u>ANDREW BALLOON / ZACK PATTERSON</u>	SAMPLER(S) SIGNATURE(S): 	SAMPLING INITIATED AT: <u>10:50</u>	SAMPLING ENDED AT: <u>10:55</u>
PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	TUBING MATERIAL CODE: <u>T</u>	FIELD-FILTERED: Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <u>Dedicated</u>	TUBING Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <u>Dedicated</u>	DUPLICATE: Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS let purge 15 min before readings.

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
 SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailor; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

- NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
 2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
 pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: <u>Eureka Springs Landfill</u>	SITE LOCATION:
WELL NO: <u>ES-85</u>	SAMPLE ID: <u>ES-85</u> DATE: <u>4/16/15</u>

PURGING DATA

WELL DIAMETER (inches): <u>2</u>	TUBING DIAMETER (inches): <u>1/2</u>	WELL SCREEN INTERVAL DEPTH: <u>10.11</u> feet to <u>20.11</u> feet	STATIC DEPTH TO WATER (feet): <u>4.31</u>	PURGE PUMP TYPE OR BAILER: <u>BP</u>
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (<u>20.11</u> feet - <u>4.31</u> feet) X <u>.16</u> gallons/foot = <u>2.53</u> gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = _____ gallons + (_____ gallons/foot X _____ feet) + _____ gallons = _____ gallons				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): <u>19.11</u>	FINAL PUMP OR TUBING DEPTH IN WELL (feet): <u>19.11</u>	PURGING INITIATED AT: <u>11:08</u>	PURGING ENDED AT: <u>11:53</u>	TOTAL VOLUME PURGED (gallons): <u>13.5</u>

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) mg/L or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
11:17	2.7	2.7	.30	8.85	4.47	20.42	731	1.02	49.6	cloudy	NONE
11:20	.9	3.6	.30	8.85	4.51	20.42	723	1.04	51.4	↓	↓
11:23	.9	4.5	.30	8.86	4.52	20.42	721	1.06	54.5		
11:26	.9	5.4	.30	8.86	4.53	20.41	720	1.07	51.7		
11:35	2.7	8.1	.30	8.88	4.58	20.34	714	1.20	55.1		
11:44	2.7	10.8	.30	8.87	4.56	20.38	701	1.21	63.5		
11:53	2.7	13.5	.30	8.89	4.60	20.35	714	1.30	59.7		
<div style="font-size: 2em; opacity: 0.5; position: absolute; top: 50%; left: 50%; transform: translate(-50%, -50%); pointer-events: none;"> WASTE CLIENT </div>											

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
 PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <i>[Signature]</i>	SAMPLING INITIATED AT: <u>11:53</u>	SAMPLING ENDED AT: <u>11:58</u>
PUMP OR TUBING DEPTH IN WELL (feet): <u>19.11</u>	TUBING MATERIAL CODE: <u>T</u>	FIELD-FILTERED: Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <u>Dedicated</u>	TUBING Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <u>Dedicated</u>	DUPLICATE: Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			
<div style="font-size: 2em; opacity: 0.5; position: absolute; top: 50%; left: 50%; transform: translate(-50%, -50%); pointer-events: none;"> WASTE CLIENT </div>									

SEE COC FOR ANALYSIS ←

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
 SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

- NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
 2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
 pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: <u>Eureka Springs Landfill</u>	SITE LOCATION:
WELL NO: <u>Suarez</u>	SAMPLE ID: <u>Suarez</u> DATE: <u>4/16/15</u>

PURGING DATA

WELL DIAMETER (inches): <u>N/A</u>	TUBING DIAMETER (inches): <u>N/A</u>	WELL SCREEN INTERVAL DEPTH: <u>-</u> feet to <u>-</u> feet	STATIC DEPTH TO WATER (feet): <u>N/A</u>	PURGE PUMP TYPE OR BAILER: <u>valve</u>
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable) = (<u>-</u> feet - <u>-</u> feet) X <u>-</u> gallons/foot = <u>-</u> gallons				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable) = <u>-</u> gallons + (<u>-</u> gallons/foot X <u>-</u> feet) + <u>-</u> gallons = <u>-</u> gallons				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	FINAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	PURGING INITIATED AT: <u>12:14</u>	PURGING ENDED AT: <u>12:35</u>	TOTAL VOLUME PURGED (gallons): <u>105</u>

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) (mg/l) or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
<u>12:29</u>	<u>75</u>	<u>75</u>	<u>5</u>	<u>N/A</u>	<u>7.12</u>	<u>23.80</u>	<u>470</u>	<u>.48</u>	<u>7.60</u>	<u>NONE</u>	<u>NONE</u>
<u>12:32</u>	<u>15</u>	<u>90</u>	<u>5</u>	<u>N/A</u>	<u>7.15</u>	<u>23.77</u>	<u>468</u>	<u>.49</u>	<u>2.02</u>	<u>↓</u>	<u>↓</u>
<u>12:35</u>	<u>15</u>	<u>105</u>	<u>5</u>	<u>N/A</u>	<u>7.16</u>	<u>23.70</u>	<u>468</u>	<u>.48</u>	<u>1.01</u>	<u>↓</u>	<u>↓</u>

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: <u>ANDREW BALLOON / ZACK PATTERSON</u>	SAMPLER(S) SIGNATURE(S): 	SAMPLING INITIATED AT: <u>12:35</u>	SAMPLING ENDED AT: <u>12:40</u>
PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	TUBING MATERIAL CODE: <u>T</u>	FIELD-FILTERED: <u>Y</u> (N)	FILTER SIZE: <u>-</u> μm
FIELD DECONTAMINATION: PUMP <u>Y</u> <u>N</u> <u>Dedicated</u>	TUBING <u>Y</u> <u>N</u> <u>Dedicated</u>	DUPLICATE: <u>Y</u> (N)	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS let purge 15 min before readings

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Revision Date: February 2009

**Form FD 9000-24
GROUNDWATER SAMPLING LOG**

SITE NAME: <i>Eureka Springs Landfill</i>	SITE LOCATION:	
WELL NO: <i>Guarisco 2</i>	SAMPLE ID: <i>Guarisco 2</i>	DATE: <i>4/16/15</i>

PURGING DATA

WELL DIAMETER (inches): <i>N/A</i>	TUBING DIAMETER (inches): <i>N/A</i>	WELL SCREEN INTERVAL DEPTH: <i>—</i> feet to <i>—</i> feet	STATIC DEPTH TO WATER (feet): <i>N/A</i>	PURGE PUMP TYPE OR BAILER: <i>Valve</i>
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable)				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): <i>N/A</i>	FINAL PUMP OR TUBING DEPTH IN WELL (feet): <i>N/A</i>	PURGING INITIATED AT: <i>12:40</i>	PURGING ENDED AT: <i>13:01</i>	TOTAL VOLUME PURGED (gallons): <i>105</i>

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) mg/L or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
<i>12:55</i>	<i>75</i>	<i>75</i>	<i>5</i>	<i>N/A</i>	<i>5.03</i>	<i>23.58</i>	<i>299</i>	<i>1.19</i>	<i>2.58</i>	<i>clear</i>	<i>clear</i>
<i>12:58</i>	<i>15</i>	<i>90</i>	<i>5</i>	<i>N/A</i>	<i>5.05</i>	<i>23.61</i>	<i>299</i>	<i>1.21</i>	<i>2.44</i>	<i>↓</i>	<i>↓</i>
<i>13:01</i>	<i>15</i>	<i>105</i>	<i>5</i>	<i>N/A</i>	<i>5.07</i>	<i>23.60</i>	<i>299</i>	<i>1.24</i>	<i>2.52</i>	<i>↓</i>	<i>↓</i>

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
 PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: <i>ANDREW BALLOON / ZACK PATTERSON</i>	SAMPLER(S) SIGNATURE(S): <i>Zack Patterson</i>	SAMPLING INITIATED AT: <i>13:01</i>	SAMPLING ENDED AT: <i>13:06</i>
PUMP OR TUBING DEPTH IN WELL (feet): <i>N/A</i>	TUBING MATERIAL CODE: <i>T</i>	FIELD-FILTERED: Y (N)	FILTER SIZE: _____ μm
FIELD DECONTAMINATION: PUMP Y N (Dedicated)	TUBING Y N (Dedicated)	DUPLICATE: Y (N)	

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

SEE COC FOR ANALYSIS *let purge 15 min before readings.*

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)

SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
 2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
 pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: <u>Eureka Springs Landfill</u>	SITE LOCATION:
WELL NO: <u>Guarisco</u>	SAMPLE ID: <u>Guarisco</u> DATE: <u>4/16/15</u>

PURGING DATA

WELL DIAMETER (inches): <u>N/A</u>	TUBING DIAMETER (inches): <u>N/A</u>	WELL SCREEN INTERVAL DEPTH: <u>—</u> feet to <u>—</u> feet	STATIC DEPTH TO WATER (feet): <u>N/A</u>	PURGE PUMP TYPE OR BAILER: <u>Valve</u>
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable)				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				

INITIAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	FINAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	PURGING INITIATED AT: <u>13:10</u>	PURGING ENDED AT: <u>13:31</u>	TOTAL VOLUME PURGED (gallons): <u>105</u>							
TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) $\mu\text{mhos/cm}$ or $\mu\text{S/cm}$	DISSOLVED OXYGEN (circle units) mg/l or % saturation	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
13:25	75	75	5	<u>N/A</u>	7.10	23.21	448	.47	.60	NONE	NONE
13:28	15	90	5	<u>N/A</u>	7.10	23.24	449	.47	.52	↓	↓
13:31	15	105	5	<u>N/A</u>	7.13	23.26	449	.47	.59	↓	↓
<small>WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88 TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016 PURGING EQUIPMENT CODES: B = Bailor; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)</small>											

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: ANDREW BALLOON / ZACK PATTERSON	SAMPLER(S) SIGNATURE(S): <u>Zack Patterson</u>	SAMPLING INITIATED AT: <u>13:31</u>	SAMPLING ENDED AT: <u>13:30</u>							
PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	TUBING MATERIAL CODE: <u>T</u>	FIELD-FILTERED: Y <input checked="" type="radio"/> N <input type="radio"/>	FILTER SIZE: _____ μm							
FIELD DECONTAMINATION: PUMP Y N <input checked="" type="radio"/> TUBING Y N <input checked="" type="radio"/>	DUPLICATE: Y <input checked="" type="radio"/> N <input type="radio"/>									
SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION				INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH				

SEE COC FOR ANALYSIS

let purge 15 min before readings.

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)

SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailor; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.

2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)

pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: $\pm 5\%$ Dissolved Oxygen: all readings $\leq 20\%$ saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or $\pm 10\%$ (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or $\pm 10\%$ (whichever is greater)

Revision Date: February 2009

Form FD 9000-24
GROUNDWATER SAMPLING LOG

SITE NAME: <u>Eurela Springs</u>	SITE LOCATION:	DATE: <u>4/17/15</u>
WELL NO: <u>Torres</u>	SAMPLE ID: <u>Torres</u>	

PURGING DATA

WELL DIAMETER (inches): <u>4</u>	TUBING DIAMETER (inches): <u>N/A</u>	WELL SCREEN INTERVAL DEPTH: <u>-</u> feet to <u>-</u> feet	STATIC DEPTH TO WATER (feet): <u>N/A</u>	PURGE PUMP TYPE OR BAILER: <u>valve</u>
WELL VOLUME PURGE: 1 WELL VOLUME = (TOTAL WELL DEPTH - STATIC DEPTH TO WATER) X WELL CAPACITY (only fill out if applicable)				
EQUIPMENT VOLUME PURGE: 1 EQUIPMENT VOL. = PUMP VOLUME + (TUBING CAPACITY X TUBING LENGTH) + FLOW CELL VOLUME (only fill out if applicable)				
INITIAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	FINAL PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>	PURGING INITIATED AT: <u>10:08</u>	PURGING ENDED AT: <u>10:29</u>	TOTAL VOLUME PURGED (gallons): <u>105</u>

TIME	VOLUME PURGED (gallons)	CUMUL. VOLUME PURGED (gallons)	PURGE RATE (gpm)	DEPTH TO WATER (feet)	pH (standard units)	TEMP. (°C)	COND. (circle units) μmhos/cm or μS/cm	DISSOLVED OXYGEN (circle units) (mg/L or % saturation)	TURBIDITY (NTUs)	COLOR (describe)	ODOR (describe)
10:23	75	75	5	N/A	6.87	23.63	528	.23	1.23	NONE	NONE
10:26	15	90	5	N/A	6.92	23.58	527	.21	.50	↓	↓
10:29	15	105	5	N/A	6.93	23.60	530	.20	.70	↓	↓

WELL CAPACITY (Gallons Per Foot): 0.75" = 0.02; 1" = 0.04; 1.25" = 0.06; 2" = 0.16; 3" = 0.37; 4" = 0.65; 5" = 1.02; 6" = 1.47; 12" = 5.88
TUBING INSIDE DIA. CAPACITY (Gal./Ft.): 1/8" = 0.0006; 3/16" = 0.0014; 1/4" = 0.0026; 5/16" = 0.004; 3/8" = 0.006; 1/2" = 0.010; 5/8" = 0.016
PURGING EQUIPMENT CODES: B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; PP = Peristaltic Pump; O = Other (Specify)

SAMPLING DATA

SAMPLED BY (PRINT) / AFFILIATION: <u>ANDREW BALLOON / ZACK PATTERSON</u>			SAMPLER(S) SIGNATURE: <u>[Signature]</u>			SAMPLING INITIATED AT: <u>10:29</u>		SAMPLING ENDED AT: <u>10:34</u>	
PUMP OR TUBING DEPTH IN WELL (feet): <u>N/A</u>			TUBING MATERIAL CODE: <u>T</u>			FIELD FILTERED: Y <u>(N)</u>		FILTER SIZE: _____ μm	
FIELD DECONTAMINATION: PUMP Y <u>(N)</u>			TUBING Y <u>(N)</u>			DUPLICATE: Y <u>(N)</u>			

SAMPLE CONTAINER SPECIFICATION				SAMPLE PRESERVATION			INTENDED ANALYSIS AND/OR METHOD	SAMPLING EQUIPMENT CODE	SAMPLE PUMP FLOW RATE (mL per minute)
SAMPLE ID CODE	# CONTAINERS	MATERIAL CODE	VOLUME	PRESERVATIVE USED	TOTAL VOL ADDED IN FIELD (mL)	FINAL pH			

MATERIAL CODES: AG = Amber Glass; CG = Clear Glass; PE = Polyethylene; PP = Polypropylene; S = Silicone; T = Teflon; O = Other (Specify)
SAMPLING EQUIPMENT CODES: APP = After Peristaltic Pump; B = Bailer; BP = Bladder Pump; ESP = Electric Submersible Pump; RFPP = Reverse Flow Peristaltic Pump; SM = Straw Method (Tubing Gravity Drain); O = Other (Specify)

NOTES: 1. The above do not constitute all of the information required by Chapter 62-160, F.A.C.
2. STABILIZATION CRITERIA FOR RANGE OF VARIATION OF LAST THREE CONSECUTIVE READINGS (SEE FS 2212, SECTION 3)
pH: ± 0.2 units Temperature: ± 0.2 °C Specific Conductance: ± 5% Dissolved Oxygen: all readings ≤ 20% saturation (see Table FS 2200-2); optionally, ± 0.2 mg/L or ± 10% (whichever is greater) Turbidity: all readings ≤ 20 NTU; optionally ± 5 NTU or ± 10% (whichever is greater)

Morris, John R.

From: Morris, John R.
Sent: Monday, May 18, 2015 4:10 PM
To: Katie Bartolotti; Rick Bartolotti; Kim Byer (byerk@hillsboroughcounty.org)
Cc: Laurel Lockett (llockett@cfjblaw.com); Greenwell, Jeffrey; Dave Adams (adamsds@hillsboroughcounty.org); Helvenston, Edward; Ron Cope (Cope@epchc.org); Yeargan, Mary; Boatwright, Kelley M.; Morgan, Steve; Meyers, Alissa
Subject: Eureka Springs Landfill [CLIP #9], comments letter, DEP Site #COM_65092/Project #65910
Attachments: eureka springs sar.515.pdf

Dear Ms. Bartolotti, Mr. Bartolotti, and Ms. Byer:

Attached is the Department's letter providing comments regarding landfill closure and site assessment for the referenced facility. This is the only copy you will receive. Acrobat Reader 6.0 or greater is required to read this document, and is available for downloading at: <http://www.adobe.com/products/acrobat/readstep.html>. Please open and review the document as soon as possible, and verify that it is accessible.

OCULUS Information:

Catalog: Waste Cleanup
Profile: Cleanup Remediation
County: Hillsborough
Facility ID: COM_65092
Document type: Review Comments
Facility Type: RP Cleanup
Document Subject: Eureka Springs Landfill, review comments letter regarding landfill closure and site assessment

Please contact me at 813-470-5751 or at john.r.morris@dep.state.fl.us if you have questions about the review comments.

John

John R. Morris, P.G.
Florida Department of Environmental Protection, Southwest District, Permitting & Waste Cleanup Program
13051 N. Telecom Pkwy., Temple Terrace, FL 33637-0926
Main office: 813-470-5700
Direct line: 813-470-5751
E-mail: john.r.morris@dep.state.fl.us



**FLORIDA DEPARTMENT OF
ENVIRONMENTAL PROTECTION**

Southwest District
13051 North Telecom Parkway
Temple Terrace, Florida 33637-0926
Telephone: 813-470-5700

RICK SCOTT
GOVERNOR

CARLOS LOPEZ-CANTERA
LT. GOVERNOR

JONATHAN P. STEVERSON
SECRETARY

Transmitted via e-mail only to:

Katie@KatieBartolotti.com
reb@umodular.com
byerk@hillsboroughcounty.org

May 18, 2015

Ms. Katie Bartolotti
9722 Sorbonne Loop
Seffner, FL 33584

Mr. Rick Bartolotti
1713 Tecalote Drive
Fall Brook, CA 92028

Ms. Kimberly Byer, P.G.
Hillsborough County Public Works/Solid Waste Management Division
332 N. Falkenburg Road
Tampa, FL 33619

Re: Eureka Springs Landfill
Seffner, Hillsborough County, Florida
CLIP #9, FDEP Site #COM_65092/Project #65910

Dear All:

Based on the provisions of the Florida Resource Recovery and Management Act presented in Sections 403.702, et seq., Florida Statutes (F.S.), the Department of Environmental Protection has the power and duty to administer a coordinated statewide solid waste management program. The Department's authority to regulate aspects of the Eureka Springs Landfill based on the regulations contained within Chapters 376 and 403, F.S., and Titles 17 and 62, Florida Administrative Code (F.A.C.), is the focus of this letter.

As you recall, the Department facilitated a meeting with representatives of the property owners and Hillsborough County on August 13, 2014. The agenda items prepared for the meeting proposed discussion of the following:

- Site Assessment Report review status;
- Results of recent semi-annual monitoring events;
- Site topography and cover materials investigation results;
- Plan of action to improve drainage over the disposal footprint; and,
- Information needed to prepare the Agreement for implementing long-term care and monitoring activities.

The "to do" items generated during the August 13, 2014 meeting included the preparation of written comments by the Department regarding ground water issues related to the Site Assessment Report. Hillsborough County was tasked with preparation of an evaluation of the volume of soil needed to re-grade the 40-acre landfill disposal footprint on the western portion of the property. It was intended that the information generated by these "to do" items would be the focus of the agenda for a subsequent meeting between the parties that was scheduled for the morning of November 7, 2014. However, the occurrence of smoke from an undetermined source in the building caused the meeting to be cancelled. In response to a request from Hillsborough County, this letter has been prepared to present the Department's position regarding the activities that have been conducted since the August 13, 2014 meeting. Following transmittal of this letter, it is the Department's expectation that a meeting will be scheduled.

The items of correspondence regarding the referenced facility prepared since the August 13, 2014 meeting are presented below along with a link to the documents in the Department's OCULUS document management system:

- Letter prepared by Hillsborough County Public Utilities Division dated August 28, 2014 provided topographic survey information and an evaluation of the potential for cut and fill activities to result in positive drainage off the landfill [the "**Grading Evaluation Letter**"]
[http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&\[guid=5.310392.1\]&\[profile=Cleanup_Remediation\]](http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&[guid=5.310392.1]&[profile=Cleanup_Remediation])
- Letter prepared by the Department dated October 1, 2014 provided review comments related to supplemental ground water assessment activities [the "**SAR Comments Letter**"]
[http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&\[guid=5.310387.1\]&\[profile=Cleanup_Remediation\]](http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&[guid=5.310387.1]&[profile=Cleanup_Remediation])
- Letter prepared by Hillsborough County Public Utilities Department dated November 6, 2014 provided responses to the Department's letter dated October 1, 2014 [the "**SAR Comments Responses**"]
[http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&\[guid=5.313706.1\]&\[profile=Cleanup_Remediation\]](http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&[guid=5.313706.1]&[profile=Cleanup_Remediation])
- E-mail message prepared by Hillsborough County Public Utilities Department dated March 27, 2015 transmitted the results of ground water level measurements conducted at monitor wells located at the west side of the Eureka Springs Landfill and at selected monitor wells located on the Tampa Executive Airport operated by the Hillsborough County Aviation Authority [the "**February 2015 Water Level Data**"]
[http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&\[guid=5.332869.1\]&\[profile=Cleanup_Remediation\]](http://depedms.dep.state.fl.us:80/Oculus/servlet/shell?command=getEntity&[guid=5.332869.1]&[profile=Cleanup_Remediation])

Landfill Cover Maintenance Requirements

Background information presented in §1.0 of the Site Assessment Report referenced agreements between East Side Dairy, Inc., and Hillsborough County dated February 1969 through February 1976 that authorized the use of the property as a County Sanitary Landfill through August 3, 1976. A subsequent agreement between East Side Dairy, Inc., and Hillsborough County dated July 1976 indicated the capacity of the land had been exhausted and addressed closure of the facility. Based on these agreements, it appears that the use of the property for disposal of solid waste was concluded by August 1976. The rules of the Florida Department of Pollution Control, Chapter 17-7, F.A.C. (rule effective date October 1, 1974), presented the requirements for solid waste disposal facilities during the period that the Eureka Springs Landfill was operated.

A copy of Chapter 17-7, F.A.C. (rule effective date October 1, 1974), can be accessed on the Department's web site at the following link:

ftp://ftp.dep.state.fl.us/pub/reports/62-701/FloridaSWRegulations1966_1997_eff10-01-1974.pdf

Excerpts from Chapter 17-7, F.A.C. (rule effective date October 1, 1974), that present the requirements for landfill cover are presented below:

17-7.02 Definitions.

(15) "Daily Cover" is a six (6) inch layer of compacted earth used to enclose a cell once each working day.

(16) "Intermediate Cover" is a layer of compacted earth one foot in depth applied to a partially completed landfill where final cover is not to be applied within one year of cell completion.

(17) "Final Cover" is a layer of compacted earth two feet in depth applied to a completed landfill the top six (6) inches of which is loosely compacted to promote plant growth.

17-7.05 Sanitary Landfill Criteria.

(3) Operations.

(e) The grade of the completed refuse cells and lifts in addition to the final cover shall drain the surface runoff water to prevent uncontrolled ponding. Thus it is better to slightly overdesign initial grades so that good drainage will be maintained after final settlement.

(f) All completed portions of sanitary landfills which have received final cover and no future vehicular traffic is anticipated shall be planted with grass or acceptable cover vegetation to minimize infiltration, erosion and dust.

(m) All completed cells shall receive a final cover of two (2) feet of earth compacted in six (6) inch layers within one (1) year of cell completion with the final six (6) inches loosely compacted to promote plant growth.

17-7.07 Dump Closing.

(6) Steps shall be taken, where potential water pollution exists, to prevent its continuance by diverting surface waters around the site, removing wastes from the water table or by other means approved by the Department.

(7) Upon completion, the closed site shall be seeded or planted with grass or suitable cover vegetation to minimize erosion.

17-7.08 Supervision and Inspection.

(3) Inspection of a completed sanitary landfill shall be made by the Department before the earthmoving equipment is removed from the site. Any corrective work shall be performed before the landfill project is accepted by the Department as completed. Arrangements shall be made for the repair or restoration of the final cover as required for at least two years following completion.

These citations from Chapter 17-7, F.A.C. (rule effective date October 1, 1974) provide specific requirements for landfill closure. Rules 17-7.05(3)(e) and 17-7.05(3)(f), F.A.C., require closure activities to prevent uncontrolled ponding and to minimize infiltration, respectively. Rule 17-7.08(3), F.A.C., indicates repair or restoration of the final cover shall be required for at least two years following completion. It does not appear that these rule citations give the Department authority to require repair or restoration of the final cover 39 years after the closure was completed.

The Department's current rule for Solid Waste Management Facilities, Chapter 62-701, F.A.C. (rule effective date February 15, 2015), can be accessed on the Department's web site at the following link:

<https://www.flrules.org/gateway/ChapterHome.asp?Chapter=62-701>

The following excerpts from Chapter 62-701, F.A.C. (rule effective date February 15, 2015), address aspects of the current landfill closure and long-term care requirements:

62-701.600 Landfill Final Closure.

(1) Applicability.

(a) Landfills or solid waste disposal units that were closed in a manner approved by the Department prior to January 6, 2010, or that have received final cover before July 1, 1985, are exempt from the requirements of this section, although they remain subject to the rules that were in effect at the time of closing.

62-701.610 Other Closure Activities

(1) Use of closed solid waste disposal facilities. Closed solid waste disposal facilities, if disturbed, are a potential hazard to public health, ground water and the environment. The Department retains regulatory control over any activities that may affect the integrity of the environmental protection measures such as the cover, drainage, liners, monitoring systems, or leachate and stormwater controls. Consultation with the Department is required prior to conducting activities at the closed solid waste disposal facilities.

62-701.620 Long-Term Care

(1) Long-term care period. The owner or operator of any landfill which receives wastes after January 6, 1993, shall continue to monitor and maintain the integrity and effectiveness of the final cover as well as other appurtenances of the facility, control erosion, fill subsidences, comply with the water quality monitoring plan, maintain the leachate collection system, measure volumes of leachate removed, and maintain the stormwater system, in accordance with an approved closure plan for 30 years from the official date of closing. Before the expiration of the long-term care monitoring and maintenance period, the Department may extend the time period if the closure design or closure operation plan is found to be ineffective, or if the permittee has not performed all required monitoring and maintenance.

Rule 62-701.600(1)(a), F.A.C. (rule effective date February 15, 2015), exempts the Eureka Springs Landfill from compliance with the closure requirements of landfills and refers back to the closure requirements that were in effect at the time of closing, as outlined above. Similarly, the requirements of Rule 62-701.620(1), F.A.C. (rule effective date February 15, 2015), regarding the type and duration of long-term care activities required at closed landfills do not apply to the Eureka Springs Landfill due to its period of operation.

The requirement of Rule 62-701.610(1), F.A.C. (rule effective date February 15, 2015), limits the Department's control of closed solid waste disposal activities to those instances where proposed activities will affect the landfill integrity. It does not appear that the requirements of this rule citation apply to the Eureka Springs Landfill as no proposed improvements to the property are currently being considered. Please note that consultation with the Department prior to conducting proposed activities at closed facilities would not typically require a permit. Review and evaluation of proposed improvements to closed solid waste disposal facilities would be completed in accordance with the Department's guidance document titled "Guidance for Disturbance and Use of Old Closed Landfills or Waste Disposal Areas in Florida, Version 2.1," dated February 3, 2011. This guidance document can be accessed on the Department's web site at the following link:

http://www.dep.state.fl.us/waste/quick_topics/publications/shw/solid_waste/Dump-Guidance-03Feb11.pdf

Please also note that within Hillsborough County, evaluation of proposed redevelopment of a closed solid waste disposal facility would also be conducted by the Environmental Protection Commission. Excavation and/or construction on solid waste disposal facilities would typically require the issuance of a Director's Authorization from the Environmental Protection Commission.

In summary, it does not appear that the requirements of the solid waste management facilities rule in effect when the Eureka Springs Landfill operated (rule effective date October 1, 1974) or the current solid waste management facilities rule (rule effective date February 15, 2015) provide the Department with authority to require the final cover system at the facility to be repaired or restored. While re-grading the areas where water ponds over the disposal footprint on the western portion of the property to minimize infiltration through the buried wastes continues to be recommended, the Department does not have the authority to require these activities to be conducted. The evaluation of on-site soil volumes and drainage patterns to restore a 1% grade on the western portion of the Eureka Springs Landfill presented in the "**Grading Evaluation Letter**" should be further discussed between the property owners and Hillsborough County. While this topic should be included on the agenda for a future meeting regarding the property, the Department is not in a position to require this activity to be completed.

SAR Comments Letter/Responses

The “**SAR Comments Letter**” requested the submittal of supplemental information to further characterize ground water conditions at the facility. The “**SAR Comments Responses**” and the “**February 2015 Water Level Data**” submittals were intended to address the request for additional information. The adequacy of the responses to address the five items presented in the “**SAR Comments Letter**” follow:

1. Comment: Establishment of a representative location(s) to characterize background ground water quality conditions for the site. This will allow further evaluation of the concentrations of several parameters reported for surficial aquifer and Floridan aquifer monitor wells located downgradient from the waste disposal footprint, including aluminum, iron and TDS. An evaluation should be conducted whether any existing monitor wells are suitably located to characterize background ground water quality.

Response: The “**SAR Comments Responses**” evaluated the results of the routine monitoring events conducted at the facility and indicated that based on the direction of ground water flow and the landfill disposal areas within the property, surficial aquifer monitor wells ES-7S, ES-8S, ES-9S and ES-13S are adequate to provide background ground water quality information. Similarly, the “**SAR Comments Responses**” also indicated that Floridan aquifer monitor well ES-9D is adequate to provide background ground water quality information.

Status: Data obtained from surficial aquifer wells ES-7S, ES-8S, ES-9S and ES-13S should be used to characterize background ground water quality in the surficial aquifer at the Eureka Springs Landfill. Data obtained from Floridan aquifer well ES-9D should be used to characterize background ground water quality in the Floridan aquifer at the Eureka Springs Landfill. The range of concentrations of aluminum, iron, manganese, chloride and TDS reported in these background wells should be compared to the range of concentrations of the same parameters in the downgradient wells to determine whether the solid waste disposed at the facility has caused impacts to ground water quality.

2. Comment: Characterization of ground water quality north of the disposal footprint in the western portion of the site. Due to limited accessibility along the northern property boundary, use of selected existing monitor wells on the Tampa Executive Airport property should be considered.

Response: The “**SAR Comments Responses**” referred to ground water quality data collected from selected monitor wells installed at the Tampa Executive Airport operated by the Hillsborough County Aviation Authority (HCAA). Two sets of surficial and Floridan aquifer monitor wells located on the HCAA property (wells GS-1, GD-1, GS-3 and GD-3) were identified at locations to the west and north of the western portion of the Eureka Springs Landfill. The “**SAR Comments Responses**” provided a summary table of the December 2012 sampling event conducted at the HCAA property, and referred to Attachment C of the Site Assessment Report for results of the December 2011 and December 2010 sampling events. Based on the results provided for the HCAA wells for these three sampling events, the “**SAR Comments Responses**” concluded that there were no apparent impacts to the monitor wells on the HCAA property located downgradient from the disposal footprint on the western portion of the Eureka Springs Landfill.

The “**February 2015 Water Level Data**” submittal indicated a radial pattern for ground water flow in the surficial aquifer surrounding the disposal footprint on the western portion of the property. The submittal also indicated that based on the water quality data collected at the HCAA property, the extent of impacts from the Eureka Springs Landfill can be delineated.

Status: Wells GS-3 and GD-3 on the HCAA property appear to be located about 300 feet west of the disposal footprint of the Eureka Springs Landfill, in close proximity to on-site wells ES-1S and ES-1D. It seems reasonable to use these wells on the HCAA property to delineate the extent of impacts to ground water quality reported at wells ES-1S and ES-1D (aluminum, iron, TDS).

2. Status: (continued)

GS-1 and GD-1 appear to be located about 2,000 feet north of the disposal footprint at the Eureka Springs Landfill. The distance from the disposal footprint on the western portion of the Eureka Springs Landfill appears to limit the usefulness of these wells to delineate the impacts to ground water quality. It appears that surficial aquifer well GS-2 on the HCAA property, located about 1,000 feet north of the disposal footprint is a better alternative. As it does not appear that well GS-2 has been included in the sampling events conducted at the HCAA property during December 2010, December 2011 or December 2012, existing data is not available to characterize ground water quality trends.

In lieu of using existing well GS-2 on the HCAA property, an alternative would be the installation of a new well in the area north of the western portion of the Eureka Springs Landfill, in proximity to the area where solid waste was excavated from the proposed wetland mitigation project. As described in §2.5 of the Site Assessment Report, the cleared area located about 500 feet north of the western portion of the Eureka Springs Landfill was the focus of activities to remove about 5,000 cubic yards of mixed solid waste. This cleared area may be a suitable location for characterization of potential impacts to ground water quality.

Please evaluate whether existing well GS-2 is appropriately located and constructed, or whether installation of a new well near the former wetland mitigation area on the HCAA property would be more suitable to characterize ground water quality downgradient of and to the north of the western portion of the Eureka Springs Landfill. Please coordinate with the HCAA to authorize access to well GS-2 for sample collection or secure permission to install and sample a new monitor well in the former wetland mitigation area. Please indicate when the additional ground water samples will be collected and when an evaluation of the results will be provided to complete the characterization of ground water quality downgradient of the western portion of the Eureka Springs Landfill.

3. Comment: Characterization of the extent of isopropyl benzene in the vicinity of well ES-6S.

Response: The “**SAR Comments Responses**” identified the limitations to laterally delineating the extent of isopropyl benzene in the surficial aquifer in proximity to well ES-6S. It was indicated that a drainage ditch along the west and north boundaries of the Eureka Springs Landfill property in the vicinity of well ES-6S has been frequently been observed to be wet and may seasonally be an impediment to migration of contaminants across the property boundary. The “**SAR Comments Responses**” also indicated that the County approached the adjacent property owner in 2012 but the Aprile family was not willing to grant access for assessment work.

Status: Considering the slightly increasing trend in concentrations of isopropyl benzene reported for samples collected from well ES-6S between November 2008 and October 2014, it appears that additional activities to delineate the area of potential impacts to ground water are appropriate.

§1.0 of the Site Assessment Report referenced a lease agreement between Jimmie V. and Jennie Aprile., and Hillsborough County dated December 1972 that authorized the use of the property as a County Sanitary Landfill for 48 months from the date of the agreement. Historical aerial photographs in the vicinity of well ES-6S appear to indicate a portion of the Aprile parcel was excavated, filled and covered in the time period between 1973 and 1976. The disturbed area on the Aprile parcel appears to be southwest of well ES-6S.

Considering a northwest direction of ground water flow in the surficial aquifer in the vicinity of well ES-6S at the Eureka Springs Landfill, the investigation of potential off-site impacts to ground water quality (iron, manganese, TDS, isopropyl benzene) could be conducted on either of the two adjacent parcels. The Hillsborough County Property Appraiser’s Office identified one parcel owned by Jimmie V. and Jennie F. Aprile and a second parcel owned by Sam Shannon, Jr. Please coordinate with the owners of the adjacent parcels to obtain permission to install and sample a new monitor well in the area downgradient of well ES-6S, and provide documentation of efforts to obtain permission for access from the parcel owners. Please indicate when the additional ground water samples will be collected and when an evaluation of the results will be provided to complete the characterization of ground water quality downgradient of well ES-6S on the eastern portion of the Eureka Springs Landfill.

4. Comment: Characterization of the extent of benzene reported in the vicinity of well ES-5S.

Response: The “**SAR Comments Responses**” identified the limitations to laterally delineating the extent of benzene in the surficial aquifer in proximity to well ES-5S. It was indicated that waste filled areas (on the Aprile parcel), Interstate 75, a drainage ditch and a natural gas transmission line are closely located downgradient from well ES-5S. It was also indicated that these features work to impede the migration of contamination beyond the immediate area, that concentrations of benzene have been relatively consistent, and that no identified downgradient receptors have the potential to be impacted.

Status: As indicated in the “Status” section of Comment #3, above, it appears that a portion of the Aprile parcel was used for the disposal of solid waste. Based on review of historical aerial photographs, it appears the disturbed area on the Aprile parcel appears to be northwest of well ES-5S.

It is noted that there appears to be a slightly decreasing trend in concentrations of benzene reported for samples collected from well ES-5S between November 2008 and October 2014. Additionally, a benzene concentration of 1.3 µg/L reported for the October 2014 sampling event would not be considered to be a violation of the ground water standard. Provided future sampling events at well ES-5S continue to report benzene at or below 1.5 µg/L, no additional delineation of potential ground water impacts would be required for benzene.

5. Comment: Characterization of the sporadic occurrence of semi-volatile organic compounds including benzo(b)fluoranthene, dibenz(a,h)anthracene, indeno(1,2,3-cd)pyrene, and bis(2-ethylhexyl)phthalate.

Response: The “**SAR Comments Responses**” provided a review of the historical analytical data that reported detectable concentrations of the referenced semi-volatile organics. It was indicated that the occurrence of these semi-volatile organics was not confirmed by resampling events or by subsequent semi-annual sampling events. Additionally, it was also indicated that case narratives included in the laboratory report of results described several quality control problems with these analyses. The “**SAR Comments Responses**” concluded that the concentrations reported for semi-volatile organics were not representative of ground water quality at the Eureka Springs Landfill and that additional sampling for this constituents was not necessary.

Status: No additional investigation of the occurrence of semi-volatile organics in ground water is required.

Existing Installation Designation

In the response to Comment #2 above, the “**SAR Comments Responses**” indicated that as the constituents of concern for the western portion of the Eureka Springs Landfill were limited to parameters with secondary ground water standards, an exemption from these standards should be granted in accordance with the “existing installation” definition presented in Rule 62-520.200(10), F.A.C.

It appears that the last portion of the “existing installation” definition cited above may apply to the Eureka Springs Landfill. Please submit supplemental information that demonstrates that the Eureka Springs Landfill meets the following excerpt from Rule 62-520.200(10), F.A.C.:

62-520.200(10) Existing Installation

“...or which was in fact an installation reasonably expected to release contaminants into the ground water on or before July 1, 1982, and operated consistently with statutes and rules relating to ground water discharge in effect at the time of the operation.”

Please also note the exemption from compliance with secondary ground water standards for an “existing installation” is subject to the following:

62-520.520 Exemptions from Secondary Drinking Water Standards Outside a Zone of Discharge in Class G-II Ground Water.

(6) All installations discharging to Class G-II ground water are prohibited from causing a violation of the secondary drinking water standards at any private or public water supply well outside the zone of discharge.

Additional information is needed to describe whether supply wells are located in proximity to the disposal footprint in the western portion of the Eureka Springs Landfill property. Please submit supplemental information to describe whether public water supply wells are located within a 0.5 mile radius or private supply wells are located within a 0.25 mile radius.

As an alternative to demonstrating the Eureka Springs Landfill meets the “existing installation” definition and is exempt from compliance with secondary ground water standards, the provisions of Rules 62-520.420(2) and (3), F.A.C., should be considered. As indicated in the “Status” section for Comment #1, above, the concentrations of aluminum, iron, manganese, chloride and TDS reported in the designated background wells should be compared to the range of concentrations of the same parameters in the downgradient wells. In the event that it can be demonstrated that the concentrations of aluminum, iron, manganese, chloride and TDS leaving the Eureka Springs Landfill property are not significantly above the concentrations reported for the background wells, no additional characterization of impacts to ground water quality would be needed.

In conclusion, it does not appear that sufficient information has been provided to address the site assessment requirements of Rule 62-780.600, F.A.C. Both the owner of the property and the operator of the facility are liable to comply with the requirements of Chapter 62-780, F.A.C. This letter has provided responses to the supplemental information presented by Hillsborough County to address the review comments in the Department’s letter dated October 1, 2014. It is recommended that a meeting or conference call be scheduled with representatives of the property owner and Hillsborough County to discuss the information presented herein and clarify the path forward to completing the site assessment of the facility. Please contact me at (813) 470-5751 or at john.r.morris@dep.state.fl.us to discuss questions you may have about this letter or to schedule a meeting or conference call.

Sincerely,



John R. Morris, P.G.
Permitting & Waste Cleanup Program
Southwest District

cc: Laurel Lockett, llockett@cfjblaw.com
Jeffrey Greenwell, GreenwellJ@hillsboroughcounty.org
David Adams, AdamsDS@hillsboroughcounty.org
Ed Helvenston, HelvenstonE@HillsboroughCounty.org
Ron Cope, cope@epchc.org
Mary Yeargan, Mary.Yeargan@dep.state.fl.us
Kelley Boatwright, Kelley.M.Boatwright@dep.state.fl.us
Steve Morgan, Steve.Morgan@dep.state.fl.us
Alissa Meyers, Alissa.Meyers@dep.state.fl.us

**SMF 20A, SMF 20B, SMF 21A,
SMF 21B, FPC 21A, & FPC 21B
REFER TO FPC 20**

SMF 22A

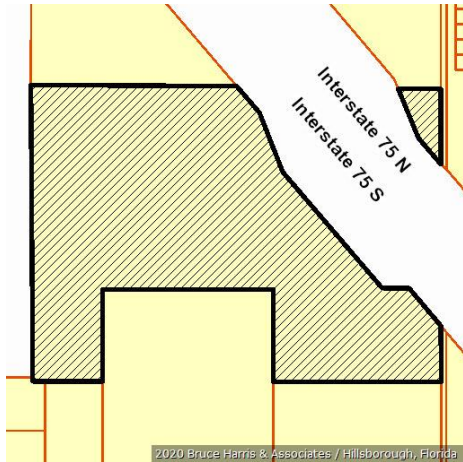
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 061467-0000



Owner Information

Owner Name	SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT
Mailing Address	2379 BROAD ST BROOKSVILLE, FL 34604-6899
Site Address	TAMPA BYPASS CANAL, SEFFNER
PIN	U-19-28-20-25H-000000-00012.1
Folio	061467-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	8700 STATE
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$8,668	\$8,668	\$8,668	\$0
Public Schools	\$8,668	\$8,668	\$8,668	\$0
Municipal	\$8,668	\$8,668	\$8,668	\$0
Other Districts	\$8,668	\$8,668	\$8,668	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9610	LOWLANDS	AR	0.0	0.0	AC ACREAGE	10.89	\$8,168
9500	SUBMERGED	AR	0.0	0.0	LT LOTS	1.00	\$500

Legal Description

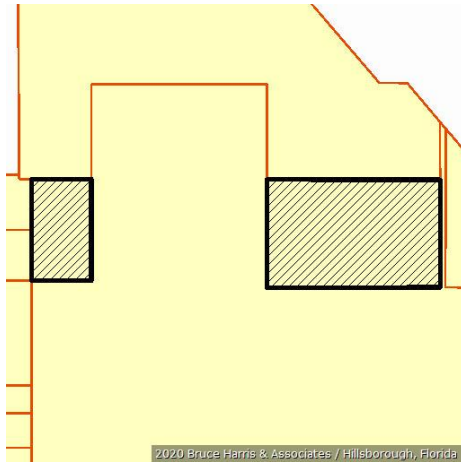
CLEWIS MUCK FARMS TRACTS 12 AND 13 LESS I-75 BY-PASS R/W PARCEL #103 SUITE #81-801



Bob Henriquez Hillsborough County Property Appraiser

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Ph: (813) 272-6100

Folio: 061469-0000



2020 Bruce Harris & Associates / Hillsborough, Florida

Owner Information

Owner Name	SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT
Mailing Address	2379 BROAD ST BROOKSVILLE, FL 34604-6899
Site Address	TAMPA BYPASS CANAL, TAMPA
PIN	U-19-28-20-25H-000000-00016.0
Folio	061469-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	8700 STATE
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$431,680	\$431,680	\$431,680	\$0
Public Schools	\$431,680	\$431,680	\$431,680	\$0
Municipal	\$431,680	\$431,680	\$431,680	\$0
Other Districts	\$431,680	\$431,680	\$431,680	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	AR	0.0	0.0	AC ACREAGE	11.36	\$431,680

Legal Description

CLEWIS MUCK FARMS TRACTS 16 AND 17

SMF 22/23

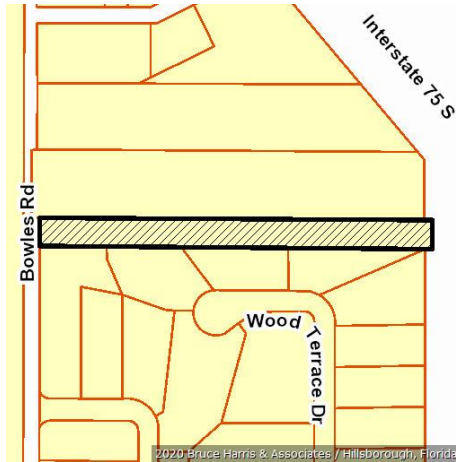
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Ph: (813) 272-6100

Folio: 061460-0000



Owner Information

Owner Name	MALLOY TRAVIS M MALLOY JAIME F
Mailing Address	206 S LOCKMOOR AVE TAMPA, FL 33617-6334
Site Address	8911 BOWLES RD, TAMPA
PIN	U-19-28-20-25H-000000-00006.0
Folio	061460-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6800 DAIRIES/FEEDLTS
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$64,156	\$2,485	\$0	\$2,485
Public Schools	\$64,156	\$3,275	\$0	\$3,275
Municipal	\$64,156	\$2,485	\$0	\$2,485
Other Districts	\$64,156	\$2,485	\$0	\$2,485

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21634	0676	01	2013	WD	Unqualified	Improved	\$175,000
21075	0542	04	2012	QC	Unqualified	Vacant	\$100
20000	1250	07	2010	QC	Unqualified	Vacant	\$100
15875	1271	12	2005	QC	Unqualified	Vacant	\$100
7743	0495	05	1995	WD	Qualified	Improved	\$18,500
2873	0035	01	1974		Qualified		\$4,200

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0495	MOBILE HOME FLAT VAL	0	2001	0	0	1.00	\$1,000
0495	MOBILE HOME FLAT VAL	0	2001	0	0	1.00	\$1,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
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Legal Description

CLEWIS MUCK FARMS N 68.70 FT OF FARM TRACT 6 LESS CANAL R/W

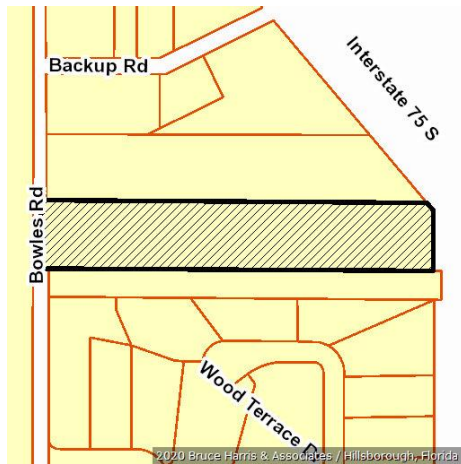
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Ph: (813) 272-6100

Folio: 061457-0000



Owner Information

Owner Name	MALLOY TRAVIS M MALLOY JAMIE F
Mailing Address	206 S LOCKMOOR AVE TAMPA, FL 33617-6334
Site Address	8913 BOWLES RD, TAMPA
PIN	U-19-28-20-25H-000000-00003.2
Folio	061457-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6700 POUL/BEES/FISH
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$203,049	\$124,166	\$0	\$124,166
Public Schools	\$203,049	\$125,051	\$0	\$125,051
Municipal	\$203,049	\$124,166	\$0	\$124,166
Other Districts	\$203,049	\$124,166	\$0	\$124,166

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21634	0676	01	2013	WD	Unqualified	Improved	\$175,000
21075	0542	04	2012	QC	Unqualified	Vacant	\$100
20000	1248	07	2010	QC	Unqualified	Improved	\$100
15875	1277	12	2005	QC	Unqualified	Improved	\$100

Building Information

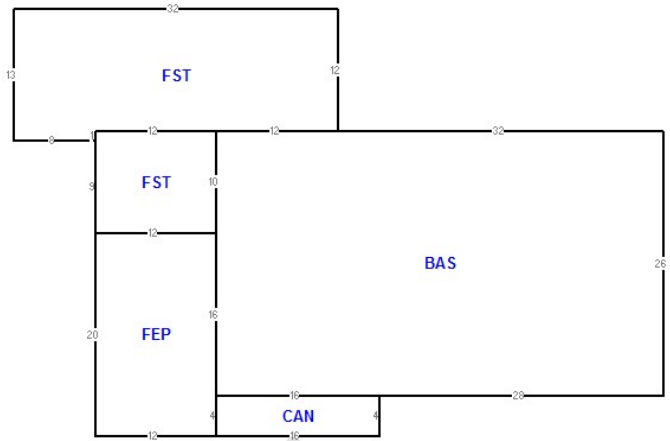
Building 1

Type 01 | SINGLE FAMILY

Year Built 1963

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	8	Brick
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Stories	1.0	
Bedrooms	3.0	
Bathrooms	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,144	1,144	\$52,309
FST	392		\$8,962
FST	120		\$2,744
FEP	240	240	\$8,779
CAN	64		\$869
Totals	1,960	1,384	\$73,663

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0461	Carport Low Cost	1	2019	22	18	396.00	\$1,485
0630	UTILITY METAL	1	1996	0	0	2,128.00	\$28,511
0520	CANOPY	1	2019	24	10	240.00	\$1,836
0520	CANOPY	0	2019	35	26	910.00	\$6,962
0680	BARN POLE	0	2019	0	0	532.00	\$1,889

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	AR	0.0	0.0	AC ACREAGE	0.25	\$8,835
6840	SHEEP	AR	0.0	0.0	AC ACREAGE	1.01	\$808
6750	MISCELLANEOUS FOWL	AR	0.0	0.0	AC ACREAGE	1.25	\$1,062

Legal Description

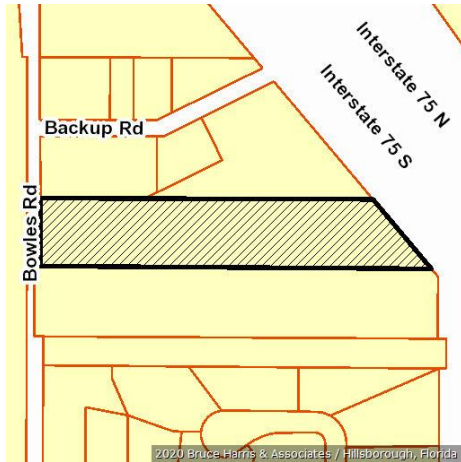
CLEWIS MUCK FARMS S 1/2 OF TRACT 3 LESS CANAL R/W AND LESS I-75 BY-PASS R/W



Bob Henriquez Hillsborough County Property Appraiser

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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061456-0100



Owner Information

Owner Name	MALLOY TRAVIS M MALLOY JAMIE F
Mailing Address	206 S LOCKMOOR AVE TAMPA, FL 33617-6334
Site Address	8933 BOWLES RD, TAMPA
PIN	U-19-28-20-25H-000000-00003.1
Folio	061456-0100
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	6700 POUL/BEES/FISH
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$122,124	\$32,051	\$0	\$32,051
Public Schools	\$122,124	\$32,051	\$0	\$32,051
Municipal	\$122,124	\$32,051	\$0	\$32,051
Other Districts	\$122,124	\$32,051	\$0	\$32,051

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21634	0676	01	2013	WD	Unqualified	Improved	\$175,000
21075	0542	04	2012	QC	Unqualified	Vacant	\$100
20000	1246	07	2010	WD	Qualified	Vacant	\$60,500
15875	1274	12	2005	QC	Unqualified	Vacant	\$100
2400	0872	01	1971		Unqualified		\$100

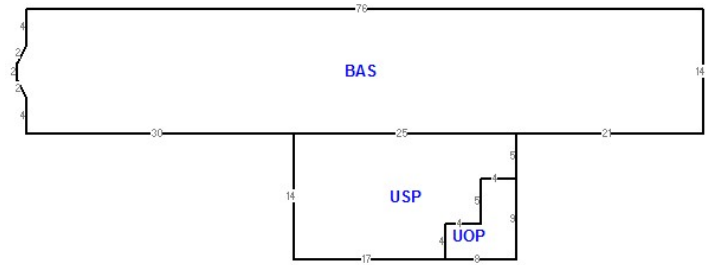
Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	1980

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	12	Metal
Roof Structure	3	Gable or Hip
Roof Cover	1	Minimum
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	1	Non-Ducted
Condition	2	Fair
Bedrooms	2.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,068	1,068	\$11,038
USP	298		\$765
UOP	52		\$83
Totals	1,418	1,068	\$11,886

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0495	MOBILE HOME FLAT VAL	0	2015	0	0	1.00	\$1,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	AR	0.0	0.0	AC ACREAGE	0.50	\$16,910
6840	SHEEP	AR	0.0	0.0	AC ACREAGE	1.30	\$1,040
6750	MISCELLANEOUS FOWL	AR	0.0	0.0	AC ACREAGE	1.43	\$1,216

Legal Description

CLEWIS MUCK FARMS N 1/2 OF TRACT 3 LESS W 15 FT FOR RD AND LESS CANAL R/W LESS I-75 BY-PASS R/W

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
123687	Hillsborough	O - Out Of Business			2909259	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Slates Nursery	8913 Bowles Rd Tampa, FL 33637	8913 Bowles Tampa, 33637	Unknown	Unknown	(813) 272-5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	N - NOT A HAZARDOUS WASTE GENERATOR	0	P - Verification By Phone Call	12/12/2006	December Project	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		12/21/2007 6:19:15 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/ Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

SMF 23B

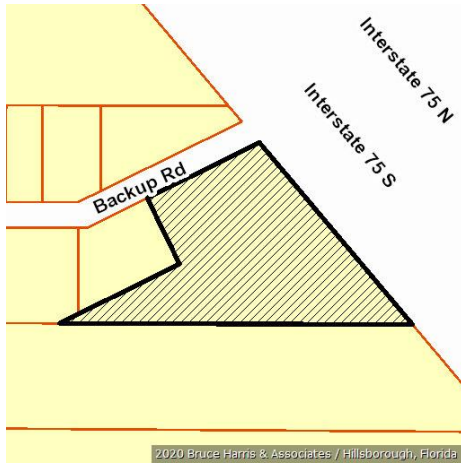
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Bob Henriquez
Hillsborough County Property Appraiser

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 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 061454-0000



Owner Information	
Owner Name	TUCKER CLETA M
Mailing Address	9115 BACKUP RD TAMPA, FL 33637-2501
Site Address	9115 BACK UP RD, TEMPLE TERRACE
PIN	U-19-28-20-25H-000000-00014.0
Folio	061454-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0200 MH
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary				
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$76,294	\$36,913	\$36,913	\$0
Public Schools	\$76,294	\$36,913	\$25,500	\$11,413
Municipal	\$76,294	\$36,913	\$25,500	\$11,413
Other Districts	\$76,294	\$36,913	\$25,500	\$11,413

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

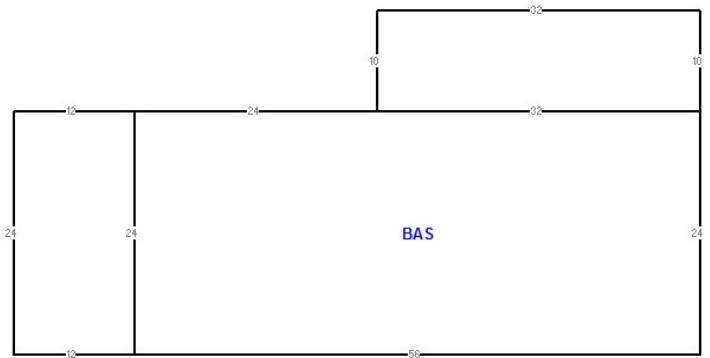
Building Information

Building 1

Type	08 MOBILE HOME (AYB < 1977)
Year Built	1975

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	12	Metal
Roof Structure	3	Gable or Hip
Roof Cover	9	Metal
Interior Walls	4	Plywood paneling
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	3.0	
Bathrooms	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
USP	320		\$736
BAS	1,344	1,344	\$12,365
UCP	288		\$396
Totals	1,952	1,344	\$13,497

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0470	OPEN SHED	1	1928	10	10	100.00	\$459

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	AR	227.40	326.20	AC ACREAGE	1.70	\$62,339

Legal Description

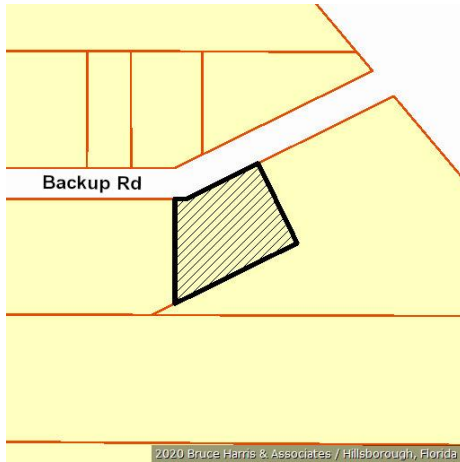
CLEWIS MUCK FARMS LOTS 14 15 16 AND 17 AND TRACT 2 LESS CANAL R/W AND LESS I-75 BY-PASS R/W PARCEL #105 SUIT #81-364



Bob Henriquez Hillsborough County Property Appraiser

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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061456-0400



Owner Information

Owner Name	JACO LLC
Mailing Address	1531 BONITA BLUFF CT RUSKIN, FL 33570-3215
Site Address	9111 BACK UP RD, TAMPA
PIN	U-19-28-20-25H-000000-00012.0
Folio	061456-0400
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0200 MH
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$71,929	\$46,317	\$0	\$46,317
Public Schools	\$71,929	\$71,929	\$0	\$71,929
Municipal	\$71,929	\$46,317	\$0	\$46,317
Other Districts	\$71,929	\$46,317	\$0	\$46,317

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
17834	0904	05	2007	WD	Unqualified	Improved	\$100
14705	1071	02	2005	WD	Qualified	Improved	\$74,900
11300	0675	11	2001	QC	Unqualified	Improved	\$100
6737	0003	09	1992	WD	Unqualified	Vacant	\$100
4508	1170	02	1985	WD	Unqualified	Vacant	\$100
2847	0134	01	1973		Unqualified		\$100

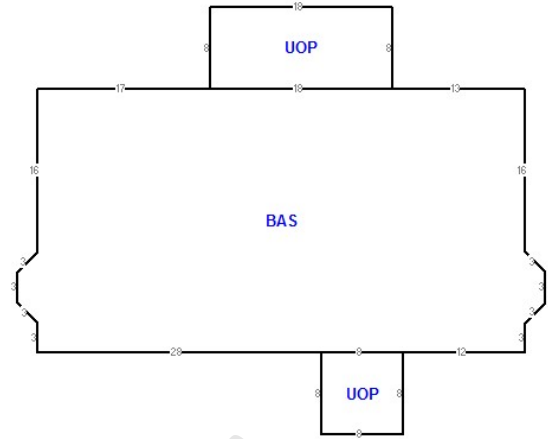
Building Information

Building 1

Type 02 | MANUFACTURED HOME (AYB > 1976)
Year Built 1991

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	4	Plywood paneling
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	3.0	
Bathrooms	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,268	1,268	\$29,570
UOP	144		\$513
UOP	64		\$233
Totals	1,476	1,268	\$30,316

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	1	2015	0	0	2.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REC0	Res SF Class 3.00	RSC-6	130.00	110.00	SE SF LOTS W/ EFF SIZE	14,300.00	\$41,613

Legal Description

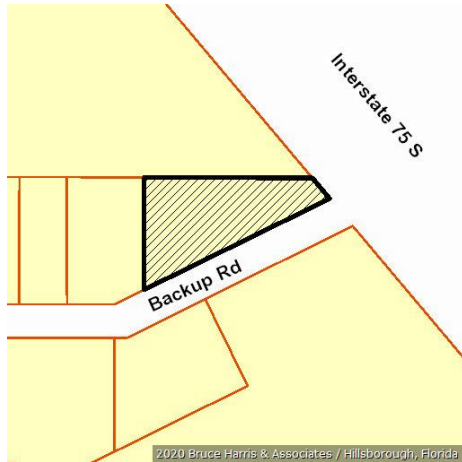
CLEWIS MUCK FARMS LOTS 12 AND 13



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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061450-0000



Owner Information

Owner Name	HUFFMAN GEORGE HUFFMAN SUSAN
Mailing Address	9112 BACKUP RD TAMPA, FL 33637-2500
Site Address	9112 BACK UP RD, TAMPA
PIN	U-19-28-20-25H-000000-00001.0
Folio	061450-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0200 MH
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$61,743	\$23,135	\$23,135	\$0
Public Schools	\$61,743	\$23,135	\$23,135	\$0
Municipal	\$61,743	\$23,135	\$23,135	\$0
Other Districts	\$61,743	\$23,135	\$23,135	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
14792	0023	03	2005	WD	Qualified	Improved	\$66,000
7288	1435	02	1994	QC	Unqualified	Improved	\$100
6361	1900	08	1991	QC	Unqualified	Improved	\$100
6165	0231	12	1990	WD	Qualified	Improved	\$20,500

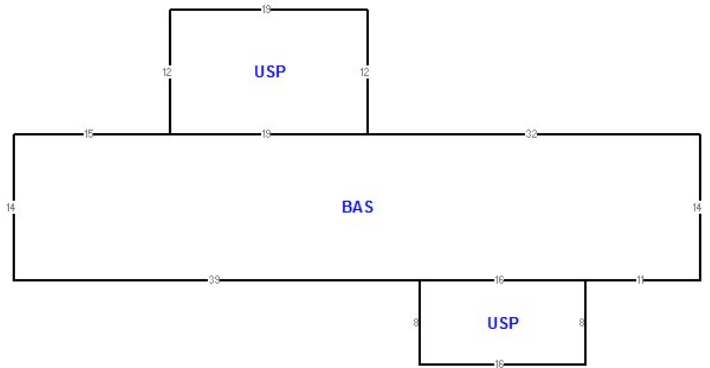
Building Information

Building 1

Type 02 | MANUFACTURED HOME (AYB > 1976)
Year Built 1982

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	12	Metal
Roof Structure	1	Flat
Roof Cover	9	Metal
Interior Walls	4	Plywood paneling
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	924	924	\$14,692
USP	228		\$906
USP	128		\$509
Totals	1,280	924	\$16,107

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	1	1993	0	0	1.00	\$0
0470	OPEN SHED	1	2001	19	10	190.00	\$1,454
0651	SHED NOT PERMANENTLY AFFIXED	1	2006	0	0	1.00	\$0
0120	DECK WOOD	1	2006	0	0	112.00	\$532

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REC0	Res SF Class 3.00	RDC-12	75.00	200.00	SE SF LOTS W/ EFF SIZE	15,000.00	\$43,650

Legal Description

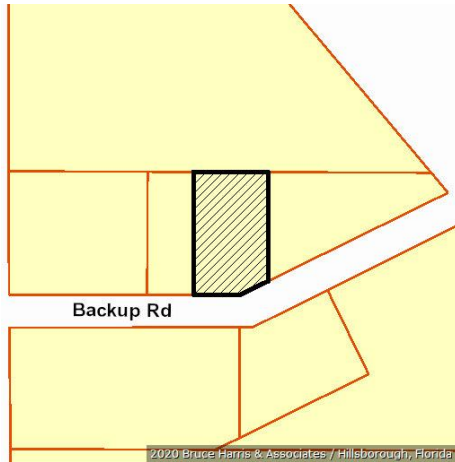
CLEWIS MUCK FARMS LOT 1 LESS W 40 FT LESS I-75 R/W



Bob Henriquez Hillsborough County Property Appraiser

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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061451-0000



Owner Information

Owner Name	MALLARD WALTER WARNER CHRISTINA
Mailing Address	1427 NE 43RD LN CAPE CORAL, FL 33909-6116
Site Address	9110 BACK UP RD, TAMPA
PIN	U-19-28-20-25H-000000-00001.1
Folio	061451-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0200 MH
Plat Book/Page	25/11
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	25H CLEWIS MUCK FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$46,243	\$46,243	\$0	\$46,243
Public Schools	\$46,243	\$46,243	\$0	\$46,243
Municipal	\$46,243	\$46,243	\$0	\$46,243
Other Districts	\$46,243	\$46,243	\$0	\$46,243

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26436	1948	02	2019	QC	Unqualified	Improved	\$100
12538	0120	04	2003	WD	Qualified	Improved	\$37,000
8366	0332	10	1994	WD	Unqualified	Improved	\$10,000
4454	0663	11	1984	AG	Unqualified	Vacant	\$10,000
2862	0842	01	1974		Unqualified		\$100

Building Information

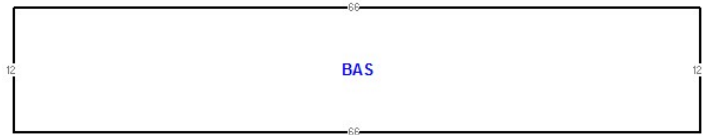
Building 1

Type 08 | MOBILE HOME
(AYB < 1977)

Year Built 1974

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	12	Metal
Roof Structure	1	Flat
Roof Cover	9	Metal
Interior Walls	4	Plywood paneling
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	3.0	
Bathrooms	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	792	792	\$7,141
Totals	792	792	\$7,141

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	1	2004	0	0	1.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	1	2004	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REC0	Res SF Class 3.00	RDC-12	95.00	140.00	SE SF LOTS W/ EFF SIZE	13,300.00	\$39,102

Legal Description

CLEWIS MUCK FARMS W 40 FT OF LOT 1 AND LOT 2

SMF 24A

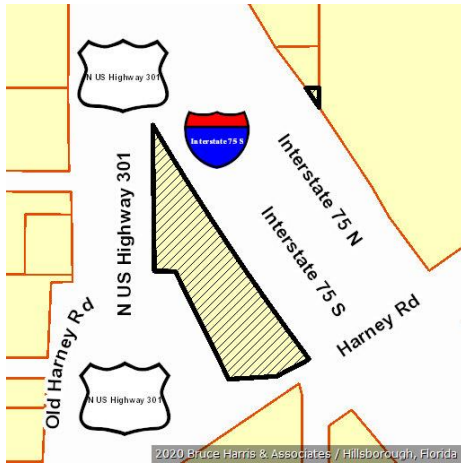
DRAFT



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Ph: (813) 272-6100

Folio: 061353-0000



Owner Information

Owner Name SALTER FRANCES TRUSTEE
JONES DEBORAH P
JONES OLEN K
JONES MICHAEL S
SCHULZ KATHLEEN J
WHIDDEN JASON W

Mailing Address 3801 S WEST SHORE BLVD
TAMPA, FL 33611-1001

Site Address 301 HWY, TAMPA

PIN U-19-28-20-ZZZ-000002-11240.0

Folio 061353-0000

Prior PIN

Prior Folio 000000-0000

Tax District U - UNINCORPORATED

Property Use 1000 VACANT COMM

Plat Book/Page /

Neighborhood 217005.00 | Temple Terr. Area E of River

Subdivision ZZZ | UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$69,937	\$64,107	\$0	\$64,107
Public Schools	\$69,937	\$69,937	\$0	\$69,937
Municipal	\$69,937	\$64,107	\$0	\$64,107
Other Districts	\$69,937	\$64,107	\$0	\$64,107

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26626	1928	04	2019	FD	Unqualified	Vacant	\$100
11580	0488	04	2002	WD	Unqualified	Vacant	\$100
2039	0881	01	1969		Qualified		\$6,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF24	US 301 North	CG	0.0	0.0	SF SQUARE FEET	86,684.00	\$69,937

Legal Description

THAT PART OF S 1/2 OF GOV LOT 1 N OF THONOTOSASSA RD AND E OF R/W OF U S 301 LESS I-75 BYPASS LESS RD R/W FOR HARNEY RD

SMF 24B

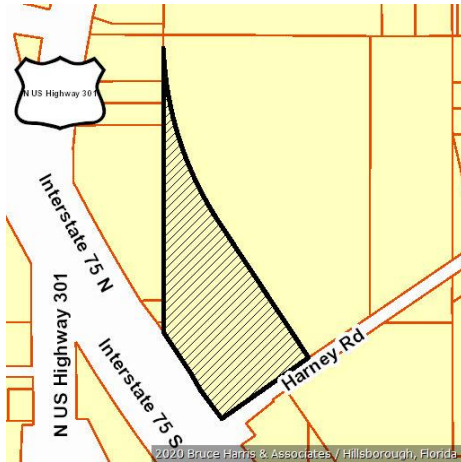
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Ph: (813) 272-6100

Folio: 061328-0000



Owner Information

Owner Name	CWK FAMILY PARTNERSHIP LTD
Mailing Address	9625 WES KEARNEY WAY RIVERVIEW, FL 33578-0506
Site Address	HARNEY RD, THONOTOSASSA
PIN	U-19-28-20-ZZZ-000002-10930.0
Folio	061328-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1000 VACANT COMM
Plat Book/Page	/
Neighborhood	219007.00 Thonotosassa South Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$241,572	\$214,946	\$0	\$214,946
Public Schools	\$241,572	\$241,572	\$0	\$241,572
Municipal	\$241,572	\$214,946	\$0	\$214,946
Other Districts	\$241,572	\$214,946	\$0	\$214,946

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
16800	0950	06	2005	QC	Unqualified	Vacant	\$49,900
16800	0920	06	2005	QC	Unqualified	Vacant	\$4,935,200
16800	0935	06	2005	QC	Unqualified	Vacant	\$49,900
4343	0763	05	1984	WD	Qualified	Vacant	\$90,300

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COB0	Comm Class 2	PD	0.0	0.0	SF SQUARE FEET	138,470.00	\$236,022
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	7.40	\$5,550

Legal Description

NE 1/4 OF NW 1/4 LESS E 375 FT AND THAT PART OF SE 1/4 OF NW 1/4 N OF RR LESS CANAL R/W LESS I-75 R/W LESS RD R/W

SMF 25A

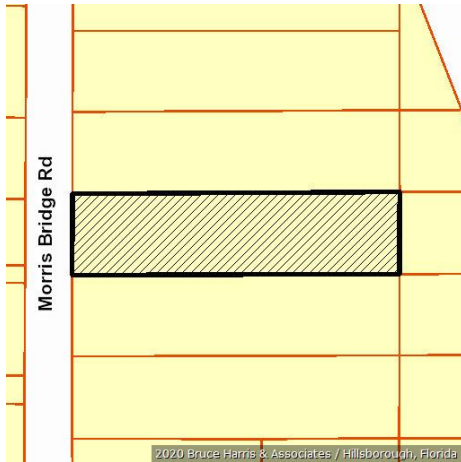
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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
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Folio: 061344-0000



Owner Information

Owner Name	KUCZWARA MARJORIE S
Mailing Address	9919 MORRIS BRIDGE RD TAMPA, FL 33637-5119
Site Address	9919 MORRIS BRIDGE RD, TAMPA
PIN	U-19-28-20-ZZZ-000002-11150.0
Folio	061344-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$133,982	\$69,537	\$44,537	\$25,000
Public Schools	\$133,982	\$69,537	\$25,000	\$44,537
Municipal	\$133,982	\$69,537	\$44,537	\$25,000
Other Districts	\$133,982	\$69,537	\$44,537	\$25,000

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
17153	0852	10	2006	QC	Unqualified	Improved	\$100
4625	1806	08	1985	WD	Qualified	Improved	\$79,900

Building Information

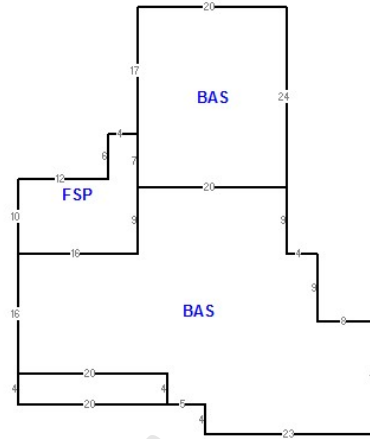
Building 1

Type 01 | SINGLE FAMILY

Year Built 1965

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	480	480	\$26,205
FSP	184		\$3,003
BAS	1,080	1,080	\$58,962
FOP	80		\$1,092
Totals	1,824	1,560	\$89,262

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0420	GARAGE WOOD	1	1965	0	0	360.00	\$4,698
0470	OPEN SHED	1	1965	0	0	324.00	\$1,487
0470	OPEN SHED	1	1965	0	0	260.00	\$1,193

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	RSC-3	100.00	400.00	AC ACREAGE	0.90	\$37,343

Legal Description

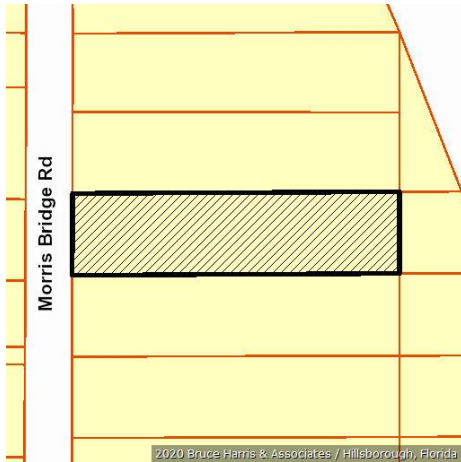
S 100 FT OF N 400 FT OF W 400 FT OF THAT PT OF NW 1/4 OF NW 1/4 E OF MORRIS BRIDGE RD R/W



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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061345-0000



Owner Information

Owner Name	LEHDE CAROL ANN LEHDE MICHAEL KENT
Mailing Address	9921 MORRIS BRIDGE RD TAMPA, FL 33637-5119
Site Address	9921 MORRIS BRIDGE RD, TAMPA
PIN	U-19-28-20-ZZZ-000002-11160.0
Folio	061345-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$131,345	\$71,616	\$46,616	\$25,000
Public Schools	\$131,345	\$71,616	\$25,000	\$46,616
Municipal	\$131,345	\$71,616	\$46,616	\$25,000
Other Districts	\$131,345	\$71,616	\$46,616	\$25,000

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
		01	2020	WD	Qualified	Improved	\$155,000
8109	0360	04	1996	WD	Unqualified	Improved	\$79,000
5331	1845	02	1988	QC	Unqualified	Improved	\$100
3898	0966	12	1981	WD	Unqualified	Improved	\$60,500

Building Information

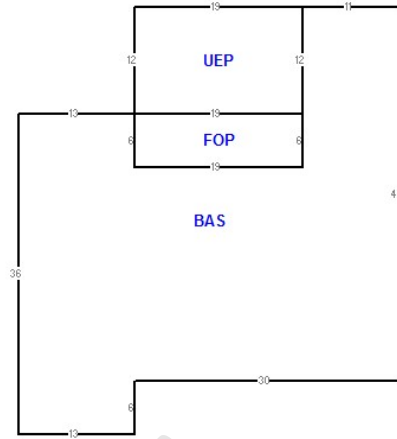
Building 1

Type 01 | SINGLE FAMILY

Year Built 1961

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	9	Metal
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,386	1,386	\$81,610
UEP	228		\$8,067
FOP	114		\$1,649
Totals	1,728	1,386	\$91,326

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0420	GARAGE WOOD	1	1963	0	0	160.00	\$2,088
0470	OPEN SHED	1	1963	0	0	128.00	\$588

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreege Class 3	RSC-3	100.00	400.00	AC ACREAGE	0.90	\$37,343

Legal Description

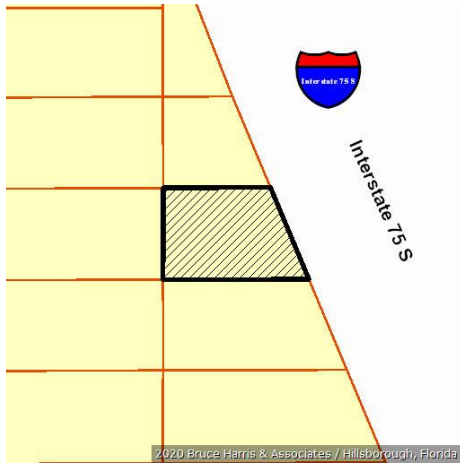
COMM AT NW COR OF NW 1/4 OF NW 1/4 RUN E 14.75 FT S 200 FT ALG E R/W OF MORRIS BRIDGE RD FOR A POB THN E 400 FT S 100 FT W 400 FT N 100 FT ALG SD R/W TO THE POB



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061333-5010



Owner Information

Owner Name	DEPT OF TRANSPORTATION
Mailing Address	11201 MCKINLEY DR TAMPA, FL 33612-6456
Site Address	MORRIS BRIDGE RD, TAMPA
PIN	U-19-28-20-ZZZ-000002-11070.0
Folio	061333-5010
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	8700 STATE
Plat Book/Page	/
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$27,587	\$27,587	\$27,587	\$0
Public Schools	\$27,587	\$27,587	\$27,587	\$0
Municipal	\$27,587	\$27,587	\$27,587	\$0
Other Districts	\$27,587	\$27,587	\$27,587	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3798	0973	04	1981		Unqualified		\$100
2129	0695	01	1969		Qualified		\$5,500

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreeage Class 3	RSC-6	100.00	140.00	AC ACREAGE	0.32	\$27,587

Legal Description

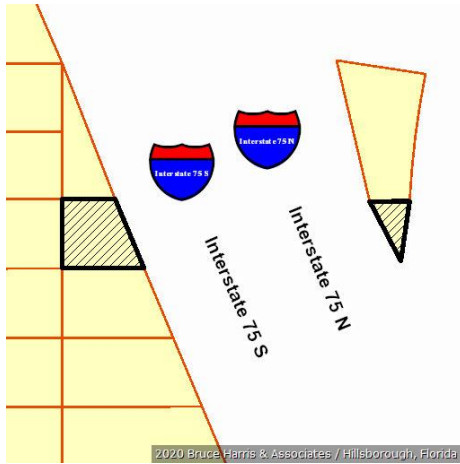
S 100 FT OF N 400 FT OF THAT PART OF NW 1/4 OF NW 1/4 LYING W OF SR 43 & E OF MORRIS BRIDGE RD LESS W 400 FT AND LESS I-75 BY-PASS



Bob Henriquez Hillsborough County Property Appraiser

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601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061339-0000



Owner Information

Owner Name	DEPT OF TRANSPORTATION
Mailing Address	11201 MCKINLEY DR TAMPA, FL 33612-6456
Site Address	I 75, TAMPA
PIN	U-19-28-20-ZZZ-000002-11110.0
Folio	061339-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	8700 STATE
Plat Book/Page	/
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$25,820	\$25,820	\$25,820	\$0
Public Schools	\$25,820	\$25,820	\$25,820	\$0
Municipal	\$25,820	\$25,820	\$25,820	\$0
Other Districts	\$25,820	\$25,820	\$25,820	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3768	1958	02	1981	WD	Unqualified	Improved	\$57,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	RSC-3	0.0	0.0	AC ACREAGE	0.28	\$25,820

Legal Description

N 300 FT OF THAT PART OF NW 1/4 OF NW 1/4 LYING W OF I-75 BY PASS AND E OF MORRIS BRIDGE RD LESS W 400 FT

SMF 25B

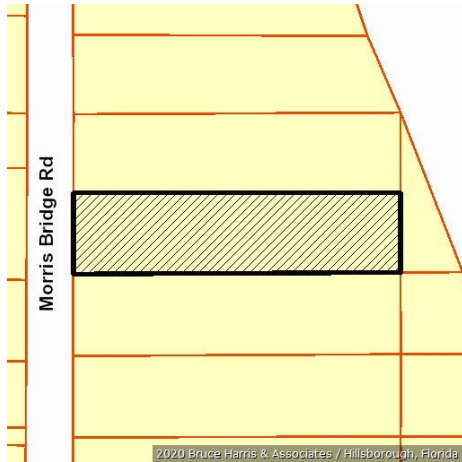
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061346-0000



Owner Information

Owner Name	HACKWORTH CONSTANCE M
Mailing Address	11722 HOYT AVE TAMPA, FL 33617-1724
Site Address	9923 MORRIS BRIDGE RD, TAMPA
PIN	U-19-28-20-ZZZ-000002-11170.0
Folio	061346-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$116,157	\$116,157	\$0	\$116,157
Public Schools	\$116,157	\$116,157	\$0	\$116,157
Municipal	\$116,157	\$116,157	\$0	\$116,157
Other Districts	\$116,157	\$116,157	\$0	\$116,157

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
6325	1278	07	1991	WD	Qualified	Improved	\$52,500
4555	0368	05	1985	QC	Unqualified	Improved	\$100

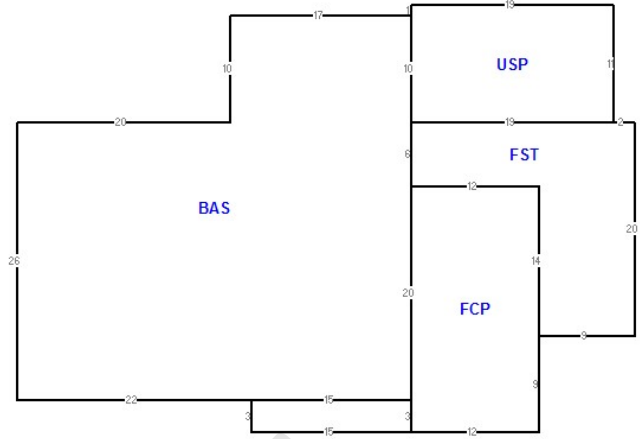
Building Information

Building 1

Type	01 SINGLE FAMILY
Year Built	1960

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	1.5	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
USP	209		\$2,948
BAS	1,132	1,132	\$64,185
FOP	45		\$624
FCP	276		\$3,912
FST	252		\$7,144
Totals	1,914	1,132	\$78,813

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	1	1960	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreege Class 3	RSC-3	100.00	400.00	AC ACREAGE	0.90	\$37,343

Legal Description

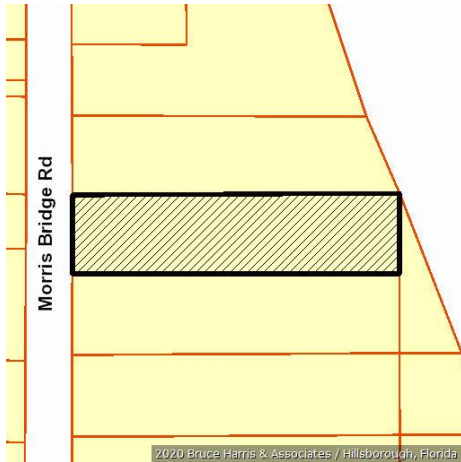
S 100 FT OF N 200 FT OF W 400 FT OF THAT PT OF NW 1/4 OF NW 1/4 E OF MORRIS BRIDGE RD R/W



Bob Henriquez Hillsborough County Property Appraiser

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 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 061340-0000



Owner Information

Owner Name	BOUGHNER ROBERT D JR BOUGHNER ROBERT D
Mailing Address	9925 MORRIS BRIDGE RD TAMPA, FL 33637-5119
Site Address	9925 MORRIS BRIDGE RD, TAMPA
PIN	U-19-28-20-ZZZ-000002-11120.0
Folio	061340-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$149,644	\$114,039	\$25,000	\$89,039
Public Schools	\$149,644	\$114,039	\$25,000	\$89,039
Municipal	\$149,644	\$114,039	\$25,000	\$89,039
Other Districts	\$149,644	\$114,039	\$25,000	\$89,039

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
24842	1524	03	2017	WD	Qualified	Improved	\$162,500
11096	1020	09	2001	WD	Unqualified	Improved	\$100

Building Information

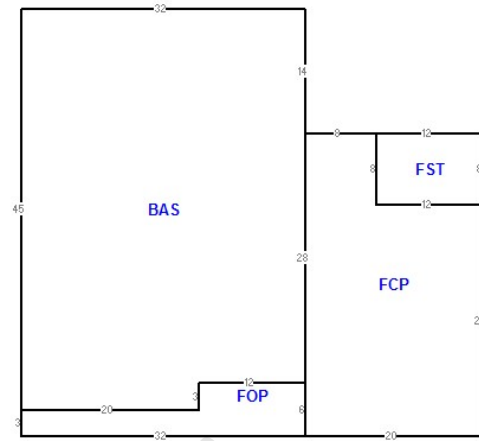
Building 1

Type 01 | SINGLE FAMILY

Year Built 1962

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	5	Wood
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FST	96		\$2,805
FCP	584		\$8,533
BAS	1,404	1,404	\$82,059
FOP	132		\$1,929
Totals	2,216	1,404	\$95,326

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0640	UTILITY CB	1	1962	0	0	960.00	\$11,597
0640	UTILITY CB	1	1995	0	0	420.00	\$5,378

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreeage Class 3	RSC-3	100.00	400.00	AC ACREAGE	0.90	\$37,343

Legal Description

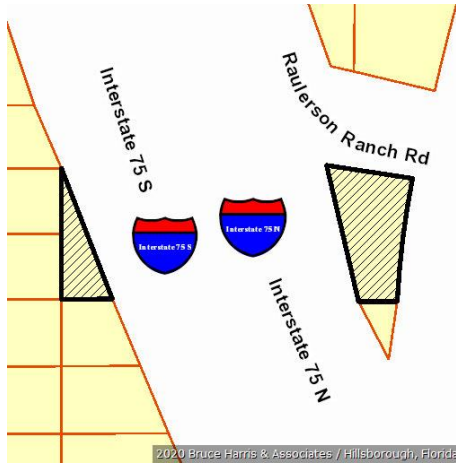
N 100 FT OF W 400 FT OF THAT PART OF NW 1/4 OF NW 1/4 E OF MORRIS BRIDGE RD R/W



Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061335-0000



Owner Information

Owner Name	HALIN RAYMOND A
Mailing Address	10401 SKEWLEE RD THONOTOSASSA, FL 33592-3219
Site Address	9930 N 301 HWY, TAMPA
PIN	U-19-28-20-ZZZ-000002-11090.0
Folio	061335-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	2754 AUTO REPAIR D
Plat Book/Page	/
Neighborhood	219002.00 Thonotosassa West Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$120,607	\$120,607	\$0	\$120,607
Public Schools	\$120,607	\$120,607	\$0	\$120,607
Municipal	\$120,607	\$120,607	\$0	\$120,607
Other Districts	\$120,607	\$120,607	\$0	\$120,607

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
6306	1747	06	1991	QC	Unqualified	Improved	\$86,400
5164	1644	06	1987	WD	Qualified	Improved	\$45,000
4687	0742	11	1985	WD	Unqualified	Vacant	\$25,000

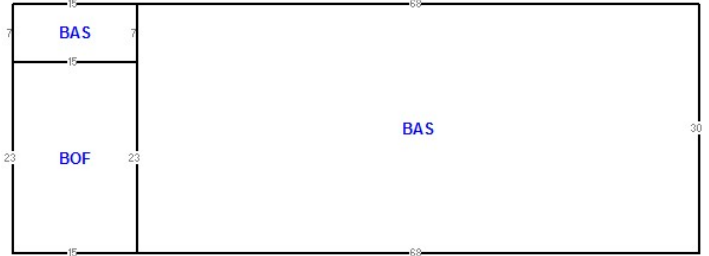
Building Information

Building 1

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	1988

Building 1 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	2	Fair
Stories	1.0	
Units	1.0	
Wall Height	16.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,040	2,040	\$50,723
BAS	105	105	\$2,611
BOF	345	345	\$13,725
Totals	2,490	2,490	\$67,059

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	1	1988	0	0	350.00	\$2,765
0060	CONCRETE PAVEMENT	1	1988	0	0	1,660.00	\$5,801
0020	ASPHALT PAVING	1	1988	0	0	4,609.00	\$5,495

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COB1	Comm Class 2	CI	117.00	125.00	SF SQUARE FEET	14,625.00	\$39,488

Legal Description

THAT PT OF N 200 FT OF NW 1/4 OF NW 1/4 LYING W OF SR 43 LESS W 400 FT & LESS I-75 BY PASS

SMF 25C-1

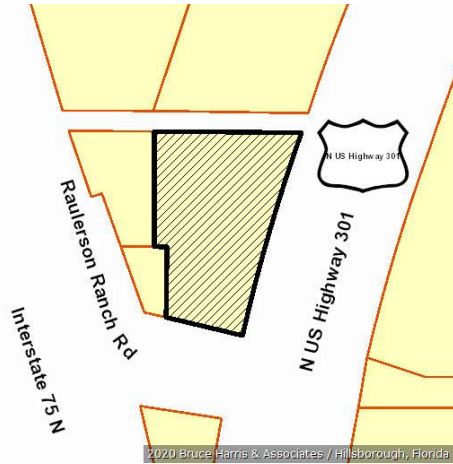
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061249-0000



Owner Information

Owner Name	BYNZAR VASILLY BYNZAR TAYA BYNZAR OLEG
Mailing Address	25436 GEDDY DR LAND O LAKES, FL 34639-5669
Site Address	10020 N 301 HWY, TAMPA
PIN	U-18-28-20-25B-000000-00013.0
Folio	061249-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1248 MIXED USE WAREHSE
Plat Book/Page	7/58
Neighborhood	219002.00 Thonotosassa West Area
Subdivision	25B NORTH TAMPA LAND CO'S SUB

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$342,482	\$342,482	\$0	\$342,482
Public Schools	\$342,482	\$342,482	\$0	\$342,482
Municipal	\$342,482	\$342,482	\$0	\$342,482
Other Districts	\$342,482	\$342,482	\$0	\$342,482

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15893	0135	12	2005	WD	Qualified	Improved	\$335,000
12742	0430	06	2003	WD	Unqualified	Improved	\$165,000
11107	0530	03	2001	WD	Qualified	Improved	\$155,000
7348	0825	04	1994	TR	Unqualified	Improved	\$100
4165	0949	08	1983	WD	Unqualified	Improved	\$85,000
3284	1690	09	1977	QC	Unqualified	Improved	\$100

Building Information

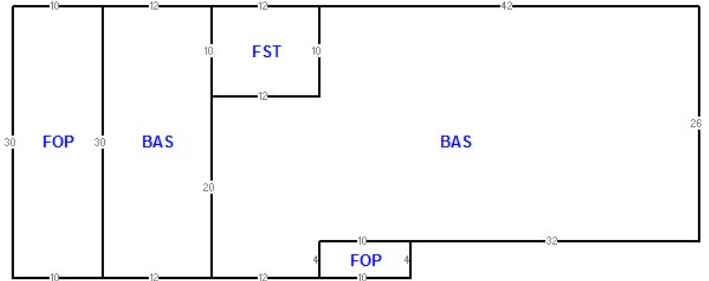
Building 1

Type 01 | SINGLE FAMILY

Year Built 1956

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	3	Plaster
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,332	1,332	\$68,514
FST	120		\$3,086
BAS	360	360	\$18,517
FOP	300		\$3,858
FOP	40		\$514
Totals	2,152	1,692	\$94,489

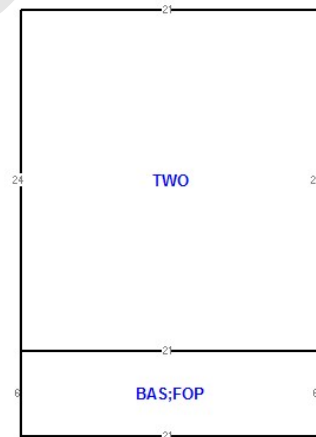
Building 2

Type 67 | SERVICE/REPAIR SHOP

Year Built 1986

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	4	Plywood paneling
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Architectural Style	0	Not Assigned
Condition	3	Average
Stories	2.0	
Units	1.0	



Building 2 subarea

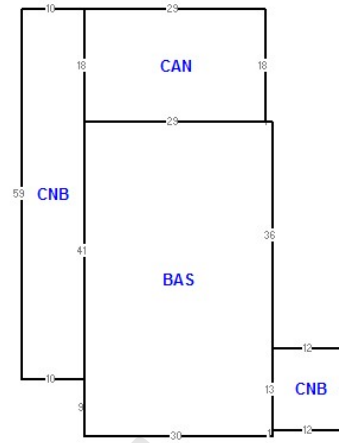
Area Type	Gross Area	Heated Area	Depreciated Value
TWO	1,008	1,008	\$16,405
BAS	126	126	\$2,051
FOP	126		\$1,025
Totals	1,260	1,134	\$19,481

Building 3

Type	87 PREFAB MTL BLD
Year Built	1974

Building 3 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Wall Height	16.00	
Units	1.0	
Stories	1.0	



Building 3 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,500	1,500	\$13,047
CAN	522		\$1,366
CNB	590		\$513
CNB	156		\$139
Totals	2,768	1,500	\$15,065

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0640	UTILITY CB	1	1956	20	13	260.00	\$3,926
0350	POOL 01 NO ENCL	1	1976	0	0	1.00	\$1,820
0150	PATIO BRICK FLAGSTNE	1	2002	0	0	162.00	\$1,477
0060	CONCRETE PAVEMENT	2	2006	0	0	624.00	\$1,856
0260	FENCE CL6	2	2006	0	0	300.00	\$2,370
0430	GARAGE METAL	3	2016	60	24	1,440.00	\$31,601
0460	CARPORT	3	2016	0	0	800.00	\$8,223

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF24	US 301 North	PD	158.00	312.00	SF SQUARE FEET	49,296.00	\$162,174

Legal Description

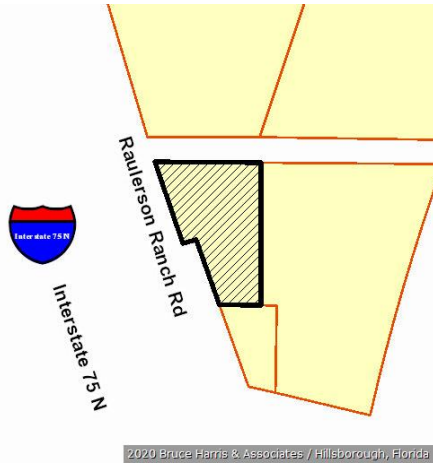
NORTH TAMPA LAND CO'S SUB S 72.45 FT OF LOT 13 W OF HWY LESS W 846 FT AND LOT 14 W OF HWY LESS W 846 FT & LESS I-75 BYPASS NORTH TAMPA LAND CO'S SUB & LOTS 21 22 & 23 & THAT PT OF LOTS 24 & 25 W OF HWY TEMPLE ESTATES



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061255-1000



Owner Information

Owner Name	BYNZAR ALEK
Mailing Address	17616 LAKE IOLA RD DADE CITY, FL 33523-1939
Site Address	RAULERSON RANCH RD, TAMPA
PIN	U-18-28-20-25D-000000-00010.0
Folio	061255-1000
Prior PIN	U-18-28-20-25D-000000-00001.1
Prior Folio	061254-0100
Tax District	U - UNINCORPORATED
Property Use	1000 VACANT COMM
Plat Book/Page	7/58
Neighborhood	219002.00 Thonotosassa West Area
Subdivision	25D TEMPLE ESTATES

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$33,454	\$33,119	\$0	\$33,119
Public Schools	\$33,454	\$33,454	\$0	\$33,454
Municipal	\$33,454	\$33,119	\$0	\$33,119
Other Districts	\$33,454	\$33,119	\$0	\$33,119

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
25602	0151	02	2018	FD	Qualified	Vacant	\$47,000
22038	1207	07	2013	WD	Unqualified	Vacant	\$100

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COB0	Comm Class 2	PD	0.0	0.0	SF SQUARE FEET	13,939.00	\$33,454

Legal Description

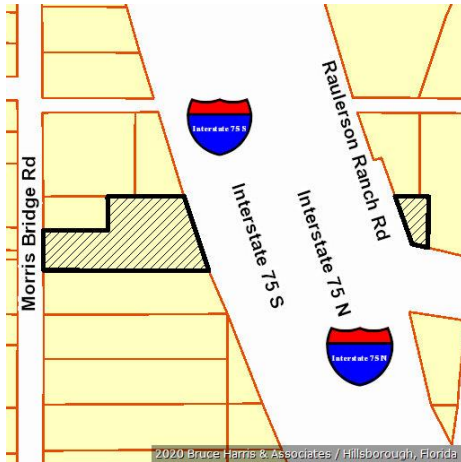
TEMPLE ESTATES LOTS 10 THRU 20 LYING E OF I-75 AND LESS I-75 BY-PASS



Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061251-0000



Owner Information

Owner Name	AHMAD NAFEES AHMAD ZEENAT
Mailing Address	12301 N 51ST ST TAMPA, FL 33617-1413
Site Address	10003 MORRIS BRIDGE RD, TEMPLE TERRACE
PIN	U-18-28-20-25B-000000-00013.2
Folio	061251-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	7/58
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	25B NORTH TAMPA LAND CO'S SUB

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$155,908	\$155,908	\$0	\$155,908
Public Schools	\$155,908	\$155,908	\$0	\$155,908
Municipal	\$155,908	\$155,908	\$0	\$155,908
Other Districts	\$155,908	\$155,908	\$0	\$155,908

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26029	0671	08	2018	WD	Unqualified	Improved	\$85,000
19771	1493	01	2010	QC	Unqualified	Improved	\$100
4031	1262	12	1982	WD	Unqualified	Improved	\$12,500
3430	1401	10	1978	AG	Unqualified	Improved	\$12,500

Building Information

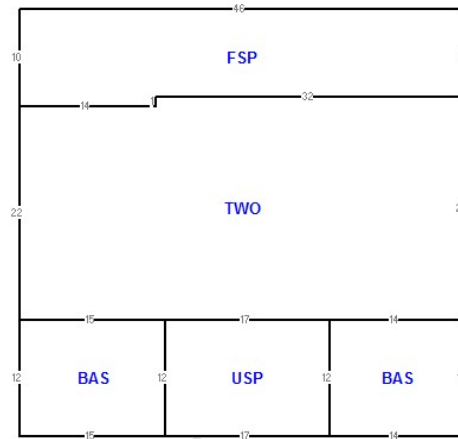
Building 1

Type 01 | SINGLE FAMILY

Year Built 1947

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	10	Contemporary Multi-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	1.5	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FSP	428		\$4,955
TWO	2,088	2,088	\$76,809
BAS	180	180	\$6,969
USP	204		\$1,974
BAS	168	168	\$6,504
Totals	3,068	2,436	\$97,211

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0351	POOL 01 SCREENED	1	1975	0	0	1.00	\$12,750

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
993I	Acreage Class 3	RSC-6	0.0	0.0	AC ACREAGE	1.00	\$38,000
993I	Acreage Class 3	RSC-6	0.0	0.0	AC ACREAGE	0.13	\$7,947

Legal Description

NORTH TAMPA LAND CO'S SUB E 681 FT OF W 846 FT OF S 72.45 FT OF LOT 13 AND W 846 FT OF N 88.15 FT OF LOT 14 LESS I-75 BYPASS

SMF 25C-2

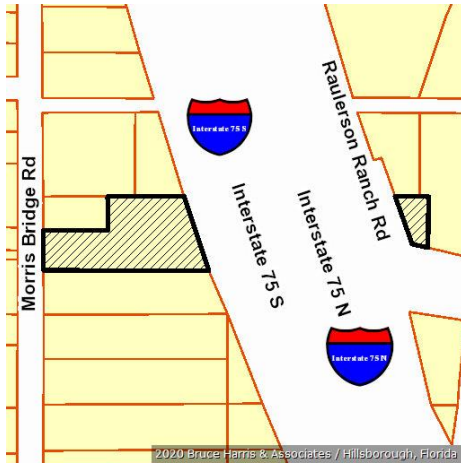
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061251-0000



Owner Information

Owner Name	AHMAD NAFEES AHMAD ZEENAT
Mailing Address	12301 N 51ST ST TAMPA, FL 33617-1413
Site Address	10003 MORRIS BRIDGE RD, TEMPLE TERRACE
PIN	U-18-28-20-25B-000000-00013.2
Folio	061251-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	7/58
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	25B NORTH TAMPA LAND CO'S SUB

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$155,908	\$155,908	\$0	\$155,908
Public Schools	\$155,908	\$155,908	\$0	\$155,908
Municipal	\$155,908	\$155,908	\$0	\$155,908
Other Districts	\$155,908	\$155,908	\$0	\$155,908

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26029	0671	08	2018	WD	Unqualified	Improved	\$85,000
19771	1493	01	2010	QC	Unqualified	Improved	\$100
4031	1262	12	1982	WD	Unqualified	Improved	\$12,500
3430	1401	10	1978	AG	Unqualified	Improved	\$12,500

Building Information

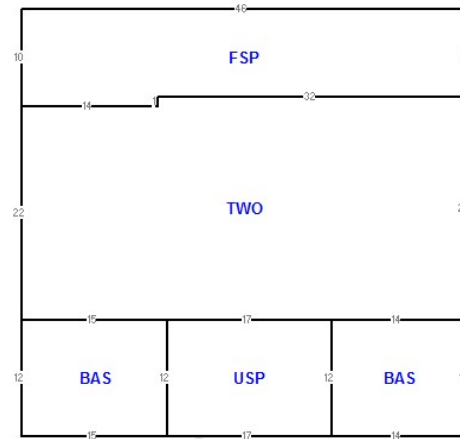
Building 1

Type 01 | SINGLE FAMILY

Year Built 1947

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	10	Contemporary Multi-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	1.5	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FSP	428		\$4,955
TWO	2,088	2,088	\$76,809
BAS	180	180	\$6,969
USP	204		\$1,974
BAS	168	168	\$6,504
Totals	3,068	2,436	\$97,211

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0351	POOL 01 SCREENED	1	1975	0	0	1.00	\$12,750

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
993I	Acreage Class 3	RSC-6	0.0	0.0	AC ACREAGE	1.00	\$38,000
993I	Acreage Class 3	RSC-6	0.0	0.0	AC ACREAGE	0.13	\$7,947

Legal Description

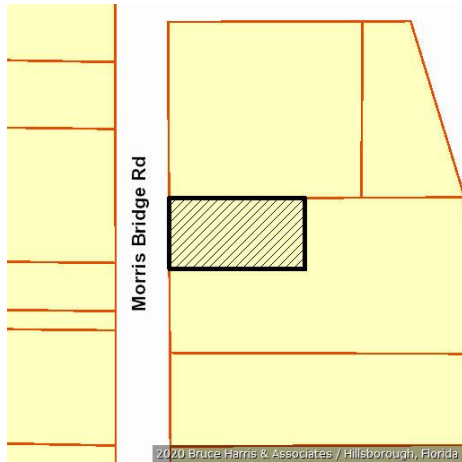
NORTH TAMPA LAND CO'S SUB E 681 FT OF W 846 FT OF S 72.45 FT OF LOT 13 AND W 846 FT OF N 88.15 FT OF LOT 14 LESS I-75 BYPASS



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061253-0000



Owner Information

Owner Name	TAYLOR FREDDIE III STEVENS TANYA T MS
Mailing Address	10009 MORRIS BRIDGE RD TAMPA, FL 33637-4303
Site Address	10009 MORRIS BRIDGE RD, TAMPA
PIN	U-18-28-20-25B-000000-00013.3
Folio	061253-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	7/58
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	25B NORTH TAMPA LAND CO'S SUB

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$178,334	\$178,334	\$50,000	\$128,334
Public Schools	\$178,334	\$178,334	\$25,000	\$153,334
Municipal	\$178,334	\$178,334	\$50,000	\$128,334
Other Districts	\$178,334	\$178,334	\$50,000	\$128,334

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
25546	1459	01	2018	WD	Qualified	Improved	\$210,000
24695	0803	01	2017	WD	Unqualified	Improved	\$50,600
24596	1390	11	2016	WD	Unqualified	Improved	\$12,000
24596	1387	11	2016	QC	Unqualified	Improved	\$100
22218	1041	10	2013	QC	Unqualified	Improved	\$100
21968	0882	05	2013	WD	Unqualified	Improved	\$100
21244	0709	06	2012	CT	Unqualified	Improved	\$100
10699	1625	03	2001	WD	Qualified	Improved	\$71,100
8663	1407	08	1997	WD	Qualified	Improved	\$37,500
4466	1589	12	1984	WD	Unqualified	Improved	\$13,800
2341	0323	01	1971		Qualified		\$13,800

Building Information

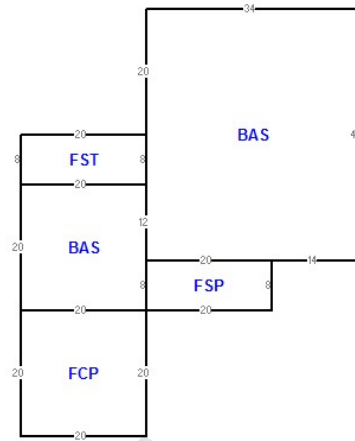
Building 1

Type 01 | SINGLE FAMILY

Year Built 1951

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	2	Updated Basic 1-Story
Condition	5	Excellent
Remodeled	3	Maximum
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,360	1,360	\$104,444
FST	160		\$6,144
BAS	400	400	\$30,719
FCP	400		\$7,680
FSP	160		\$3,686
Totals	2,480	1,760	\$152,673

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REB1	Res SF Class 2.25	RSC-6	72.00	165.00	SF SQUARE FEET	11,880.00	\$25,661

Legal Description

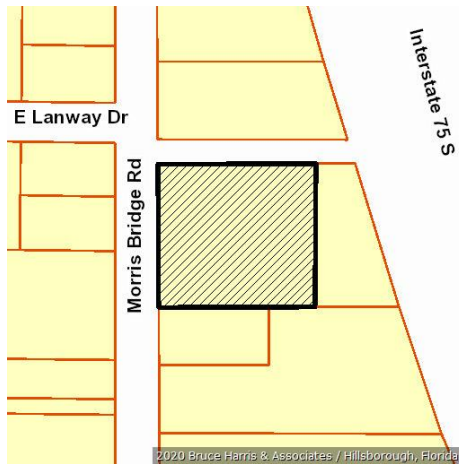
NORTH TAMPA LAND CO'S SUB LOT BEG AT SW COR OF LOT 13 AND RUN E 165 FT N 72.45 FT W 165 FT AND S 72.45 FT TO BEG



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061254-0100



Owner Information

Owner Name	TAFOUR MARWAN H EL MASRI NIDAL
Mailing Address	10010 HARNEY RD THONOTOSASSA, FL 33592-3304
Site Address	TAMPA
PIN	U-18-28-20-25D-000000-00001.1
Folio	061254-0100
Prior PIN	U-18-28-20-25D-000000-00001.0
Prior Folio	061255-0000
Tax District	U - UNINCORPORATED
Property Use	0000 VACANT RESIDENTIAL
Plat Book/Page	7/58
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	25D TEMPLE ESTATES

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$37,080	\$37,080	\$0	\$37,080
Public Schools	\$37,080	\$37,080	\$0	\$37,080
Municipal	\$37,080	\$37,080	\$0	\$37,080
Other Districts	\$37,080	\$37,080	\$0	\$37,080

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
27000	1568	10	2019	QC	Unqualified	Vacant	\$100
25481	1640	12	2017	TR	Unqualified	Vacant	\$37,500
22038	1209	07	2013	WD	Unqualified	Vacant	\$100

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	0	2015	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	RSC-6	186.00	200.00	AC ACREAGE	0.85	\$37,080

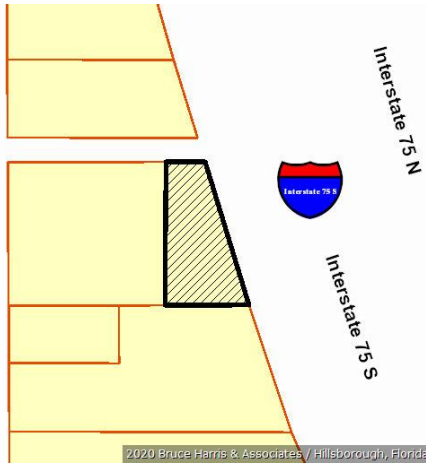
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafll.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 061255-0000



Owner Information

Owner Name	BETTISON DARRELL J
Mailing Address	10011 MORRIS BRIDGE RD TAMPA, FL 33637-4303
Site Address	10011 MORRIS BRIDGE RD, TAMPA
PIN	U-18-28-20-25D-000000-00009.0
Folio	061255-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	7/58
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	25D TEMPLE ESTATES

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$125,113	\$98,205	\$50,000	\$48,205
Public Schools	\$125,113	\$98,205	\$25,000	\$73,205
Municipal	\$125,113	\$98,205	\$50,000	\$48,205
Other Districts	\$125,113	\$98,205	\$50,000	\$48,205

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
13341	1371	11	2003	WD	Unqualified	Improved	\$45,000

Building Information

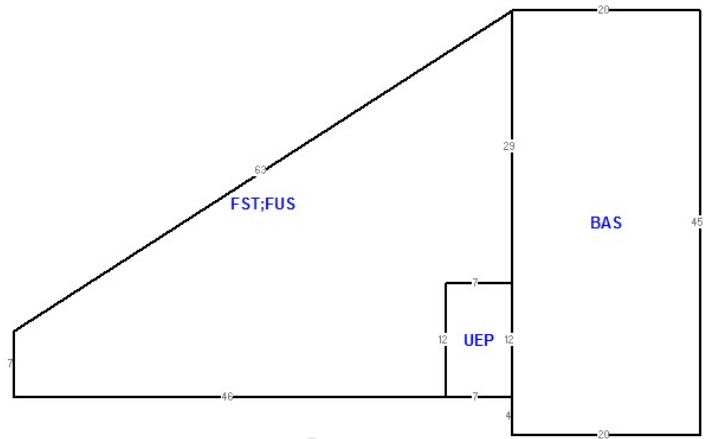
Building 1

Type 01 | SINGLE FAMILY

Year Built 1975

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	8	Brick
Roof Structure	1	Flat
Roof Cover	2	Rolled Composition
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	10	Contemporary Multi-Story
Condition	2	Fair
Bedrooms	2.0	
Bathrooms	1.0	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	900	900	\$32,759
FST	1,188		\$21,621
FUS	1,188	1,188	\$38,911
UEP	84		\$1,820
Totals	3,360	2,088	\$95,111

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0595	FIREPLACE	1	1975	0	0	1.00	\$1,910
0050	CONCRETE PATIO	1	2004	8	5	40.00	\$106
0651	SHED NOT PERMANENTLY AFFIXED	1	2006	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	RSC-6	183.00	79.00	AC ACREAGE	0.33	\$27,987

Legal Description

TEMPLE ESTATES THAT PART OF LOTS 9,10 AND 11 LYING W OF I-75

Appendix C

**New Potential Contamination Sites
Information I-75 and the I-75/I-4
Southwest Quadrant**

DRAFT

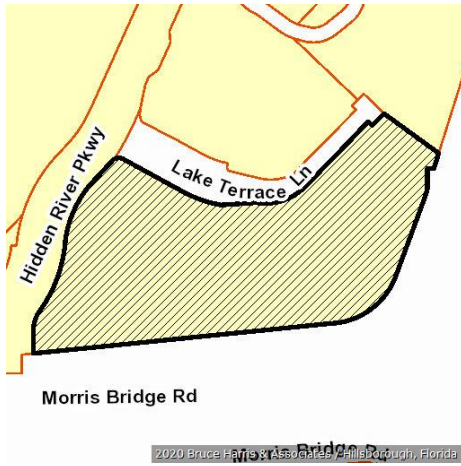
Site 88



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 034776-0506



Owner Information

Owner Name	HTA VA TAMPA MOB LLC
Mailing Address	C/O ALTUS GROUP PO BOX 92129 SOUTHLAKE, TX 76092-0102
Site Address	13515 LAKE TERRACE LN, TAMPA
PIN	A-01-28-19-1EM-000000-00002.0
Folio	034776-0506
Prior PIN	
Prior Folio	034765-0000
Tax District	TA - TAMPA
Property Use	1910 MEDICAL OFF A
Plat Book/Page	66/3
Neighborhood	216001.00 Tampa Palms South Area
Subdivision	1EM HIDDEN RIVER CORPORATE PARK PHASE I

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$24,978,500	\$24,978,500	\$0	\$24,978,500
Public Schools	\$24,978,500	\$24,978,500	\$0	\$24,978,500
Municipal	\$24,978,500	\$24,978,500	\$0	\$24,978,500
Other Districts	\$24,978,500	\$24,978,500	\$0	\$24,978,500

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
25135	1209	07	2017	WD	Unqualified	Improved	\$56,148,100
21070	0682	04	2012	WD	Unqualified	Vacant	\$7,550,000
7876	0822	08	1995	WD	Unqualified	Vacant	\$100
7617	1726	12	1994	CT	Unqualified	Vacant	\$100,016,500

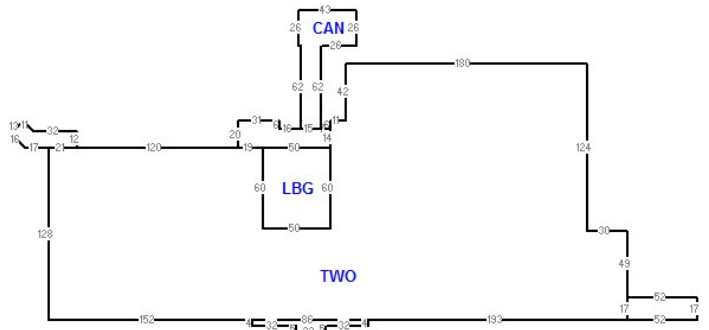
Building Information

Building 1

Type	52 MEDICAL OFFICE
Year Built	2014

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	10	Precast Panel
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	2.0	
Units	1.0	
Wall Height	16.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	123,376	123,376	\$22,245,927
BAS	1,152	1,152	\$207,717
CAN	2,048		\$110,710
LBG	3,000	3,000	\$676,162
CAN	591		\$31,915
CAN	454		\$24,522
ULP	884		\$23,981
Totals	131,505	127,528	\$23,320,934

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2015	0	0	121,000.00	\$200,724
0060	CONCRETE PAVEMENT	0	2015	0	0	17,206.00	\$56,656
0320	WALL CBS	0	1989	0	0	1,400.00	\$14,157
0415	FOUNTAIN LARGE	0	2009	0	0	1.00	\$16,216
0320	WALL CBS	0	1989	0	0	3,000.00	\$30,336
0300	FENCE WROUGHT IRON	0	1989	0	0	1,144.00	\$18,075

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE3	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	1,020,094.50	\$5,171,573
9400	RIGHT-OF-WAY	PD-A	0.0	0.0	AC ACREAGE	3.01	\$1,505

Legal Description

HIDDEN RIVER CORPORATE PARK PHASE I LOTS 2, 2A, 3, 3A, 19, 19A 20 AND 20A



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Interim Secretary

07/28/2015

Victoria Cockrell, Industrial Hygienist
Primary Care Annex for James A. Haley Veterans' Hospital
13000 Bruce B Downs Blvd (Mail
Tampa, FL 33612-4745

The Florida Department of Environmental Protection has reviewed your form 8700-12FL notification for a new hazardous waste DEP/EPA Identification Number or status/information change. Based on the information received you must use the following identification number for all manifests or reports for **Primary Care Annex for James A. Haley Veterans' Hospital** located at **13515 Lake Terrace Ln, Tampa , FL33637-1003**

FLR000213454

Your facility notified FDEP requesting the following hazardous waste status/activities which **do not require a separate submission: Conditionally Exempt SQG.**

Your facility is **currently registered** for the following activities: **None.**

Your facility is **currently permitted/active** as: **No Active Hazardous Waste Treatment, Storage, or Disposal Permit.**

If you have pending program registrations/certifications or permits, these will be mailed separately. You are required to notify us on form 8700-12FL if there is any change in your operations which would affect your status, activity or contact information. The form is found here:

<http://www.dep.state.fl.us/waste/categories/hwRegulation/pages/NotificationRegulatedWaste.htm>.

To review the details of your status, visit:

https://fldeploc.dep.state.fl.us/www_RCRA/Reports/handler_results.asp?epaid=FLR000213454.

For further assistance, please contact me at (850) 245-8749 or email at

Glen.Perrigan@dep.state.fl.us .

Sincerely,

Robin K. Pandley
For

Glen Perrigan
Environmental Manager
Hazardous Waste Regulation Section

ME ID: 106978 , Email Address: victoria.cockrell@va.gov



8700-12FL - FLORIDA NOTIFICATION OF REGULATED WASTE ACTIVITY

DEP Waste Management Division—HWRS, MS4560
 2600 Blair Stone Rd. Tallahassee, FL 32399-2400
 (850) 245-8707

Date Received
 (for FDEP Official Use Only)

NOV 06 2014

PERMITTING & COMPLIANCE

EPA ID: **FLR000213454**

Please use the instructions document to complete this form

1. Reason for Submittal <small>(all submitters must complete pages 1 and 2 and sign page 5. Pages 3 and 4, - complete as applicable)</small>	Mark 'X' in the correct box: <input checked="" type="checkbox"/> To provide initial notification (to obtain an EPA ID Number for hazardous waste, universal waste, used oil activities, or PCW activities) <input type="checkbox"/> To provide subsequent notification (to update status and facility identification information). <input type="checkbox"/> To provide the final notification (closing) for the facility. (see instructions—must complete pages 1,2,5) FL Registration(s) <input type="checkbox"/> UW Mercury (see page 3) <input type="checkbox"/> HW Transporter (see page 4) <input type="checkbox"/> Used Oil (see page 4)		
2. Facility or Business Name	Primary Care Annex for James A. Haley Veterans' Hospital		
3. Facility Operator <small>(List additional Operators in the comments section).</small>	Name of Operator: James A. Haley Veterans' Hospital		Date became Operator: <u>8</u> / <u>19</u> / <u>88</u> <input type="checkbox"/> New Operator mm dd yy
	Street or P.O. Box: 13000 Bruce B. Downs Blvd.		Phone Number: (813) 972-2000 ext. 6771
	City or Town: Tampa	State: FL	Zip Code: 33612
	Country (if not USA): Operator Type: <input type="checkbox"/> Private <input checked="" type="checkbox"/> Federal <input type="checkbox"/> Municipal <input type="checkbox"/> State <input type="checkbox"/> County <input type="checkbox"/> Other _____		
4. Facility Physical Location Information <small>(No P.O. Boxes)</small> <input type="checkbox"/> Same address as #3 above or:	Physical Street Address: <input type="checkbox"/> Vessel 13515 Lake Terrace Lane		
	City or Town: Tampa	State: FL	Zip Code: 33637
	County: Hillsborough	Country (if not USA):	
5. Facility North American Industry Classification System (NAICS) Code(s) (at least 5 digits)	A. <u>6</u> <u>2</u> <u>1</u> <u>1</u> <u>1</u> <u>1</u> (required)		B. _____
	C. _____		D. _____
6. Facility or Business Mailing Address	<input checked="" type="checkbox"/> Same address as #3 above or: Street or P.O. Box: City or Town: _____ State: _____ Zip/Postal Code: _____ Country (if not USA): _____		
7. Facility or Business RCRA Contact Person <input type="checkbox"/> Same address as #__ above or:	First Name: Victoria	Last Name: Cockrell	Title: Industrial Hygienist
	Phone Number: (813)972-2000	Extension: 6771	E-Mail: Victoria.Cockrell@va.gov
	Fax: (813) 979-3666		
	Street or P.O. Box: 13000 Bruce B. Downs Blvd. (Mail Code 138S)		
	City or Town: Indianapolis	State: FL	Zip Code: 33612
	Country (if not USA):		
8. Real Property (FL Land) Owner of the Facility's Physical Location <small>(List additional owners in the comments section)</small> <input type="checkbox"/> Same address as #__ above or:	Name of Owner: Duke Realty		Date became Owner: <u>02</u> / <u>15</u> / <u>2012</u> <input type="checkbox"/> New Owner mm dd yy
	Street or P.O. Box: 510 E. 96th St., Suite 250		Phone Number: (317) 339-7713
	City or Town: Indianapolis	State: IN	Zip Code: 46240
	Country (if not USA): Owner Type: <input checked="" type="checkbox"/> Private <input type="checkbox"/> Federal <input type="checkbox"/> Municipal <input type="checkbox"/> State <input type="checkbox"/> County <input type="checkbox"/> Other _____		

9. RCRA Hazardous Waste Activities at this Facility: (Mark 'X' in all that apply):

(A) (1) Generator of Hazardous Waste

Yes No (Do not include Universal Waste or Used Oil)

If YES, Choose only one of the following three categories.

- a. Large Quantity Generator (LQG):**
Generates in any calendar month 1,000 kilograms or greater per month (kg/mo) (2,200 lbs.) of non-acute hazardous waste; or Greater than 1 kg (2.2 lbs) of acute hazardous waste (at least once a year)
- b. Small Quantity Generator (SQG):**
Generates in any calendar month greater than 100kg/mo but less than 1,000 kg/mo (>220 to <2,200 lbs.) of non-acute hazardous waste and/or 1 kg (2.2 lbs) or less of acute hazardous waste (at least once a year)
- c. Conditionally Exempt SQG (CESQG):**
Generates in any calendar month 100 kg/mo or less (220 lbs.) of non-acute hazardous waste and 1 kg (2.2 lbs) or less of acute hazardous waste

In addition, indicate other generator activities that apply.

- d. Short-Term Generator (one-time, not on-going)
- e. Episodic: Not more than one-time per year: __ SQG __ LQG
- f. United States Importer of hazardous waste
- g. Mixed Waste (hazardous and radioactive) Generator

For Items 2 through 7, mark 'X' in all that apply.

(2) Treater, Storer, or Disposer of Hazardous Waste

(at your facility) Note: A hazardous waste permit may be required for this activity.

- a. Operating Commercial TSD
- b. Operating Non-Commercial TSD
- c. Non-Operating: Postclosure or Corrective Action Permit or Order (HSWA, etc.)
- (3) Recycler of Hazardous Waste** (at your facility)
Specify: Commercial Non-Commercial.
Note: A permit is required for storage prior to recycling.
- (4) Exempt Boiler and/or Industrial Furnace**
 - a. Small Quantity On-site Burner Exemption
 - b. Smelting, Melting, and Refining Furnace Exemption
- (5) Person Authorized to Manage Conditionally Exempt Waste Generated at Other Facilities**
Choose this management activity ONLY if you attach EITHER a copy of your application for such authorization OR the authorization you received from FDEP.
- (6) Receives Hazardous Waste from Off-Site**
- (7) Underground Injection Control**

10. Waste Codes for Federally Regulated Hazardous Wastes: List the waste codes of the Federal hazardous wastes handled at your facility. List them in the order they are presented in the regulations (e.g., D001, D003, F007, K019, P012, U112). Hazardous waste transporters list codes routinely or usually transported. Use comments or an additional page if more spaces are needed.

1 D001	2 D002	3 D009	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21

11. Other Status Changes (If no longer handling waste or closed, sections 9 and 10 should be blank and skip Section 12-16):

(A) Non-Handler of Regulated Waste at This Facility (Sections 9, 10 and 12-16 should be blank.)

(1) Business no longer generates, transports, treats, stores, disposes of, or otherwise handles any regulated waste.

(B) Facility Closed (Complete this section only if all business activities at this facility have ceased.)

- (1) Closed at this location and moved or moving to another - Submit a new Form 8700-12FL for the new location if you will
- (2) Out of Business - Business closed on _____ (date)

(C) Property Tax Default

(D) Petition for Bankruptcy Protection

12-14 — Registration Activities Contact Information (only if this submission is a registration or registration information update):

<input checked="" type="checkbox"/> Same as Facility RCRA Contact on page 1 or enter: Contact for: <input type="checkbox"/> HW Transporter <input type="checkbox"/> Used Oil Handler <input type="checkbox"/> Universal Waste	First Name:		Last Name:		Title:
	Phone Number:		Extension:	E-Mail:	
	Street or P.O. Box:				
	City or Town:		State:(Country):		Zip Code:

12. Universal Waste (UW) Activities (Mark 'X' and complete all that apply) :

A. Federal Notification	<input type="checkbox"/> Federally Defined Large Quantity Handler (LQH) = Generate/Accumulate: <u>5,000 kg (11,000 lb) or more</u> of any combination of UW accumulated (at any one time) Accumulates: <input type="checkbox"/> a. UW Batteries <input type="checkbox"/> b. Pesticides <input type="checkbox"/> c. Pharmaceuticals <input type="checkbox"/> d. Mercury Containing Devices <input type="checkbox"/> e. Mercury Containing Lamps <input type="checkbox"/> Destination Facility for UW Note: For this activity, a facility must treat, dispose or recycle a UW. A permit is required for storage prior to recycling.
--------------------------------	--

B. Florida Universal Pharmaceutical Waste (UPW): one-time registration

<input type="checkbox"/> Pharmaceuticals LQH = 5,000 kg or more of Universal Pharmaceutical Waste (UPW) accumulated (at any one time) <input type="checkbox"/> Pharmaceuticals Acute LQH = more than 1 kg (2.2 lb) of acutely hazardous ("P-listed") pharmaceutical waste (UPW) accumulated <input type="checkbox"/> Reverse Distributor of Universal Pharmaceutical Waste (UPW) (must be registered with the Florida Department of Health [DOH]) <input type="checkbox"/> Florida Universal Pharmaceutical Waste (UPW) Transporter
--

C. Florida Annual Mercury Handler Registration:

For-hire transporters, transfer facilities, handlers, reclamation and recovery facilities of Mercury-Containing Lamps and Devices operating in the State of Florida are required to register annually with the Department using this section of the form [Chapter 62-737, F.A.C.]. A one-time fee of \$1,000 is required for first time registration as a Large Quantity for-hire Handler of Mercury-Containing Lamps and Devices as detailed in 62-737.400(3)(a)3. (please contact FDEP first).

If you only generate lamps and/or devices or manage pharmaceuticals, do not register or complete the information below.

(1) This form is being submitted as a Florida Registration of Universal Waste Transporter/Handler for-hire Activities

First time registering Renewal One-time \$1,000 fee for Mercury for-hire first time LQH registration is attached

<input type="checkbox"/> For-hire Transporter of Universal Waste Mercury-Containing Lamps or Devices	Annual Registration Required
<input type="checkbox"/> For-hire Transfer Facility of Universal Waste Mercury-Containing Lamps or Devices	
<input type="checkbox"/> Mercury-Containing Devices (thermostats, etc) SQH = less than 100 kg accumulated by for-hire handler	
<input type="checkbox"/> Mercury-Containing Lamps SQH = less than 2,000 kg (8,000 lamps) accumulated by for-hire handler	
<input type="checkbox"/> Mercury-Containing Devices LQH = 100 kg (220 lb) or more accumulated at any one time by for-hire handler	Annual Registration + one-time \$1,000 fee+ More Requirements (contact FDEP)
<input type="checkbox"/> Mercury-Containing Lamps LQH = 2,000 kg (4400 lbs/8,000 lamps) or more accumulated by for-hire handler	

(2) Mercury Recovery and/or Reclamation Facility (A hazardous waste permit is required for this activity)

First time registering Renewal

Annual Registration Required

Briefly Describe your Universal Waste Activities. We use Drum Top Bulb Crusher(s).

13. Other State Regulated Waste Activities: Petroleum Contact Water (PCW) Recovery Transport [62-740 F.A.C.]

Note: A water facility permit may be required for this activity. An annual report is required for a recovery facility pursuant to Rule [62-740.300(5)]

14. HW Transporter Activities: (Mark 'X' and complete all that apply if you need to register your HW Transporter activities)

Transporters of and Transfer Facilities for Hazardous Waste in the State of Florida are required to register and annually renew their registration. Evidence of casualty/liability insurance pursuant to 62-730.170(2)(a) is required in addition to this registration. Transfer facilities must submit several additional documents as detailed on page 5 the first time they register and when the information changes. Registered transporters and transfer facilities may only begin operations after receiving approval from the Department. **Generators of hazardous waste who transport waste only within the boundaries of their facility should not register.**

A. HW Transporter Registration Information (must be completed annually and when this information changes)

This facility is a registered transporter of hazardous waste.

This form is: Initial Registration Renewal Notification of changes Cancel Registration

1. For own waste only 2. For commercial purposes 3. Both commercial and own waste

4. Transportation Mode Air Rail Highway Water Other - specify _____

B. HW Transfer Facility Registration Information (must be completed annually and when this information changes)

This facility is a Hazardous Waste Transfer Facility: (at this location) Storage Volume _____

This form is: Initial Registration Renewal Notification of changes Cancel Registration

Note: Hazardous Waste transfer facilities must comply with the requirements of Rule 62-730.171, F.A.C., and Rule 62-730.182, F.A.C.

The Transfer Facility records required under the provisions of Rule 62-730.171(6), F.A.C., are kept at (check one):

Our mailing (business) address The site (facility) address

Please enter the EPA ID Number of the HW Transporter who carries the insurance for this Transfer Facility:

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

Please see the top of page 5 for additional items that must be submitted in addition to the above registration for Hazardous Waste Transfer Facilities [Rule 62-730.171(3), Florida Administrative Code (F.A.C.)]:

15. Used Oil and Oil Filter Activities: (Mark 'X' and complete all that apply if you need to register your used oil activities),

Transporters (exemptions in 40 CFR 279.40(a)(1-4), transfer facilities, processors, off-specification burners, and/or marketers must annually register with the Department using this form. All except Florida used oil (UO) Processors and collection centers must pay an annual \$100 registration fee.

This form is: Initial Registration Renewal Notification of changes Cancel Registration

If applicable, a check or money order, in the amount of \$100, payable to Florida Department of Environmental Protection is enclosed.

(1) Used Oil Transporter - mark activities: (occurring in Florida)

- a. Transporter (off-site) and noncontiguous locations
- b. Transfer Facility

(2) Collection Center (From businesses, no more than 55 gal per shipment)

(3) Used Oil Processor (A permit is required.)

(4) Off-Specification Used Oil Burner

(5) Used Oil Fuel Marketer On-Spec Off-Spec

(6) Used Oil Filter Management (must annually register)

- a. Transporter
- b. Transfer Facility
- c. Processor (Annual Report Required)
- d. End User

(7) The records required under the provisions of Rule 62-710.510, FAC, are kept at (check one):

Our mailing (business) address The site (facility) address

Please see the top of page 5 for additional items that must be submitted in addition to the above registration and fees required for non-exempt Used Oil Transporters.

(14 cont.) Hazardous Waste Transfer Facilities: In addition to the registration required for Transfer Facilities on Page 4, Section 14, the following items are required to be submitted with the initial notification for a transfer facility and any changed items must be submitted with any subsequent submission [Rule 62-730.171(3), Florida Administrative Code (F.A.C.)] :

- Certification by a responsible corporate officer of the transporter that the proposed location satisfies the criteria of Section 403.7211(2), Florida Statutes (F.S.) [Rule 62-730.171(3)(a)1., F.A.C.]
- Evidence of the transporter's financial responsibility [Rule 62-730.171(3)(a)3., F.A.C.]
- A brief general description of the transfer facility operations [Rule 62-730.171(3)(a)4., F.A.C.]
- A copy of the facility closure plan [Rule 62-730.171(3)(a)5., F.A.C.]
- A copy of the contingency and emergency plan [Rule 62-730.171(3)(a)6., F.A.C.]
- A map or maps of the transfer facility [Rule 62-730.171(3)(a)7., F.A.C.]

(15 cont.) Used Oil Transporters: (Exemptions in 40 CFR 279.40(a)(1-4))

In addition to the requirements on Page 4 Section 15:

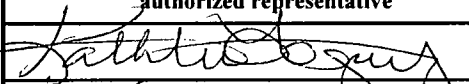
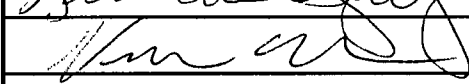
- ALL registered UO Handlers must submit an annual report except generators transporting UO from noncontiguous operations within their own company.
- UO transporters transporting off-site over public highways only within their own company must submit proof of insurance.
- UO transporters transporting more than 500 gallons/year must submit proof of insurance annually, and must sign and certify this submission as a certified used oil transporter in section 17 (except those exempted by Rule 62-710.600(1), F.A.C.).

The used oil annual report is attached Evidence of Liability Insurance pursuant to 62-710.600(2)(e), F.A.C. is attached.

16. Comments (attach a page if more space is needed):

17. Certification: I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. The information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

I certify as a Used Oil Transporter that I am familiar with the applicable Florida and Federal laws and rules governing used oil transportation and have an annual and new employee training program in place covering the applicable used oil rules. Evidence of financial responsibility is demonstrated by the Used Oil Transporter Certificate of Liability Insurance, DEP form 62-730.900(5)(a), F.A.C..

Signature of owner, operator, or an authorized representative	Print Name and Title	Used Oil	Date Signed (mm-dd-yyyy)
	Kathleen R. Fogarty, Director	<input type="checkbox"/>	10/20/2014
	Victoria Cockrell, Industrial Hygienist	<input type="checkbox"/>	10/15/14
		<input type="checkbox"/>	

If the person that filled in this form is not the Facility Contact or Operator, please complete the information below:

_____ (Name of person completing this form) _____ (Phone Number) _____ (E-mail Address)

DRAFT

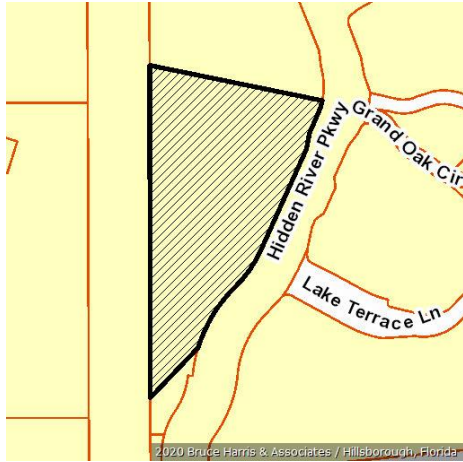
Site 89



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 034776-0518



Owner Information

Owner Name	TDC HIDDEN RIVER LLC
Mailing Address	5310 S ALSTON AVE STE 210 DURHAM, NC 27713-4381
Site Address	8875 HIDDEN RIVER PKWY, TAMPA
PIN	A-01-28-19-1EM-000000-00006.0
Folio	034776-0518
Prior PIN	
Prior Folio	034765-0000
Tax District	TA - TAMPA
Property Use	1810 OFF MULT-STY A
Plat Book/Page	66/3
Neighborhood	216001.00 Tampa Palms South Area
Subdivision	1EM HIDDEN RIVER CORPORATE PARK PHASE I

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$18,027,000	\$18,027,000	\$0	\$18,027,000
Public Schools	\$18,027,000	\$18,027,000	\$0	\$18,027,000
Municipal	\$18,027,000	\$18,027,000	\$0	\$18,027,000
Other Districts	\$18,027,000	\$18,027,000	\$0	\$18,027,000

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
24983	0246	05	2017	WD	Unqualified	Improved	\$17,750,000
24975	1205	02	2017	CD	Unqualified	Improved	\$100
15481	1521	09	2005	WD	Qualified	Improved	\$18,000,000
10191	0104	05	2000	WD	Qualified	Improved	\$12,850,000
7968	1786	11	1995	WD	Qualified	Improved	\$11,900,000
7876	0814	09	1995	WD	Unqualified	Improved	\$100
7617	1717	12	1994	CT	Unqualified	Improved	\$1,000

Building Information

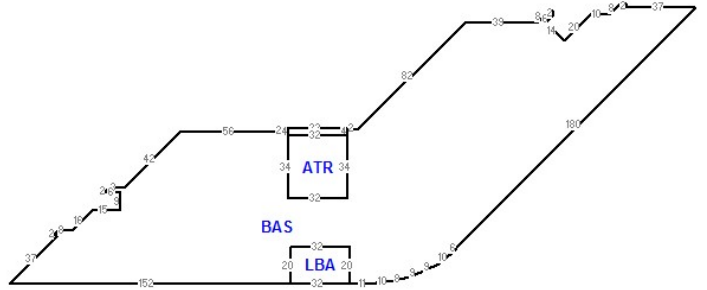
Building 1

Type 50 | OFFICE >2 STORY

Year Built 1989

Building 1 Construction Details

Element	Code	Construction Detail
Class	A	Structural Steel Columns & Beams
Exterior Wall	15	Glass Thermopane
Exterior Wall	10	Precast Panel
Roof Structure	12	Reinforced Concrete
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	5.0	
Units	100.0	
Wall Height	12.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	23,049	23,049	\$3,120,784
CAN	128		\$5,145
CAN	128		\$5,145
ATR	1,088	1,088	\$176,830
LBA	640	640	\$95,320
CAN	2,932		\$119,150
FUS	23,086	23,086	\$3,125,794
FUS	26,658	26,658	\$3,609,435
FUS	27,746	27,746	\$3,756,747
FUS	27,746	27,746	\$3,756,747
Totals	133,201	130,013	\$17,771,097

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0460	CARPORT	1	2000	20	15	300.00	\$1,314
0115	CONCRETE PAVERS	1	2000	0	0	2,209.00	\$12,406
0110	WALK CERAMIC TILE	1	2000	0	0	512.00	\$5,631
0020	ASPHALT PAVING	1	1989	0	0	86,680.00	\$103,350
0060	CONCRETE PAVEMENT	1	1989	0	0	8,740.00	\$22,906

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE3	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	344,780.80	\$1,980,559
9610	LOWLANDS	PD-A	0.0	0.0	AC ACREAGE	1.07	\$802

Legal Description

HIDDEN RIVER CORPORATE PARK PHASE I LOT 6 AND PART OF LOT 1 DESC AS FOLLOWS: COMM AT SE COR OF SECTION 1 THN S 89 DEG 59 MIN 32 SEC W ALG S LINE OF SD SECTION AND C/L OF FLETCHER AVE 2452.58 FT THN N 00 DEG 00 MIN 28 SEC W 50 FT TO NLY R/W OF FLETCHER AVE AND ELY BDRY OF A 200 FT TECO R/W AND SW COR OF HIDDEN RIVER PARK PHASE I THN N 00 DEG 08 MIN 13 SEC W 311.81 FT TO POB CONT N 00 DEG 08 MIN 13 SEC W 1070.36 FT TO NW COR OF LOT 6 THN S 78 DEG 25 MIN 30 SEC E 566.48 FT TO WLY R/W OF HIDDEN RIVER PKWY CONT ALG R/W THE FOLLOWING COURSE W/CURVE TO RIGHT W/RAD 228.00 FT ARC DIST OF 50.10 FT CHD BRG S 17 DEG 54 MIN 21 SEC W 50 FT THN S 24 DEG 12 MIN 03 SEC W 63.25 FT THN S 10 DEG 42 MIN 19 SEC W 51.42 FT THN S 24 DEG 12 MIN 04 SEC W 357.36 FT THN W/CURVE TO RIGHT W/RAD 387.32 FT ARC DIST 145.33 FT CHD BRG S 34 DEG 56 MIN 59 SEC W 144.48 FT THN W/CURVE TO LEFT W/RAD 459.23 FT ARC DIST 230.88 FT CHD BRG S 31 DEG 17 MIN 45 SEC W 228.46 FT THN S 43 DEG 35 MIN 57 SEC W 222.76 FT TO POB

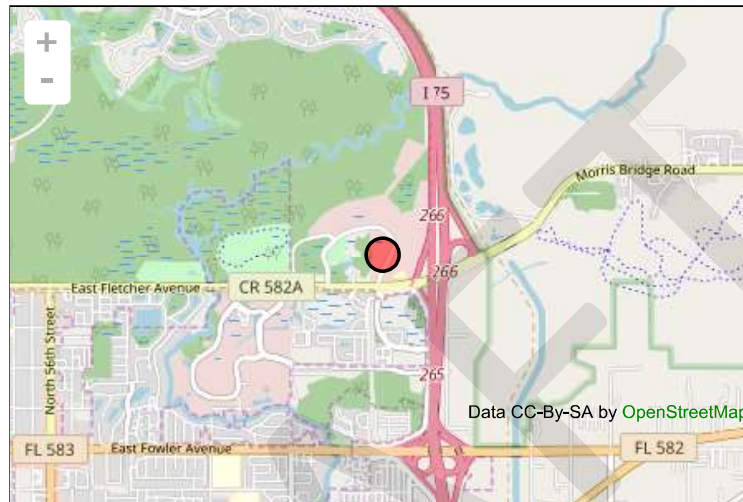
Florida > Hillsborough

KASET INTERNATIONAL CERCLIS SITE

EPA Identifier: 110005598264
CERCLIS ID: 110005598264
Location:
 28.072312, -82.359114

Address:
 8875 HIDDEN RIVER PKWY
 TAMPA, FL

Create Date: 01-MAR-00
Update Date: 24-JUN-12



Programs: {FDM,RCRAINFO}
Program Interests:
 STATE MASTER, UNSPECIFIED UNIVER

SWITCH STATES

Alabama • Alaska • Arizona • Arkansas • California • Colorado • Connecticut • Delaware
 District of Columbia • Florida • Georgia • Hawaii • Idaho • Illinois • Indiana • Iowa
 Kansas • Kentucky • Louisiana • Maine • Maryland • Massachusetts • Michigan • Minnesota
 Mississippi • Missouri • Montana • Nebraska • Nevada • New Hampshire • New Jersey • New Mexico
 New York • North Carolina • North Dakota • Ohio • Oklahoma • Oregon • Pennsylvania • Rhode Island
 South Carolina • South Dakota • Tennessee • Texas • Utah • Vermont • Virginia • Washington
 West Virginia • Wisconsin • Wyoming

*The data presented on this website was gathered from a variety of government sources. Nationwide Environmental Title Research, LLC (NETR) makes no warranties expressed or implied as to the accuracy or completeness of this data. This data is not to be construed as legal advice. The inclusion of a facility in the National Priorities List does not reflect a judgment of its owner or operator or make the owner or operator take any action. It also does not assign any liability to any person or company. It serves as a source of information by identifying facilities or other hazardous substance releases that appear to warrant remedial actions.

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Florida Department of
Environmental Protection
Hazardous Waste Inspection Report

FACILITY INFORMATION:

Facility Name: Kaset International

On-Site Inspection Start Date: 04/26/2012

On-Site Inspection End Date: 04/26/2012

ME ID#: 46446

EPA ID#: FLD984184853

Facility Street Address: 8875 Hidden River Pkwy, Tampa, Florida 33637-1035

Contact Mailing Address: 8875 Hidden River Pkwy, Tampa, Florida 33637-1035

County Name: Hillsborough

Contact Phone: (813) 977-8875

NOTIFIED AS:

SQG (100-1000 kg/month)

INSPECTION TYPE:

Site Visit Inspection for Closed facility

INSPECTION PARTICIPANTS:

Principal Inspector: Kelly M. Honey, Inspector

Other Participants: No one available at the time of the site visit, N/A

LATITUDE / LONGITUDE: Lat 28° 4' 19.2629" / Long 82° 21' 33.4788"

SIC CODE:

TYPE OF OWNERSHIP: Private

Introduction:

A site visit was performed at this location. Kaset International no longer exists. It merged with another company in 2002 to become Achieve Global, which designs and provides employee and executive training programs to companies worldwide.

Summary of Potential Violations and Areas of Concern:

Potential Violations

No Violations

Areas of Concern

No Areas of Concern

Conclusion:

Kaset International no longer exists. It merged with another company in 2002 to become Achieve Global, which designs and provides employee and executive training programs to companies worldwide.

Inspection Date: 04/26/2012

Signed:

A hazardous waste compliance inspection was conducted on this date, to determine your facility's compliance with applicable portions of Chapters 403 & 376, F.S., and Chapters 62-710, 62-730, 62-737, & 62-740 Florida Administrative Code (F.A.C.). Portions of the United States Environmental Protection Agency's Title 40 Code of Federal Regulations (C.F.R.) 260 - 279 have been adopted by reference in the state rules under Chapters 62-730 and 62-710, F.A.C. The above noted potential items of non-compliance were identified by the inspector(s).

This is not a formal enforcement action and may not be a complete listing of all items of non-compliance discovered during the inspection.

Kelly M. Honey _____

PRINCIPAL INSPECTOR NAME

Inspector _____

PRINCIPAL INSPECTOR TITLE



PRINCIPAL INSPECTOR SIGNATURE

4/26/2012 _____

DATE

No one available at the time of the site visit _____

REPRESENTATIVE NAME

N/A _____

REPRESENTATIVE TITLE

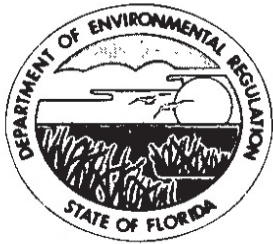
NO SIGNATURE _____

REPRESENTATIVE SIGNATURE

N/A _____

ORGANIZATION

NOTE: By signing this document, the Site Representative only acknowledges receipt of this Inspection Report and is not admitting to the accuracy of any of the items identified by the Department as "Potential Violations" or areas of concern.



Florida Department of Environmental Regulation

Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

Bob Martinez, Governor

Dale Twachtmann, Secretary

John Shearer, Assistant Secretary

12-03-90

UDO MALDOFF, PURCHASING AGENT
KASET INTERNATIONAL
8875 HIDDEN RIVER PKWY
TAMPA FL 33637

The Hazardous Waste Management Program has reviewed your application for a hazardous waste DER/EPA I.D. Number. Based on the information received you have been issued the following identification number for the facility at 8875 HIDDEN RIVER PKWY, TAMPA

Facility ID # FLD984184853
Your facility status is the following:

Small quantity generator.

Florida Administrative Code rule 17-730 requires all large quantity generators of hazardous waste and all hazardous waste treatment, storage, or disposal facilities to file a biennial report of their hazardous waste activities with DER. You must comply with this rule concerning the filing of a biennial report by March 1 for the preceding odd-numbered year. The report forms will be sent to the contact person. Businesses that generate less than 1000 kilograms of hazardous waste per month (small quantity generators) are not subject to these reporting requirements.

If any of the information on the Hazardous Waste activity form changes, please notify us in writing at the letterhead address. For further assistance, please call 904/488-0300.

Sincerely,

Michael X. Redig
Environmental Supervisor II
Hazardous Waste Management Section

cc: Dave Gray - EPA/Region IV
DER/Tampa
GMS-ID # 4029P01509

4029 PD1509

Please print or type with ELITE type (12 characters per inch) in the unshaded areas only

Form Approved OMB No. 2060-0047 EPA Form 8700-107-0101

Please refer to the instructions for Filing Notification before completing this form. The information requested here is required by law (Section 3010 of the Resource Conservation and Recovery Act).



Notification of Regulated Waste Activity

United States Environmental Protection Agency

Date Received (For Official Use Only)

11/8/90

I. Installation's EPA ID Number (Mark 'X' in the appropriate box)

<input checked="" type="checkbox"/> A. First Notification	<input type="checkbox"/> B. Subsequent Notification (complete item C)	C. Installation's EPA ID Number FLD989184853
---	---	---

II. Name of Installation (Include company and specific site name)

KASET INTERNATIONAL

III. Location of Installation (Physical address not P.O. Box or Route Number)

Street

8875 HIDDEN RIVER PKWY

Street (continued)

City or Town

TAMPA

State

FL

ZIP Code

33637

County Code County Name

0574 FCLSBOROUGH

IV. Installation Mailing Address (See instructions)

Street or P.O. Box

SAME

City or Town

State

ZIP Code

V. Installation Contact (Person to be contacted regarding waste activities at site)

Name (last)

MALDOFF

(first)

UDO

Job Title

PURCHASING AGENT

Phone Number (area code and number)

813-977-8875

VI. Installation Contact Address (See instructions)

A. Contact Address Location Mailing

B. Street or P.O. Box

City or Town

State

ZIP Code

VII. Ownership (See instructions)

A. Name of Installation's Legal Owner

TIMES MIRROR CO

Street, P.O. Box, or Route Number

TIMES MIRROR SQUARE

City or Town

LAS ANGELES

State

CA

ZIP Code

90053

Phone Number (area code and number)

213-237-3727

B. Land Type

P

C. Owner Type

P

D. Change of Owner Indicator

Yes No

(Date Changed) Month Day Year

RECEIVED

Please print or type with ELITE type (12 characters per inch) in the unshaded areas only

Form Approved OMB No. 2050-0028 Expires 10-31-91
GSA No. 0246 EPA 07

NOV 8 1990

ID - For Official Use Only

VIII. Type of Regulated Waste Activity (Mark 'X' in the appropriate boxes. Refer to instructions.)

A. Hazardous Waste Activity

B. Used Oil Fuel Activities

1. Generator (See Instructions)

a. Greater than 1000kg/mo (2,200 lbs.)

b. 100 to 1000 kg/mo (220 - 2,200 lbs.)

c. Less than 100 kg/mo (220 lbs.)

2. Transporter (Indicate Mode in boxes 1-5 below)

a. For own waste only

b. For commercial purposes

Mode of Transportation

1. Air

2. Rail

3. Highway

4. Water

5. Other - specify _____

3. Treater, Storer, Disposer (at installation)
Note: A permit is required for this activity; see instructions

4. Hazardous Waste Fuel

a. Generator Marketing to Burner

b. Other Marketers

c. Burner - indicate device(s) - Type of Combustion Device

1. Utility Boiler

2. Industrial Boiler

3. Industrial Furnace

5. Underground Injection Control

1. Off-Specification Used Oil Fuel

a. Generator Marketing to Burner

b. Other Marketer

c. Burner - indicate device(s) - Type of Combustion Device

1. Utility Boiler

2. Industrial Boiler

3. Industrial Furnace

2. Specification Used Oil Fuel Marketer (or On-site Burner) Who First Claims the Oil Meets the Specification

IX. Description of Regulated Wastes (Use additional sheets if necessary)

A. Characteristics of Nonlisted Hazardous Wastes. Mark 'X' in the boxes corresponding to the characteristics of nonlisted hazardous wastes your installation handles. (See 40 CFR Parts 261.20 - 261.24)

1. Ignitable (D001) 2. Corrosive (D002) 3. Reactive (D003) 4. EP Toxic (D000)

(List specific EPA hazardous waste number(s) for the EP Toxic contaminant(s))

D	0	1	1								
---	---	---	---	--	--	--	--	--	--	--	--

B. Listed Hazardous Wastes. (See 40 CFR 261.31 - 33. See instructions if you need to list more than 12 waste codes.)

1	2	3	4	5	6
7	8	9	10	11	12

C. Other Wastes. (State or other wastes requiring an I.D. number. See instructions.)

1	2	3	4	5	6

X. Certification

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment.

Signature: [Signature] Name and Official Title (type or print): Director of Purchasing Date Signed: 11/5/90

XI. Comments

[Blank area for comments]

Note: Mail completed form to the appropriate EPA Regional or State Office. (See Section III of the booklet for addresses.)

DRAFT

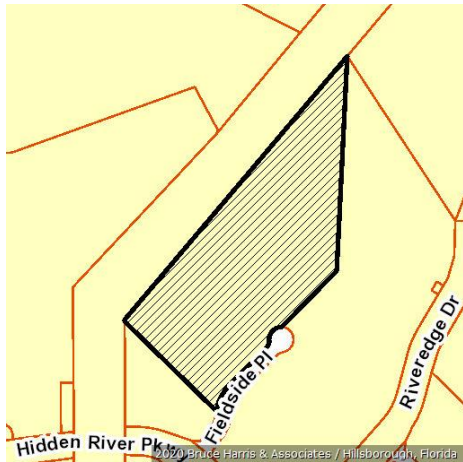
Site 90



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 034776-0542



Owner Information

Owner Name	FIELDSTIDE INVESTORS LLC
Mailing Address	PO BOX 1368 CARLSBAD, CA 92018-1368
Site Address	14014 E FIELDSTIDE PL, TAMPA
PIN	A-01-28-19-1EM-000000-00016.1
Folio	034776-0542
Prior PIN	
Prior Folio	034765-0000
Tax District	TA - TAMPA
Property Use	1710 OFFICE 1 STY A
Plat Book/Page	66/3
Neighborhood	216001.00 Tampa Palms South Area
Subdivision	1EM HIDDEN RIVER CORPORATE PARK PHASE I

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$7,376,000	\$7,376,000	\$0	\$7,376,000
Public Schools	\$7,376,000	\$7,376,000	\$0	\$7,376,000
Municipal	\$7,376,000	\$7,376,000	\$0	\$7,376,000
Other Districts	\$7,376,000	\$7,376,000	\$0	\$7,376,000

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
8713	1052	08	1997	WD	Qualified	Improved	\$8,410,000
7876	0822	08	1995	WD	Unqualified	Vacant	\$100
7617	1726	12	1994	CT	Unqualified	Vacant	\$1,000

Building Information

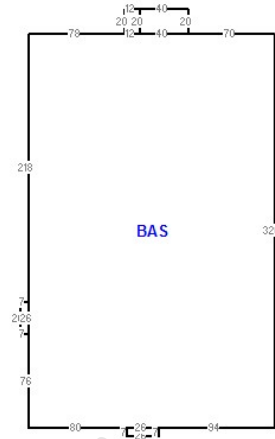
Building 1

Type 49 | OFFICE <3 STORY

Year Built 1996

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	18.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	64,000	64,000	\$6,046,976
USP	800		\$30,235
CNB	240		\$2,268
CAN	182		\$5,197
CAN	182		\$5,197
Totals	65,404	64,000	\$6,089,873

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	1	1996	0	0	145,227.00	\$200,762
0640	UTILITY CB	1	1996	0	0	375.00	\$7,882
0520	CANOPY	1	1997	12	20	240.00	\$2,203
0820	BRIDGE PEDESTRIAN	1	1997	0	0	705.00	\$40,456
0060	CONCRETE PAVEMENT	1	2005	0	0	1,340.00	\$5,163

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE3	Comm Class 5	PD	0.0	0.0	SF SQUARE FEET	332,114.40	\$1,914,307
9610	LOWLANDS	PD	0.0	0.0	AC ACREAGE	3.71	\$2,782
9400	RIGHT-OF-WAY	PD	0.0	0.0	AC ACREAGE	0.51	\$255

Legal Description

HIDDEN RIVER CORPORATE PARK PHASE I PART OF LOT 16 ALL OF LOT 17 AND PART OF LOT 18 DESC AS COMM AT SW COR OF SD LOT 16 RUN N 00 DEG 08 MIN 13 SEC W 420.36 FT FOR A POB THN N 40 DEG 07 MIN 42 SEC E ALG WLY BDY LOTS 16 17 AND 18 1349.76 FT TO MOST NLY COR LOT 18 THN S 02 DEG 48 MIN 43 SEC W 842.28 FT N 36 DEG 10 MIN 56 SEC W 36.25 FT N 28 DEG 57 MIN 24 SEC W 40.99 FT S 44 DEG 26 MIN 08 SEC W 363 FT S 45 DEG 33 MIN 52 SEC E 113.94 FT TO SE COR LOT 17 S 44 DEG 26 MIN 08 SEC W 278 FT S 24 DEG 56 MIN 08 SEC W 103.96 FT N 45 DEG 33 MIN 52 SEC W 526.72 FT TO WLY BDY OF LOT 16 THN N 00 DEG 08 MIN 13 SEC W 7.09 FT TO POB



Florida Department of Environmental Protection
Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DER Form # 17-701.85(2)
Form Title Storage Tank Registration Form
Effective Date December 10, 1990
RECEIVED
(Filed in by DER)

Storage Tank Registration Form NOV 13 1996

Please Print or Type - Review Instructions Before Completing Form
Environmental Management Division

EPC

907

1. DER Facility ID Number: 29/ 9701018 Facility Type: OFFICE / EZ
 3. New Registration New Owner Data Facility Revision Tank Revision
 4. County and Code of tank(s) location: Hillsborough 29

5. Facility Name: HIDDEN OAKS ONE
 Tank(s) Address: 14014 Fieldside Place Lot 17
 City/State/Zip: TAMPA, Florida 33637
 On Site Manager/Contact: JOE ALAMEDA On Site Telephone: (407) 397 3783

6. Financial Responsibility Type: _____

7a. Tank(s) Owner: SPV REAL ESTATE PARTNERS, #1 L.E. Account Owner Number: 46380
 Owner Mailing Address: 101 EAST KENNEDY SUITE 4000
 City/State/Zip: TAMPA, FL 33602
 Contact Person: BILL KNIGHT Telephone: (813) 274-8000

7b. New Owner Signature/Change Date: _____

8. Location (optional) Latitude: _____ Longitude: _____ Section _____ Township _____ Range _____

Complete One Line For Each Tank At This Facility (Use Codes - See Instructions)

Complete 9 - 16 for tanks in use; 9 - 19 for tanks out of use

9	10	11	12	13	14	15	16	17	18	19
1	2000	G	11/96	A	MPR CRMP	ABI	FL			

RECEIVED
 DER
 SEP - 2 PM '96

20. ADAMS Tank & HIFT, INC DPR# PCC050767
 Certified Contractor Department of Professional Regulation License Number*

*For new tank installation or tank removal

To the best of my knowledge and belief all information submitted on this form is true, accurate and complete.

DAVID K. PRIVE/AGENT
Print name & title of owner or authorized person

David K. Prive
Signature

11-4-96
Date

May 04, 2007

Account owner:

JULIE PALMER-NICHOLSON
100 N TAMPA ST SUITE 2135
TAMPA, FL 33602-

Tank owner:

JULIE PALMER-NICHOLSON
100 N TAMPA ST SUITE 2135
TAMPA, FL 33602-

Chapter(s) 62-761/762, FAC Non-Compliance Letter
HIDDEN OAKS ONE
14014 FIELDSIDE PL #17
TAMPA, FL33637-
DEP Facility # 9701018
HILLSBOROUGH County - Regulated Storage Tanks

Dear JULIE PALMER-NICHOLSON

The HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (County) is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in HILLSBOROUGH County. On 2007-05-04 an inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may be in violation of the rules cited below. The following noncompliance items require your attention:

New Violations found during Site Inspection Activity

Significance: **SNC-B**

Explanation: **Financial Responsibility information not available on site.**

Violation Text: **No financial responsibility**

Rule: 62-762.401(3)(a)1.

The owner or operator of a facility, or individual tanks, if of different ownership, shall demonstrate financial responsibility to the Department. If the owner and operator of a tank are separate persons, only one person is required to demonstrate financial responsibility. However, both persons are liable in event of noncompliance. Financial responsibility is only required for tanks containing petroleum or petroleum products. Financial responsibility is the ability to pay for corrective action and third-party liability resulting from a discharge at the facility.

Corrective Action: **Pollution liability insurance policy (declarations page and list of covered tanks) must be submitted to EPC.**

Significance: Minor

Explanation: Certification of Financial Responsibility form not available on site.

Violation Text: Records requiring 2 year documentation period not kept by facility.

Rule: 62-762.711(2)(a)

Measurements and reconciliations of inventory, as applicable;

Corrective Action: Completed Certification of Financial Responsibility form must be submitted to EPC.

Rule: 62-762.711(2)(b)

Repair, operation, and maintenance records;

Rule: 62-762.711(2)(c)

Release detection results, including electronic test results, regardless of the frequency, and monthly visual inspections performed in accordance with paragraph 62-762.641(2)(e), F.A.C. The presence of a regulated substance's odor, sheen, or free product shall be recorded for each sampling event;

Rule: 62-762.711(2)(d)

Release detection response level descriptions;

Rule: 62-762.711(2)(e)

A copy of all test data and results gathered during tightness tests, pressure tests, and breach of integrity tests, and the name and type of the test approved under Rule 62-762.851, F.A.C.;

Rule: 62-762.711(2)(f)

Certification of Financial Responsibility on Form 62-761.900(3);

Rule: 62-762.711(2)(g)

Records of types of fuels stored per tank; and

Rule: 62-762.711(2)(h)

The repair or replacement of gaskets, valve packings, valves, flanges, and connection/disconnection fittings for bulk product piping if the repair or replacement is performed in response to a discharge or loss of regulated substances.

Significance: Minor

Explanation: Areas of rust noted on piping.

Violation Text: AST system exterior coating does not meet standards.

Rule: 62-762.501(1)(b)

Exterior coatings. Exterior portions of aboveground tanks and aboveground integral piping, excluding double-walled systems, shall be coated or otherwise protected from external corrosion. The coating shall be designed and applied to resist corrosion, deterioration, and degradation of the exterior wall. SSPC-PA 1, Paint Application Specification No. 1 may be used to protect storage tank systems from external corrosion.

Corrective Action: Leaves must be cleared away from piping and areas of rust repainted.

This facility may not be operating in compliance with FAC Chapter(s) 62-761/762, standards. Any noncompliance items should be corrected immediately. Please provide a written response to this office within 30 calendar days upon receipt of this letter and provide documentation to show that the issues addressed in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of FAC Chapter(s) 62-761/762 may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

If you have any questions you may contact me at the letterhead address or telephone number.

Sincerely,

ANDREA MURLEY

Storage Tank Compliance Inspector

DRAFT

RE: Non Compliance Letter

Additional Notes:

My direct phone number is (813) 627-2600 Ext. 1228.

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9701018 County: HILLSBOROUGH Inspection Date: 05/01/2008
Facility Name: HIDDEN OAKS ONE Facility Type: C - Fuel user/Non-retail
14014 FIELDSIDE PL #17 # Of Inspected ASTs: 1
TAMPA, FL 33637 USTs: 0
Latitude: 28° 4' 36.0539" Mineral Acid Tanks: 0
Longitude: 82° 21' 29.976"
L/L Method: DPHO

Inspection Result

Result : Major Out of Compliance
Description: Facility is out of compliance

A re-inspection will be scheduled on or after 90 days to verify correction of the non-compliance items noted.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: ALAMEDA INSURANCE COMPANY
Effective Date: 03/31/2007 Expiration Date: 03/31/2010

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

ANDREA MURLEY

Inspector Name

Inspector Signature

(813) 627-2600

Storage Tank Program Office Phone Number

e mailed to Julie Palmer-Nicholson cc: David Amato

Facility Representative Name

No signature available

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
-----------	----------	----------------	--------

Completed Tests

Annual Operability Test	11/07/2006	04/24/2007	Passed
-------------------------	------------	------------	--------

Overdue Tests

Annual Operability Test	04/24/2008		
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Reviewed Records

Record Category	Record Type	From Date	To Date
Two Years	Certificate of Financial Responsibility	03/31/2007	03/31/2010
Life Time	Written Release Detection Response Level Info	05/01/2008	05/01/2008

New Violations

Significance Name: Minor

Rule Number(s): 62-762.401(2)(a)1.a., 62-762.401(2)(a)1.b.

Violation Text: Registration fees not paid.

Explanation: Storage tank registration fees are not paid.

Corrective Action: Storage tank registration fees must be paid. Contact DEP Registration (850) 245-8839 if a new invoice is needed.

Significance Name: Minor

Rule Number(s): 62-762.401(2)(a)6.

Violation Text: Registration placard is not displayed in plain view.

Explanation: Current registration placard not on site.

Corrective Action: Current registration placard must be posted at facility, copy must be submitted to EPC.

Significance Name: Minor

Rule Number(s): 62-762.711(2)(a), 62-762.711(2)(b), 62-762.711(2)(c), 62-762.711(2)(d), 62-762.711(2)(e), 62-762.711(2)(f), 62-762.711(2)(g), 62-762.711(2)(h)

Violation Text: Records requiring 2 year documentation period not kept by facility.

Explanation: List of tanks covered under the Alameda pollution liability insurance policy was not available on site.

Corrective Action: List of tanks covered under the Alameda pollution liability insurance policy must be submitted to EPC.

Significance Name: Minor

Rule Number(s): 62-762.701(1)(c)3.

Violation Text: Release detection devices not tested annually.

Explanation: Documentation of annual operability test of interstitial sensor not available on site.

Corrective Action: Work order from TAW indicating recent wiring repair and test of the tank interstitial sensor must be submitted to EPC.

Significance Name: **SNC-B**

Rule Number(s): **62-762.601(1)(d)**

Violation Text: **Release detection not performed at least once a month.**

Explanation: **Monthly visual inspection log, including tank system and components, sensor status, and audible/visual alarm test was not available 05/07 to present.**

Corrective Action: **First monthly visual inspection log, including tank system and components, sensor status, and audible/visual alarm test must be submitted to EPC.**

Inspection Comments

05/01/2008 05/01/08 -AM - Met on site with David Amato and Julie Palmer-Nicholson for compliance inspection.

Release Detection: Visual inspections of AST system components and electronic monitoring of tank interstice. Warrick interstitial sensor DEP EQ-316 monitored by Warrick control panel located on wall next to tank. Normal light on, no alarms noted. Audible/visual alarm checked, appears functional. Labels indicate Alarm #1 is the interstitial leak alarm and Alarm #2 is low product alarm. Labels are fading, recommend relabeling.

Tank/Piping:

2,000 gallon double walled Convault AST located on concrete slab, concrete walls surround tank and generator.

Tank contains emergency generator diesel and is equipped with:

-Diesel label

-Krueger sight gauge visible from fill. Operator states sight gauge is not accurate (currently shows $\frac{3}{4}$ full but tank is actually full according to operator). Manual Gauging is used as overfill protection according to operator. Convault gauge stick (indicating gallons) is on site. Highly recommend replacing sight gauge (Web Site www.ksentry.com).

-Normal and emergency venting

-Spill containment bucket

-Interstitial sensor

-Coated, steel aboveground supply and return lines dip below fuel level to generator next to tank. Very slight areas of rust noted on underside of piping, must be repainted prior to next compliance inspection.

-Supply line is equipped with an antisiphon valve installed downstream from a manual isolation valve at the top of the tank.

-Electrical grounding at piping within generator housing.

Generator area checked, no obvious leakage noted at tank or generator.

Records:

-Current registration placard not available. DEP database indicates fees are not paid. Registration fees must be paid and current placard posted at facility. Contact DEP Registration (850) 245-8839 for a new invoice if needed.

-Storage Tank Registration Form updated by Julie Palmer-Nicholson in order to correct owner address.

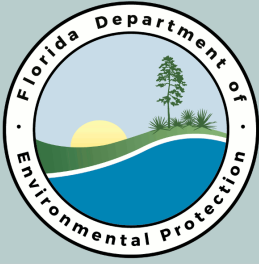
-Financial Responsibility: Alameda Insurance Company, 03/31/07 to 03/31/10. List of covered tanks not available on site, must be submitted to EPC.

-Certification of Financial Responsibility on file, corrected to show Alameda Insurance (not The Walt Disney World Co.) as Issuer.

-Annual operability test of interstitial sensor performed by Tampa Armature Works, Inc. (TAW) on 04/24/07, next test was due 04/24/08. Operator states TAW was on site a few weeks ago due to a wiring problem which caused an alarm on the Warrick panel. Operator states TAW was on site the same day to investigate, repair the wiring, and perform operability test on interstitial sensor. Work order must be submitted to EPC.

-Monthly visual inspection log, including tank system and components, sensor status and audible/visual alarm was not available 05/07 to present. According to David Amato, this was due to a change in personnel, Julian Laird left 10/07 and Mr. Amato started 11/07. Monthly visual inspection requirements reviewed with new operator, log form left on site. First monthly visual inspection log must be submitted to EPC.

-Release Detection Response Level statement left with operator (present, complete, and accurate).



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9701018 County: HILLSBOROUGH Inspection Date: 04/15/2016
Facility Type: C -Fuel user/Non-retail
Facility Name: DISNEY RESERVATION CTR-FIELDSIDE INVESTORS LLC # Of Inspected ASTs: 1
14014 FIELDSIDE PL #17 USTs: 0
TAMPA, FL 33637 Mineral Acid Tanks: 0
Latitude: 28° 4' 36.0539"
Longitude: 82° 21' 29.976"
LL Method: DPHO

Inspection Result:

Result : Major Out of Compliance
Description: Facility is Major Out of Compliance.

Financial Responsibility

Over Due

Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFICER
Effective Date: 09/19/2013 Expiration Date: 01/31/2014

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Austin J Alexander
INSPECTOR NAME

INSPECTOR SIGNATURE

Emailed to Michelle Cummings
REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

Facility ID: 9701018

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
------	----------------	---------	----------	---------------	---------

Completed Tests

Annual Operability Test	02/02/2016	Passed	04/28/2016	02/02/2017	By TAW
Annual Operability Test	02/10/2014	Passed	04/28/2016	02/10/2015	By TAW

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	04/21/2014	04/15/2016	
Life Time	Written Release Detection Response Level Info	04/15/2016	04/15/2016	
Two Years	Electronic Release Detection Equip. Monthly Checks	04/21/2014	04/15/2016	

New Violations

Type: Violation
Significance: **SNC-B**
Rule: **62-762.401(3)(a)1.**
Violation Text: **No financial responsibility**
Explanation: **Financial Responsibility for 2015-2016 and 2016-2017 not available for review.**
Corrective Action: **Immediately obtain an acceptable Financial Responsibility mechanism and submit documentation to EPC.**

Type: Violation
Significance: Minor
Rule: 62-762.711(2)(h), 62-762.711(2)(g), 62-762.711(2)(f), 62-762.711(2)(e), 62-762.711(2)(d), 62-762.711(2)(c), 62-762.711(2)(b), 62-762.711(2)(a)
Violation Text: Records requiring 2 year documentation period not kept by facility.
Explanation: Certificate of Financial Responsibility Form not available for 2015-2016 and 2016-2017.
Corrective Action: Upon obtaining Financial Responsibility, complete a Certificate of Financial Responsibility Form and submit a copy to EPC.

Type: Violation
Significance: Minor
Rule: 62-762.701(1)(c)3.

Facility ID: 9701018

Violation Text: Release detection devices not tested annually.

Explanation: Annual operability test of the tank's interstitial sensor was not performed in 2015. Operator must ensure that operability test of interstitial sensor is performed once per year.

Corrective Action: Operability test of the tank's interstitial sensor was performed on 2/2/16 with passing results. The violation is now closed. No further action required.

Inspection Comments

04/15/2016

04/15/2016 – AA/TCI - Met on site with Michelle Cummings of CBRE and Bob Bennefield of Disney for the routine compliance inspection.

RELEASE DETECTION:

- Visual inspections of storage tank system and components.
- Electronic monitoring of tank interstice.
- Warrick interstitial sensor (DEP EQ# 316) monitored by Warrick control panel located on wall next to tank.
- Normal light on, no alarms noted.
- Audible/visual alarm checked – Audible alarm is functional, visual is not functional. Recommend repairing.
- Labels indicate Alarm #1 is the interstitial leak alarm.

TANK: 2,000 gallon double walled Convault AST containing emergency generator diesel fuel and associated above ground single walled coated steel piping. Tank is located on concrete slab within concrete walls and is equipped with:

- Normal and emergency venting.
- Product label: Diesel.
- Spill containment bucket- appeared dry and intact.
- Overfill Protection: Krueger sight gauge visible from fill.
- Interstitial sensor.
- Exterior coating on tank appeared to be in good condition.
- Supply line is equipped with an anti-siphon valve installed downstream from a manual isolation valve at the top of the tank.
- Piping appeared to be in good condition.
- Electrical grounding.

No obvious signs of leakage noted.

RECORDS:

- Current registration placard on site: 1 tank.
- Financial Responsibility for 2015-2016 and 2016-2017 not available for review. Immediately obtain an acceptable Financial Responsibility mechanism and submit documentation to EPC.
- Certificate of Financial Responsibility Form not available for 2015-2016 and 2016-2017. Upon obtaining Financial Responsibility, complete a Certificate of Financial Responsibility Form and submit a copy to EPC.
- Release Detection Response Level Statement present, complete and accurate.
- Monthly monitoring records reviewed and include:
 - Visual inspections of tank system and components.
 - Alarm panel status.
 - Audible/visual alarm checks.
- No problems noted.
- Inspections performed within 35 days.
- Annual operability test of the tank's interstitial sensor was not performed in 2015. Operator must ensure that operability test of interstitial sensor is performed once per year. Operability test of the tank's interstitial sensor was performed on 2/2/16 with passing results. The violation is now closed. No further action required.

Facility ID: 9701018

Inspection Comments

Inspection Photos

Added Date 04/28/2016

2016-04-15 Site photo



Added Date 04/28/2016

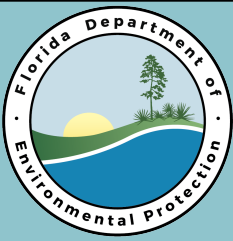
2016-04-15 Tank enclosure



Added Date 04/28/2016

2016-04-15 Tank





Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
 Division of Waste Management
 Petroleum Storage Systems
 Storage Tank Facility Routine Compliance Site Inspection Report

Facility Information:

Facility ID: 9701018 County: HILLSBOROUGH Inspection Date: 08/16/2018
 Facility Type: C - Fuel user/Non-retail
 Facility Name: DISNEY RESERVATION CTR-FIELDSIDE # of Inspected ASTs: 1
 14014 FIELDSIDE PL #17 USTs: 0
 TAMPA, FL 33637 Mineral Acid Tanks: 0
 Latitude: 28° 4' 36.0539"
 Longitude: 82° 21' 29.976"
 LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Cody R Winter

Emailed to Michelle Cummings on 08-29-2018

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: ACE AMERICAN INSURANCE COMPANY

Effective Date: 06/16/2018

Expiration Date: 06/16/2019

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	02/02/2016	Passed	04/28/2016	02/02/2017	By TAW
Annual Operability Test	02/07/2017	Passed	08/29/2018	02/07/2018	Release Detection Performed by TAW
Annual Operability Test	04/21/2018	Passed	08/29/2018	04/21/2019	Release Detection Performed by TAW

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	06/16/2017	06/16/2018	
Two Years	Monthly Maint. Visual Examinations and Results	08/19/2016	07/23/2018	
Two Years	Electronic Release Detection Equip. Monthly Checks	08/19/2016	07/23/2018	
Two Years	Certificate of Financial Responsibility	06/16/2018	08/16/2018	

New Violations

Type: **Violation**

Significance: **SNC-B**

Rule: **62-762.501(2)(e), 62-762.501(2)(e)1., 62-762.501(2)(e)2., 62-762.501(2)(e)2.a., 62-762.501(2)(e)2.b., 62-762.501(2)(e)2.c., 62-762.501(2)(e)2.d., 62-762.501(2)(e)3.**

Violation Text: **Failure to provide approved overfill protection for shop fabricated tank systems.**

Explanation: **Overfill operability test not performed prior to January 11th, 2018.**

Corrective Action: **Immediately conduct operability testing on all approved overfill protection devices and submit testing to EPC for review.**

Type: Violation

Significance: Minor

Rule: 62-762.601(7)

Violation Text: Shop fabricated storage tank system release detection devices not tested annually.

Explanation: Annual operability testing of the release detection device not performed before due date of 02-07-2018.

Corrective Action: Annual operability test of release detection device performed late on 04/21/2018. Reminded operator that operability testing must be performed annually on or before the next due date. Violation has been closed, no further action required.

Inspection Comments

08/16/2018

08-06-2018 CRW&KJ&AM/TCI Met on-site with Bob Bennefield of Lincoln Property Company for the routine compliance inspection of the tank system and components.

Release Detection:

- Visual inspections of tank system and components.
 - Electronic monitoring of tank interstice using Warrick control panel located on wall next to tank.
 - Audible/visual alarm tested, appeared functional.
- No current alarms noted.
Panel does not have printing capabilities.

Tank: (1) 2,000 gallon double-walled Convault aboveground storage tank containing diesel fuel for emergency generator use with associated above ground single-walled coated steel piping. Tank is located on a concrete slab within concrete walls and is equipped with:

- Product label: diesel.
 - Normal and emergency venting.
 - Spill containment bucket- appeared dry and intact.
 - Overfill protection: Krueger fuel level sight gauge visible from fill.
 - Aboveground, coated steel piping leading to generator appeared in good condition.
 - Supply line is equipped with an anti-siphon valve located downstream from a manual isolation valve at the top of the tank.
 - Tank exterior appeared in good condition.
 - Electrical grounding present.
- No obvious signs of leakage noted.

Records:

- Current registration placard posted on-site: (1) tank.
- Monthly monitoring logs reviewed and include:
Visual inspections of tank system and components.
Alarm panel status.
Audible/visual alarm checks.
No problems noted.
In the event of an alarm, facility will record on monthly log.

Facility ID: 9701018

-Inspections performed within 35 days.

-Annual operability testing of the release detection device not performed before due date on 02/07/2018. Annual operability test of release detection device performed late on 04/21/2018. Reminded operator that operability testing must be performed annually on or before the next due date. Violation has been closed, no further action required.

-Overfill operability test not performed prior to January 11th, 2018. Immediately conduct operability testing on all approved overfill protection devices and submit testing to EPC for review. If all overfill protection devices are not tested, a placard must be added near the fill indicating which approved device is designated as the primary means of overfill protection.

Inspection Photos

Added Date 08/27/2018

2018-08-16 Tank Containment Photo



Added Date 08/27/2018

2018-08-16 Tank Photo



COMMISSION

Lesley "Les" Miller, Jr., Chair
Victor D. Crist, Vice-Chair

Ken Hagan
Al Higginbotham
Pat Kemp
Sandra L. Murman
Stacy White



EXECUTIVE DIRECTOR

Janet L. Dougherty

DIVISION DIRECTORS

Richard Tschantz, Esq.
Andy Schipfer, P.E.
Hooshang Boostani, P.E.
Jerry Campbell, P.E.
Sam Elrabi, P.E.

09/20/2018

Michelle Cummings
Disney Reservation Center- Fieldside Investors LLC
14014 Fieldside Pl #17
Tampa, FL 33637

RE: Return to Compliance

Disney Reservation Center- Fieldside Investors LLC, 14014 Fieldside Pl #17, Tampa
DEP Facility ID#: 29/9701018
Hillsborough County – Storage Tanks

Dear Michelle:

The Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection, will not need to issue another Compliance Assistance Offer letter to the above-referenced facility. Based on the documentation provided on 09/17/2018, the facility was determined to have returned to compliance with the Department's Storage Tank rules and regulations.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Cody Winter at 813-627-2600, ext. 1429 and/or winterc@epchc.org.

Sincerely,

Cody Winter

Environmental Scientist I

COMMISSION

Lesley "Les" Miller, Jr., Chair
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09/20/2018

Michelle Cummings
Disney Reservation Center- Fieldside Investors LLC
14014 Fieldside Pl #17
Tampa, FL 33637

RE: Return to Compliance

Disney Reservation Center- Fieldside Investors LLC, 14014 Fieldside Pl #17, Tampa
DEP Facility ID#: 29/9701018
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Sincerely,

Cody Winter

Environmental Scientist I

DRAFT

Site 91



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Noah Valenstein
Secretary

February 20, 2018

Sonia Torres
RIPA & ASSOCIATES LLP
1409 Tech Blvd Ste 1
Tampa, FL 33619 7830

RE: Facility ID: FLR20BX54-001
Tampa Palms
County: Hillsborough

Dear Permittee:

The Florida Department of Environmental Protection has received and processed your *Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities and Dewatering Operations* (NOI) and the accompanying processing fee. This letter acknowledges that:

- your NOI is complete;
- your processing fee is paid-in-full; and
- you are covered under the *Generic Permit for Stormwater Discharge from Large and Small Construction Activities and Dewatering Operations from Large and Small Construction Activities and Dewatering Operations* (CGD), DEP Document No. 62-621.300(4)(a).

Your project identification number is **FLR20BX54-001**. Please include this number on all future correspondence to the department regarding this permit.

This letter is **not** your permit; however, this letter does serve as **verification of permit coverage**. A copy of the permit language is available online at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04265> or by contacting the NPDES Stormwater Notices Center.

Your permit coverage becomes effective **February 23, 2018** and will expire **February 22, 2023**. To terminate your coverage prior to this expiration date, you must file a *National Pollutant Discharge Elimination System (NPDES) Stormwater Notice of Termination*, DEP Form 62-621.300(6) (NOT). An NOT must be filed within 14 days of either (a) your final stabilization of the site or (b) your relinquishment of control of the construction activities to a new operator. Terminating coverage under the CGP will also

terminate your dewatering operations. You may not exclusively terminate dewatering operation under this form.

To renew your coverage beyond the expiration date, you must submit a new NOI and processing fee to the department no later than two days before coverage expires.

Until your permit coverage is terminated, modified, or revoked, you are authorized to discharge stormwater from the construction site referenced in your NOI to surface waters in accordance with the terms and conditions of the CGD. Some key conditions of the CGD are:

- implementation of your stormwater pollution prevention plan (SWPPP);
- implementation of appropriate construction and dewatering best management practices (BMPs);
- conducting and documenting routine inspections; and
- retaining all records required by the permit (including your SWPPP) at the construction site or the alternate location specified in your NOI.

Projects that discharge stormwater associated with construction activity to a municipal separate stormwater system (MS4) shall submit a copy of the NOI or the Acknowledgement Letter within 7 days of receipt to the operator of the MS4.

If you have any questions concerning this Acknowledgment Letter, please contact the NPDES Stormwater Notices Center at (866) 336-6312 or NPDES-stormwater@dep.state.fl.us.

Sincerely,

NPDES Stormwater Program
Florida Department of Environmental Protection

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;

- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the department's action may also request an extension of time to file a petition for an administrative hearing. The department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

**Florida Department of
Environmental Protection**

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Noah Valenstein
Secretary

Receipt for Submission

For:
Sonia Torres

Facility ID: **FLR20BX54**

Facility Address: **3211 English Hollow Rd Tampa, FL 33647**

- Generic Permit for Stormwater Discharge Construction Activities and Dewatering Operations from non-contaminated sites (CGD)

COUNTY: **Hillsborough**

The department acknowledges receipt of your Notice of Intent (NOI) use NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities and Dewatering Operations from non-contaminated sites (CGD). The Acknowledgement Letter, a copy of your NOI and the Generic Permit are attached. Please note that within 14 calendar days after your site has achieved final stabilization and all discharges authorized by this permit are eliminated or are authorized under a separate NPDES permit, you must submit a completed Notice of Termination (NOT). For your convenience, a blank form has been attached.

For sites discharging to an MS4, the Operator must send a copy of the NOI or the Acknowledgement Letter within 7 calendar days of receipt to the operator of the MS4. If you have any questions concerning this e-mail, please contact the NPDES Stormwater Notices Center at (866) 336-6312 or NPDES-stormwater@dep.state.fl.us.

Attachments: Notice of Intent - CGP, Acknowledgement Letter, Construction Generic Permit Rule



FLORIDA DEPARTMENT OF Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor
Carlos Lopez-Cantera
Lt. Governor
Noah Valenstein
Secretary

January 3, 2019

Mark Metheny
CalAtlantic Group, Inc
4600 W Cypress St, Ste 200
Tampa, FL 33607

RE: **Facility ID: FLR10QA69**
Tampa Palms
County: Hillsborough

Dear Permittee:

The Florida Department of Environmental Protection has received and processed your request to update your *Notice of Intent to Use Generic Permit for Stormwater Discharge* (NOI). Please be advised that NPDES Stormwater permits are nontransferable. This letter only acknowledges that the following modifications have been made:

- Total land disturbance size through the completion of construction activities has been updated to 35.44 acres.

This letter serves as **verification of the permit modification completed on January 3, 2019**. Please include this project identification number **FLR10QA69** on all future correspondence to the Department regarding this permit.

Your permit coverage expires on **03/27/2021**. To terminate your coverage prior to this expiration date, you must file a *National Pollutant Discharge Elimination System (NPDES) Stormwater Notice of Termination*, DEP Form 62-621.300(6) (NOT).

To renew your coverage beyond the expiration date, you must submit a new NOI and processing fee to the Department no later than two days before coverage expires.

Until your permit coverage is terminated, modified, or revoked, you are authorized to discharge stormwater from the site referenced in your NOI to surface waters in accordance

with the terms and conditions of your permit. Key conditions include but are not limited to:

- implementation of your stormwater pollution prevention plan (SWPPP);
- conducting and documenting routine inspections or discharge monitoring; and
- retaining the records required by the permit (including your SWPPP) at the site or the alternate location specified in your NOI.

If you have any questions concerning this acknowledgment letter, please contact the NPDES Stormwater Notices Center at (866) 336-6312.

Sincerely,



Krishna Baral
NPDES Stormwater Program

DRAFT

Site 92



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Secretary

April 7, 2016

Tom Spence
CalAtlantic Group, Inc.
405 N Reo St, Ste 330
Tampa, FL 33609

RE: **Facility ID: FLR10QA69**
Tampa Palms
County: Hillsborough

Dear Permittee:

The Florida Department of Environmental Protection has received and processed your *Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities* (NOI) and the accompanying processing fee. This letter acknowledges that:

- your NOI is complete;
- your processing fee is paid-in-full; and
- you are covered under the *Generic Permit for Stormwater Discharge from Large and Small Construction Activities* (CGP), DEP Document No. 62-621.300(4)(a).

Your project identification number is **FLR10QA69**. Please include this number on all future correspondence to the Department regarding this permit.

This letter is **not** your permit; however, this letter does serve as **verification of permit coverage**. A copy of the permit language is available online at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04265> or by contacting the NPDES Stormwater Notices Center.

Facility ID: FLR10QA69

Page 2

April 7, 2016

Your permit coverage becomes effective **4/28/2016** and will expire **4/27/2021**. To terminate your coverage prior to this expiration date, you must file a *National Pollutant Discharge Elimination System (NPDES) Stormwater Notice of Termination*, DEP Form 62-621.300(6) (NOT). An NOT must be filed within 14 days of either (a) your final stabilization of the site or (b) your relinquishment of control of the construction activities to a new operator. To renew your coverage beyond the expiration date, you must submit a new NOI and processing fee to the Department no later than two days before coverage expires.

Until your permit coverage is terminated, modified, or revoked, you are authorized to discharge stormwater from the construction site referenced in your NOI to surface waters in accordance with the terms and conditions of the CGP. Some key conditions of the CGP are:

- implementation of your stormwater pollution prevention plan (SWPPP);
- implementation of appropriate construction best management practices (BMPs);
- conducting and documenting routine inspections; and
- retaining the records required by the permit (including your SWPPP) at the construction site or the alternate location specified in your NOI.

If you have any questions concerning this acknowledgment letter, please contact the NPDES Stormwater Notices Center at (866) 336-6312 (toll-free).

Sincerely,



Cierra Robinson
NPDES Stormwater Program



FLORIDA DEPARTMENT OF Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor
Carlos Lopez-Cantera
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January 3, 2019

Mark Metheny
CalAtlantic Group, Inc
4600 W Cypress St, Ste 200
Tampa, FL 33607

RE: **Facility ID: FLR10QA69**
Tampa Palms
County: Hillsborough

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- Total land disturbance size through the completion of construction activities has been updated to 35.44 acres.

This letter serves as **verification of the permit modification completed on January 3, 2019**. Please include this project identification number **FLR10QA69** on all future correspondence to the Department regarding this permit.

Your permit coverage expires on **03/27/2021**. To terminate your coverage prior to this expiration date, you must file a *National Pollutant Discharge Elimination System (NPDES) Stormwater Notice of Termination*, DEP Form 62-621.300(6) (NOT).

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Until your permit coverage is terminated, modified, or revoked, you are authorized to discharge stormwater from the site referenced in your NOI to surface waters in accordance

with the terms and conditions of your permit. Key conditions include but are not limited to:

- implementation of your stormwater pollution prevention plan (SWPPP);
- conducting and documenting routine inspections or discharge monitoring; and
- retaining the records required by the permit (including your SWPPP) at the site or the alternate location specified in your NOI.

If you have any questions concerning this acknowledgment letter, please contact the NPDES Stormwater Notices Center at (866) 336-6312.

Sincerely,



Krishna Baral
NPDES Stormwater Program

DRAFT

DRAFT

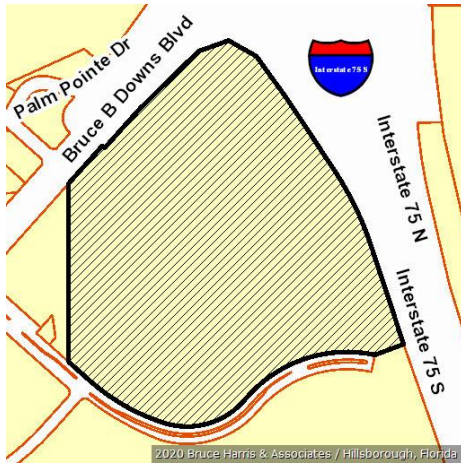
Site 93



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 034758-0802



Owner Information

Owner Name	TAMPA PALMS SHOPPING PLAZA LLC
Mailing Address	1163 US HIGHWAY 22 MOUNTAINSIDE, NJ 07092-2807
Site Address	6210 COMMERCE PALMS DR, TAMPA
PIN	A-23-27-19-83S-000000-00001.0
Folio	034758-0802
Prior PIN	A-26-27-19-ZZZ-000001-20960.0
Prior Folio	033974-0000
Tax District	TA - TAMPA
Property Use	1610 SH CTR CMMITY A
Plat Book/Page	104/161
Neighborhood	216001.00 Tampa Palms South Area
Subdivision	83S TAMPA PALMS AREA 3 PARCEL 37 AND 37A

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$27,717,100	\$27,717,100	\$0	\$27,717,100
Public Schools	\$27,717,100	\$27,717,100	\$0	\$27,717,100
Municipal	\$27,717,100	\$27,717,100	\$0	\$27,717,100
Other Districts	\$27,717,100	\$27,717,100	\$0	\$27,717,100

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15734	1775	10	2005	WD	Unqualified	Vacant	\$1,157,000
7179	1243	11	1993	QC	Unqualified	Vacant	\$3,600,000

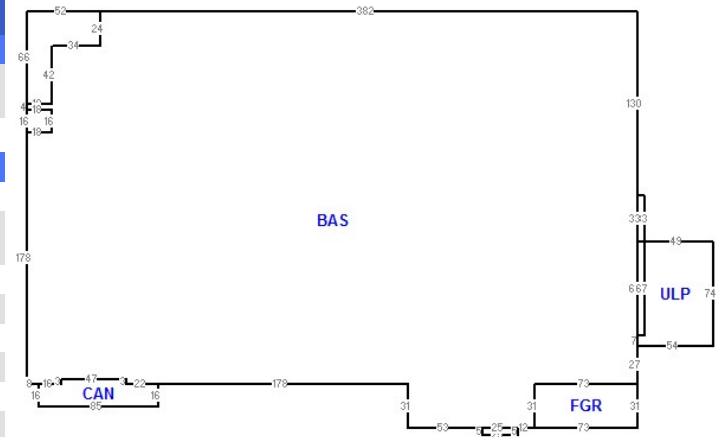
Building Information

Building 1

Type	33 WAREHSE DISC STORE
Year Built	2006

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	25.00	



Building 1 subarea

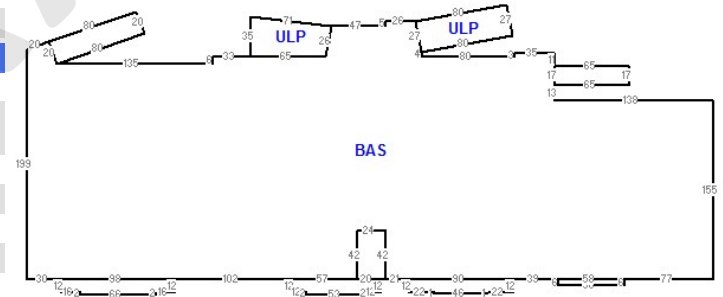
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	114,933	114,933	\$4,353,490
TWO	4,008	4,008	\$151,817
TWO	576	576	\$21,818
CAN	1,501		\$17,045
CAN	125		\$1,439
FGR	2,263		\$51,439
ULP	3,661		\$20,795
CAN	165		\$1,894
CLP	335		\$3,788
Totals	127,567	119,517	\$4,623,525

Building 2

Type	39 ANCHORED SHOP CTR
Year Built	2008

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	2	Concrete Finished
Interior Flooring	5	Wood
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	4.0	
Wall Height	24.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	110,459	110,459	\$11,938,486
ULP	1,105		\$17,941
ULP	2,203		\$35,667
ULP	2,070		\$33,505

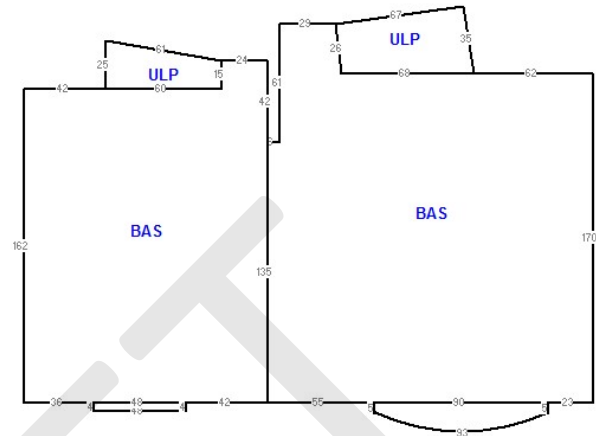
ULP	1,626		\$26,372
CAN	1,308		\$42,368
CAN	1,030		\$33,397
TWO	2,016	2,016	\$217,891
CAN	1,126		\$36,531
CAN	348		\$11,240
Totals	123,291	112,475	\$12,393,398

Building 3

Type	39 ANCHORED SHOP CTR
Year Built	2008

Building 3 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	2.0	
Wall Height	24.00	



Building 3 subarea

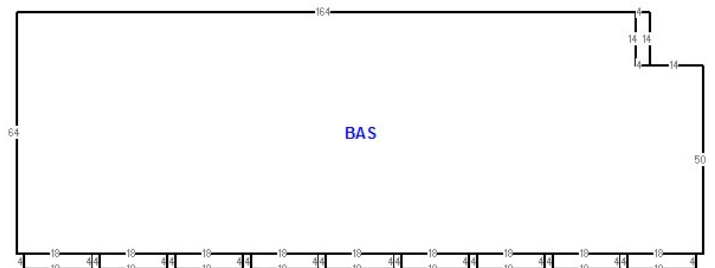
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	29,143	29,143	\$3,149,796
ULP	2,062		\$33,397
BAS	20,772	20,772	\$2,245,052
ULP	1,200		\$19,455
CAN	192		\$6,269
CAN	1,054		\$34,154
Totals	54,423	49,915	\$5,488,123

Building 4

Type	39 ANCHORED SHOP CTR
Year Built	2008

Building 4 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	2	Concrete Finished
Interior Flooring	7	Tile
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	2.0	
Wall Height	20.00	



Building 4 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	11,396	11,396	\$1,231,688

FST	56						\$3,026
CAN	72						\$2,378
CAN	72						\$2,378
CAN	72						\$2,378
CAN	72						\$2,378
CAN	72						\$2,378
CAN	72						\$2,378
CAN	72						\$2,378
CAN	72						\$2,378
CAN	72						\$2,378
Totals	12,100			11,396			\$1,256,116

Extra Features							
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	1	2007	0	0	319,993.00	\$492,124
0060	CONCRETE PAVEMENT	1	2007	0	0	7,836.00	\$24,223
0520	CANOPY	1	2007	0	0	1,440.00	\$9,870
0520	CANOPY	1	2007	0	0	120.00	\$823
0540	CANOPY GAS PUMP	1	2007	170	22	3,740.00	\$83,985
0505	ACCESSORY BUILDING	1	2007	15	10	150.00	\$5,909
0020	ASPHALT PAVING	4	2009	0	0	34,491.00	\$54,236
0060	CONCRETE PAVEMENT	4	2009	0	0	1,060.00	\$4,464
0020	ASPHALT PAVING	0	2009	0	0	374,760.00	\$589,303
0060	CONCRETE PAVEMENT	0	2009	0	0	9,410.00	\$29,721
0640	UTILITY CB	0	2012	0	0	250.00	\$7,973

Land Information							
Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE2	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	2,461,896.30	\$5,395,738
9610	LOWLANDS	PD-A	0.0	0.0	AC ACREAGE	8.95	\$6,712

Legal Description
TAMPA PALMS AREA 3 PARCEL 37 AND 37A LOT 1 LESS RD R/W

August 28, 2006

Account owner:
CAROL LEVINE, LICENSING ADMIN
MGR
ONE MERCER RD
NATICK, MA 1760-

Tank owner:
CAROL LEVINE, LICENSING ADMIN
MGR
ONE MERCER RD
NATICK, MA 1760-

Chapter(s) 62-761/762, FAC Non-Compliance Letter
BJ'S WHOLESALE CLUB
INTERSECTION BRUCE B DOWNS &
TAMPA, FL33647-
DEP Facility # 9808096
HILLSBOROUGH County - Regulated Storage Tanks

Dear CAROL LEVINE, LICENSING ADMIN MGR

The HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (County) is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in HILLSBOROUGH County. On 2006-08-28 an inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may be in violation of the rules cited below. The following noncompliance items require your attention:

New Violations found during Site Inspection Activity

Significance: **SNC-B**

Explanation: **Current tank insurance not on site at this inspection.**

Violation Text: **No financial responsibility.**

Rule: 62-761.400(3)(a)1.

The owner or operator of a facility, or individual tanks, if of different ownership, shall demonstrate financial responsibility to the Department. If the owner and operator of a tank are separate persons, only one person is required to demonstrate financial responsibility. However, both persons are liable in event of noncompliance. Financial responsibility is only required for tanks containing petroleum or petroleum products. Financial responsibility is the ability to pay for corrective action and third-party liability resulting from a discharge at the facility.

Corrective Action: **Send copy of declarations page from current tank insurance policy to EPC.**

This facility may not be operating in compliance with FAC Chapter(s) 62-761/762, standards. Any noncompliance items should be corrected immediately. Please provide a written response to this office within 30 calendar days upon receipt of this letter and provide documentation to show that the issues addressed in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of FAC Chapter(s) 62-761/762 may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

NOTE

My direct phone line is (813) 627-2600 ext.1235

If you have any questions you may contact me at the letterhead address or telephone number.

Sincerely,

WHITNEY COUNCIL

Storage Tank Compliance Inspector

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. • 2800 Blair Stone Road • Tallahassee, Florida 32399-2400

9808096

DEP Form # 62-761.000(2)
Form Title Storage Tank Registration Form
Effective Date July 1, 1998
DEP Application No.
MAY 1 2006

Storage Tank Facility Registration Form

Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 379.305, Florida Statutes.

Please review Registration Instructions before completing the form.

Please check all that apply	<input checked="" type="checkbox"/> New Registration	<input type="checkbox"/> New Owner	<input checked="" type="checkbox"/> New Tank/PC Waste Management Division
	<input type="checkbox"/> Facility Info Update/Correction	<input type="checkbox"/> Owner Info Update/Correction	<input type="checkbox"/> Tank Info Update/Correction

A. FACILITY INFORMATION

County: Hillsborough DEP Facility ID: Pending

Facility Name: BJ's Wholesale Club
 Facility Address: Intersection of Bruce B. Downs Blvd & Commerce Palms Dr City: Tampa Zip: 33612
 Facility Contact: Steve Small Business Phone: (508) 651-7400
 Facility Type(s): Retail Station NAICS Code: 452,447 Financial Responsibility: Insurance carrier

24 Hour Emergency Contact: Steve Small Emergency Phone: (508) 735-1541

B. RESPONSIBLE PERSON INFORMATION - Identify individual(s) or business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. Provide additional information in an attachment if necessary.

Name: BJ's Wholesale Club, Inc.	Facility - Responsible Person Relation Type:	Effective Date
Mail address: One Merger Road	<input checked="" type="checkbox"/> Facility Account Owner (pays fees)	
City, ST, Zip: Natick, MA 01760	Facility Account Owner information must be provided when the facility contains active or out of service storage tanks on site.	
Contact: Steve Small	STCM Account Number (if known)	50008
Telephone: 508-651-7400	Identify other appropriate facility relationships for this party: <input checked="" type="checkbox"/> Facility Owner/Operator <input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Storage Tank Owner	

Name:	Other owner, relationship type(s)	Effective Date
Mail address:	<input type="checkbox"/> Facility Owner/Operator	
City, ST, Zip:	<input type="checkbox"/> Property Owner	
Contact:	<input type="checkbox"/> Storage Tank Owner	
Telephone:	<input type="checkbox"/> Other:	

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Tank ID	TV	AU	Capacity	Installed	Content	Status/Effective Date	Construction	Piping	Monitoring
1	T	U	20,000	05/2006	B	U 05/2006	E,A,M,N,O,P,I	N,F,J	F,L,H,K,3
2	T	U	12,000		B	U	E,A,M,N,O,P,I,L	N,F,J	F,L,H,K,3
			8,000		B				

* compartmented tank

Certified Contractor (performing tank installation or removal): Coastal Construction & Petroleum Services DBPR License No.: PCC 1256760

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.

Brian J. Small, P.E.
Printed Name & Title

Brian J. Small
Signature

3/17/06
Date

DEP 62-761.000(2)

Northwest District 180 Governmental Center Blvd. Pensacola, FL 32501 850-595-6380	Northeast District 7826 Baymeadows Way, Suite B200 Jacksonville, FL 32256 904-448-4300	Central District 3319 Maguire Blvd., Suite 232 Orlando, FL 32803 407-994-7555	Southwest District 3904 Coconut Palm Drive Tampa, FL 33619 813-744-6100	Southeast District 400 North Congress Ave., Suite 304 Fort Myers, FL 33901 941-332-8975	South District 2296 Victoria Ave., Suite 304 Fort Myers, FL 33901 941-332-8975	Marathon Branch Office 2788 Overseas Hwy., Suite 221 Marathon, FL 33060 305-289-2310
--	--	---	--	---	--	--

SBMALL @ BJS.COM

Poor Original

CHRIS OGINOVSKI
508-652-7946

forwarded to DEP 5/2/06
F.L.



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blairstone Road
Tallahassee, Florida 32399-2400

Charlie Crist
Governor

Jeff Kottkamp
Lt. Governor

Michael W. Sole
Secretary

11/01/2007

Helene Reyes, Hazardous Waste Coordinator
BJs Wholesale Club #0183
1905 Aston Ave
Carlsbad, CA 92008-7307

The Hazardous Waste Regulation Section has reviewed your application for a hazardous waste DEP/EPA Identification Number. Based on the information received you have been issued the following identification number for the facility located at **6290 Commerce Palms Blvd, Tampa.**

FLR000142869

Your facility status is the following:

Conditionally Exempt SQG

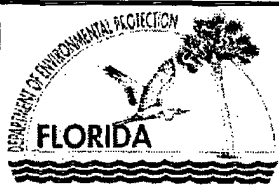
THIS LETTER IS NOT AN APPROVAL TO TRANSPORT HAZARDOUS WASTE OR TO OPERATE A HAZARDOUS WASTE TREATMENT, STORAGE, OR DISPOSAL (TSD) FACILITY. PLEASE CONTACT THE DEPARTMENT FOR COMPLETE REQUIREMENTS FOR HAZARDOUS WASTE TRANSPORTERS AND TSDs.

Please notify us in writing if there is any change in your operations which would affect your status. For further assistance, please call (850)245-8760 or (850)245-8772.

Sincerely,

Michael X. Redig
Environmental Manager
Hazardous Waste Regulation Section

ME ID: 81843
Email Address: hreyes@3ecompany.com



8700-12FL - FLORIDA NOTIFICATION OF REGULATED WASTE ACTIVITY

DEP Waste Management Division-HWRS, MS4560
2600 Blair Stone Rd. Tallahassee, FL 32399-2400
(850) 245-8760

Date Received (for FDEP Official Use Only)

SEP 09 2006

EPA ID MTS RCRA info

1. Reason for Submittal
Check correct box:
[X] To provide initial notification (to obtain an EPA ID Number for hazardous waste, universal waste, or used oil activities).
[] To provide subsequent notification (to update status and facility identification information).

2. Facility or Business Name
BJ's Wholesale Club # 0183

3. Facility Operator
Name of Operator: BJ's Wholesale Club
Date became Operator: 9 / 9 / 2006
Street or P.O. Box: One Mercer Road
Phone Number: (508) 651-6854
City or Town: Natick State: MA Zip Code: 01760
Operator Type: [X] Private [] Federal [] Municipal [] State [] Other

4. Facility Physical Location Information
Physical Street Address: 6290 Commerce Palms Drive
City or Town: Tampa State: FL Zip Code: 33647
County: Dade Land Type: [X] Private [] Federal [] Municipal [] State [] Other
Latitude: Longitude: Method: Datum:

5. Facility North American Industry Classification System (NAICS) Code(s)
A. 444190
B.
C.
D.

6. Facility Mailing Address
Street Address or P.O. Box: 1905 Aston Avenue
City or Town: Carlsbad State: CA Zip Code: 92008

7. Facility Contact Person
First Name: Helene Last Name: Reyes Title: e Coordinator/Spe
Phone Number: (800) 451-8346 Extension: 8780 E-Mail: hreyes@3ecompany.com
Street or P.O. Box: same as mailing
City or Town: State: Zip Code:

8. Real Property Owner of the Facility's Physical Location
Name of Real Property Owner: BJ's Wholesale Club
Date became Owner: 9 / 9 / 2006
Street or P.O. Box: One Mercer Road
Phone Number: (508) 651-6854
City or Town: Natick State: MA Zip Code: 07160
Owner Type: [X] Private [] Federal [] Municipal [] State [] Other

9. Type of Regulated Waste Activity (Mark 'X' in the appropriate boxes):

A. Hazardous Waste Activities:

For Items 2 through 7, check all that apply.

1. Generator of Hazardous Waste

(Choose only one of the following three categories.)

- a. Large Quantity Generator (LQG):
Generates in any calendar month 1,000 kilograms or greater per month (kg/mo) (2,200 lbs.) of *non-acute* hazardous waste; or Greater than 1 kg (2.2 lbs) of *acute* hazardous waste
- b. Small Quantity Generator (SQG):
Generates in any calendar month greater than 100kg/mo but less than 1,000 kg/mo (>220 to <2,200 lbs.) of *non-acute* hazardous waste and/or 1 kg (2.2 lbs) or less of *acute* hazardous waste
- c. Conditionally Exempt SQG (CESQG):
Generates in any calendar month 100 kg/mo or less (220 lbs.) of *non-acute* hazardous waste and/or 1 kg (2.2 lbs) or less of *acute* hazardous waste

In addition, indicate other generator activities (that apply).

- d. United States Importer of hazardous waste
- e. Mixed Waste (hazardous and radioactive) Generator

2. Treater, Storer, or Disposer of Hazardous Waste (at your facility) Note: A hazardous waste permit may be required for this activity.

3. Recycler of Hazardous Waste (at your facility) Specify: Commercial; Non-Commercial. Note: A hazardous waste permit may be required for this activity.

4. Exempt Boiler and/or Industrial Furnace
 a. Small Quantity On-site Burner Exemption
 b. Smelting, Melting, and Refining Furnace Exemption

5. Person Authorized to Manage Conditionally Exempt Waste generated at other facilities - Check this management activity ONLY if you attach EITHER a copy of your application for such authorization OR the authorization you received from FDEP.

6. Underground Injection Control

7. Transporter of Hazardous Waste Note: A Certificate of Liability Insurance is required along with this registration. Registration must be renewed annually. a. For own waste only; b. For Commercial Purposes

c. Hazardous Waste Transporter Insurance Information:

Insurance Company _____

Address _____

Contact: _____ Telephone: _____

Policy Number: _____ Expiration date: _____

d. Transportation Mode: Air; Rail; Highway; Water; Other - specify _____

e. Hazardous Waste Transfer Facility: Storage Volume _____

B. Universal Waste (UW) Activities:

1. Indicate types of UW generated and/or accumulated at your facility (includes destination facilities). (check all boxes that apply)

	Generate/ Accumulate	Transport
a. Batteries	<input type="checkbox"/>	<input type="checkbox"/>
b. Pesticides	<input type="checkbox"/>	<input type="checkbox"/>
c. Mercury Containing Thermostats	<input type="checkbox"/>	<input type="checkbox"/>
d. Mercury Containing Lamps	<input type="checkbox"/>	<input type="checkbox"/>
e. Mercury Containing Devices	<input type="checkbox"/>	<input type="checkbox"/>
f. Pharmaceuticals	<input type="checkbox"/>	<input type="checkbox"/>
g. Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>

2. Maximum quantity of UW handled/transported at any time
 a. 5,000 kg or more; Large Quantity Handler (LQH)
 b. More than 1 kg of acutely hazardous pharmaceutical waste ("P-listed") (LQH)
 c. Less than 5,000 kg (11,000 lbs); Small Quantity Handler (SQH)

3. Destination Facility for UW

Note: For this activity, a facility must treat, dispose or recycle a UW. A facility must either have a hazardous waste permit or recycle the UW without storing it.

4. Transporter of UW

EPA ID No.

9. Type of Regulated Waste Activity - continued (Mark 'X' in the appropriate boxes):

C. Used Oil Activities:

- 1. Used Oil Transporter - Indicate type(s) of activity(ies)
 - a. Transporter
 - b. Transfer Facility
- 2. Used Oil Processor and/or Re-refiner - Indicate type(s) of activity(ies)
 - a. Processor
 - b. Re-refiner
- 3. Off-Specification Used Oil Burner
- 4. Used Oil Fuel Marketer - Indicate type(s) of activity(ies)
 - a. Marketer who directs shipment of off-specification used oil to off-specification used oil burner
 - b. Marketer who first claims the used oil meets the specifications
- 5. Used Oil Generator

- D. Other State Regulated Waste Activities: 1. Used Oil Filter Handler 2. PCW Handler
- These activities may require additional submissions.

10. Waste Codes for Federally Regulated Hazardous Wastes: List the waste codes of the Federal hazardous wastes handled at your facility. List them in the order they are presented in the regulations (e.g., D001, D003, F007, U112). Hazardous waste transporters list codes **routinely** or **usually** transported. Use an additional page if more spaces are needed.

1	D001	2	D002	3	D018	4		5		6		7	
8		9		10		11		12		13		14	
15		16		17		18		19		20		21	
22		23		24		25		26		27		28	

11. Other Status Changes (Mark 'X' in the appropriate boxes):

A. Non-Handler of Regulated Waste at this facility

- 1. Business no longer generates, transports, treats, stores, or disposes of hazardous waste.
- 2. Waste generated by business has been delisted.
- 3. Other (explain) _____

B. Facility Closed

- 1. Closed at this location and **moved or moving** to another - submit a new 8700-12FL for the new location if you will be handling regulated waste there.
- 2. Out of Business - Business closed on _____ (Date). Please provide a contact person, mailing address, and phone number where you can be reached after closing.
 Contact _____ Phone _____
 Address _____
 City, State, Zip _____

C. Property Tax Default

D. Petition for Bankruptcy Protection

12. Comments:

EPA ID No.

13. Certification: I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Signature of owner, operator, or an authorized representative	Name and official title (type or print) of owner, operator, or an authorized representative	Date Signed (mm-dd-yyyy)
<i>Helene Ruyer</i>	Waste Coordinator/Specialist	08/29/2007
<i>on behalf of BT's club</i>		<i>08/29/2007</i>

14. Additional Comments
or optionally, include a map or sketch of the facility boundaries to aid in establishing an accurate Latitude/Longitude for your facility:

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9808096 County: HILLSBOROUGH Inspection Date: 05/27/2010
Facility Type: A -Retail Station
Facility Name: BJ'S WHOLESALE CLUB #183 # Of Inspected ASTs: 0
6290 COMMERCE PALMS DR USTs: 2
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 4.6939"
Longitude: 82° 22' 40.4717"
LL Method:

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: STEADFAST
Effective Date: 06/02/2009 Expiration Date: 06/02/2012

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Christy Jacobs

INSPECTOR NAME

Mailed to: Bev Desantis/Anthony Babine

REPRESENTATIVE NAME

INSPECTOR SIGNATURE

NO SIGNATURE

REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
------	----------------	---------	----------	---------------	---------

Completed Tests

Annual Inline Leak Detector Test	07/27/2009	Passed	06/25/2010	08/06/2009	
Annual Operability Test	07/27/2009	Passed	06/25/2010	08/06/2009	
Annual Inline Leak Detector Test	08/23/2006	Passed	09/27/2006	08/23/2007	
Tank Tightness Test	08/23/2006	Passed	09/27/2006	08/23/2006	
Line Tightness Test	08/23/2006	Passed	09/27/2006	08/23/2006	
Annual Inline Leak Detector Test	08/07/2007	Passed	02/07/2008	08/28/2007	
Annual Operability Test	08/07/2007	Passed	02/07/2008	08/28/2007	
Annual Operability Test	08/06/2008	Passed	04/03/2009	08/07/2008	
Annual Inline Leak Detector Test	08/06/2008	Passed	04/03/2009	08/07/2008	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Electronic Release Detection Equip. Monthly Checks	04/24/2009	05/24/2010	
Life Time	Written Release Detection Response Level Info	05/27/2010	05/27/2010	
Two Years	Certificate of Financial Responsibility	06/02/2009	06/02/2012	
Two Years	Monthly Maint. Visual Examinations and Results	04/24/2009	05/24/2010	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-761.600(1)(a)2.
 Violation Text: Not installed, calibrated, operated, and maintained per manufacturer's specifications.
 Explanation: Sensors in tanks, STP sumps, and dispensers/liners do not appear to match the appropriated designation as listed on the Veeder Root printouts. Alarm History Report indicated (3) STP sumps and (1) Annular Space. Facility has (2) Tanks
 Corrective Action: Program the Veeder Root Monitoring Unit with the appropriate sensors designation for the Annular Spaces, STP sumps, and dispensers/liners. Submit to EPC the corrected Alarm History Report/printout(s) with the correct

Facility ID: 9808096

designation of the Annular Spaces, STP sumps, and dispensers/liners

Type: Violation

Significance: Minor

Rule: 62-761.710(2)(h), 62-761.710(2)(g), 62-761.710(2)(f), 62-761.710(2)(e), 62-761.710(2)(d), 62-761.710(2)(c), 62-761.710(2)(b), 62-761.710(2)(a)

Violation Text: Records requiring 2 year documentation period not kept by facility.

Explanation: 7/02/09 Spill buckets failed test & replaced by US Tank Alliance

Corrective Action: Submit to EPC copies of cause of spill buckets testing & failure, assessment and replacement reports

Inspection Comments

05/27/2010

LOCATION: Bruce B. Downs/I-75

On 5/27/10 - 2:10 - TCI/CJ - I met with Regina Hoza, Operations Manager of BJ's Wholesale Club, to conduct the Annual Compliance Inspection.

TANKS: (2) 20,000 gallon (1) compartmented as 12k/8k Containment Solutions (EQ-#191) double-walled USTs with associated APT XP 200 double-walled flexible piping (EQ-#618).

RELEASE DETECTION:

- Monthly visual inspections of double-walled spill containment buckets
- Electronic monitoring of STP sumps, dispenser liners, and tank interstices
- Veeder Root TLS-350 panel (EQ-#033) indicated "All Functions Normal"
- Veeder Root 794380-302 interstitial sensors (EQ-#614)
- Veeder Root 794390-208 float sensors (EQ-#614) within the STP sumps
- Veeder Root 794390-208 float sensors (EQ-#614) within the dispenser liners
- Audible/visual alarm tested-appears functional. Alarm history report on file.
- Mechanical in line leak detectors

Tanks are equipped with:

- (1) Manifolded vent line with cap
- (3) STPs with mechanical in-line leak detectors
- (3) Sumps - dry and appeared intact, liquid float sensors positioned correctly
- (3) Spill containment buckets EMCO double-walled checked dry (gauges show OK)
- (3) Tight fill. Fill covers properly color-coded as diesel=yellow, red=premium, & blue=plus
- (3) Overfill protection - flow shut-off valves in fills
- (3) Dual point vapor recovery present
- Secondary piping appeared open in sumps

No obvious signs of leakage noted.

DISPENSERS: (6) No obvious signs of leakage noted

- Liners - dry and appeared intact
- Hoses and nozzles appear in good condition
- Shear valves anchored
- Secondary piping appeared open (4 dispensers with monitoring tubes)

RECORDS:

Current Registration Placard: 5/20/09 - 6/30/10 (2 Tanks)

Insurance: Steadfast Insurance Company - 06/02/09 to 06/02/12

Certificate of Financial Responsibility: On site and current

Inspection Comments

Monthly release detection for period 5/25/09 to 5/24/10 reviewed and included:

- Visual inspections of the double-walled spill buckets, sumps, and dispenser liners
- Electronic monitoring of tanks' interstitial spaces, sumps, and dispenser liners
- Veeder Root printouts - sensors alarm history indicated 7/27/09 (Annual Operability Test)
- Audible/visual alarm (test button) checks
- Alarm panel status (lights) checks
- Inspections performed every 35 days
- Problem noted on log: 7/02/09 Spill buckets failed test & replaced by US Tank Alliance

Problems noted during inspection:

1. Unknown as to the cause of replacement of spill buckets - 7/02/09 Spill buckets failed test & replaced by US Tank Alliance
2. Sensors in tanks, STP sumps, and dispensers/liners do not appear to match the appropriated designation as listed on the Veeder Root printouts. Alarm History Report indicated (3) STP sumps and (1) Annular Space. Facility has (2) Tanks

Last Annual Operability of sensors & Veeder Root/ATG Monitoring Certification Tests performed by US Tank: 7/27/09 Next Annual Operability of sensors & Veeder Root/ATG Monitoring Certification Tests due: 7/27/10

Last Annual In-line Leak Detectors test performed by US Tank: 7/27/09

Next Annual In-line Leak Detectors test due: 7/27/10

Written Release Detection Response Level (RDRL) statement present and accurate

(2) Emergency sub-base generators on site.

Small generator located by vents=appears <550 gallon unable to locate size

Large Kohler generator located by loading dock area in back of store. Label indicates=537 gallons

Inspection Photos1

Added Date 06/14/2010

Added Date 06/14/2010

1. 2010-05-27 Sump view

2. 2010-05-27 Spill bucket view



Facility ID: 9808096

Added Date 06/14/2010

3. 2010-05-27 Spill bucket view



Added Date 06/14/2010

5. 2010-05-27 Dispenser piping view



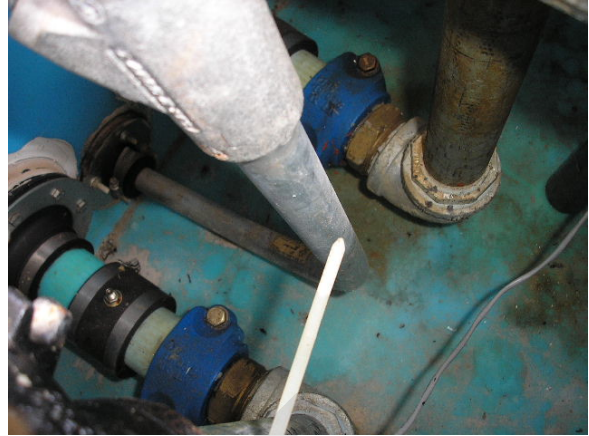
Added Date 06/14/2010

7. 2010-05-27 Dispensers view



Added Date 06/14/2010

4. 2010-05-27 Dispenser piping view



Added Date 06/14/2010

6. 2010-05-27 Tanks view



Added Date 06/14/2010

8. 2010-05-27 Facility Photo





Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9808096 County: HILLSBOROUGH Inspection Date: 06/29/2011
Facility Type: A -Retail Station
Facility Name: BJ'S WHOLESALE CLUB #183 # Of Inspected ASTs: 0
6290 COMMERCE PALMS DR USTs: 2
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 4.6939"
Longitude: 82° 22' 40.4717"
LL Method:

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: STEADFAST
Effective Date: 06/02/2009 Expiration Date: 06/02/2012

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Michael L. McDaniel

INSPECTOR NAME

INSPECTOR SIGNATURE

Ms. Regina Hoza

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Inline Leak Detector Test	07/27/2009	Passed	06/25/2010	08/06/2009	
Annual Operability Test	07/27/2009	Passed	06/25/2010	08/06/2009	
Annual Inline Leak Detector Test	08/23/2006	Passed	09/27/2006	08/23/2007	
Tank Tightness Test	08/23/2006	Passed	09/27/2006	08/23/2006	
Line Tightness Test	08/23/2006	Passed	09/27/2006	08/23/2006	
Annual Inline Leak Detector Test	07/20/2010	Passed	06/30/2011	07/20/2011	
Annual Operability Test	07/20/2010	Passed	06/30/2011	07/20/2011	
Annual Inline Leak Detector Test	08/07/2007	Passed	02/07/2008	08/28/2007	
Annual Operability Test	08/07/2007	Passed	02/07/2008	08/28/2007	
Annual Operability Test	08/06/2008	Passed	04/03/2009	08/07/2008	
Annual Inline Leak Detector Test	08/06/2008	Passed	04/03/2009	08/07/2008	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Electronic Release Detection Equip. Monthly Checks	06/01/2010	06/29/2011	
Life Time	Written Release Detection Response Level Info	06/29/2011	06/29/2011	
Two Years	Certificate of Financial Responsibility	06/02/2009	06/02/2012	
Two Years	Monthly Maint. Visual Examinations and Results	06/01/2010	06/29/2011	

New Violations

Type:	Violation
Significance	Minor
Rule:	62-761.700(1)(a)1.d., 62-761.700(1)(a)1.c., 62-761.700(1)(a)1.b., 62-761.700(1)(a)1.a.
Violation Text:	Not repaired component which has or could cause a discharge or release.
Explanation:	Dispenser #9 had a pipe union leak on the middle product line. Need to repair leak.

Facility ID: 9808096

Corrective Action: Dispenser #9 had a pipe union leak on the middle product line. Need to repair leak.

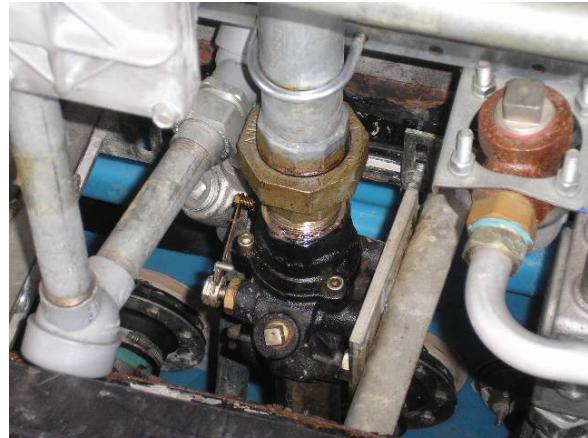
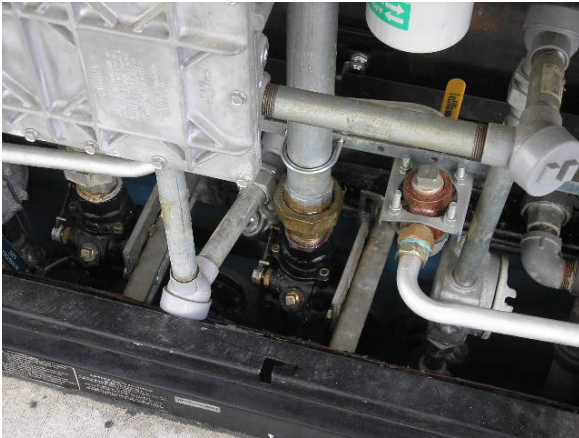
Violation Photos

Added Date 07/15/2011

Added Date 07/15/2011

2011-06-27- Pipe union leak

2011-06-27- Pipe union leak



Inspection Comments

06/29/2011

On 06/29/2011 @0950; MLM/TCI - I met with Regina Hoza, Operations Manager of BJ's Wholesale Club, to conduct the Annual Compliance Inspection.

RELEASE DETECTION:

Monthly visual inspections of double-walled spill containment buckets
Electronic monitoring of STP sumps, dispenser liners, and tank interstices
Veeder Root TLS-350 panel (EQ-#033) indicated "All Functions Normal"
Veeder Root 794380-302 interstitial sensors (EQ-#614)
Veeder Root 794390-208 float sensors (EQ-#614) within the STP sumps
Veeder Root 794390-208 float sensors (EQ-#614) within the dispenser liners
Audible/visual alarm tested-appears functional. Alarm history report on file.
Mechanical in line leak detectors

TANKS:

(2) 20,000 gallon Containment Solutions UST and (1) compartmented as 12k/8k (EQ-#191) double-walled USTs with associated APT XP 200 double-walled flexible piping (EQ-#618).

Tanks are equipped with:

- (1) Manifolder vent line with cap
- STPs with mechanical in-line leak detectors
- (3) Sumps - dry and appeared intact, liquid float sensors positioned correctly
- (3) Spill containment buckets EMCO double-walled checked dry (visual gauges show OK)

Tight fill. Fill covers properly color-coded

Overfill protection - flow shut-off valves in fills

Dual point vapor recovery present

Secondary piping appeared open in sumps

No obvious signs of leakage noted.

DISPENSERS: (6)

No obvious signs of leakage noted, except dispenser #9 had a pipe union leak on the middle product line. Need to repair leak.

Liners - dry and appeared intact

Hoses and nozzles appear in good condition

Shear valves anchored

Secondary piping appeared open (4 dispensers with monitoring tubes)

RECORDS:

Current Registration Placard: onsite (2 Tanks)

Inspection Comments

Insurance: Steadfast Insurance Company - 06/02/09 to 06/02/12

Written Release Detection Response Level (RDRL) statement present and accurate

Certificate of Financial Responsibility: On site and current

Monthly release detection for period 06/01/2010 to 0/29/2011 reviewed and included:

Visual inspections of the double-walled spill buckets, sumps, and dispenser liners

Electronic monitoring of tanks' interstitial spaces, sumps, and dispenser liners

Veeder Root printouts - sensors alarm history indicated sensor alarms on 7/20/10 which were due to Annual Operability Tests.

Audible/visual alarm (test button) checks performed. (Site has remote monitoring 24/7)

Alarm panel status (lights) checks

Inspections performed every 35 days

Last annual operability test on sensors & Veeder Root/ATG was performed by US Tank: 7/20/10. Next test due 07/20/2011.

Annual In-line Leak Detectors test performed by US Tank: 7/20/2010. Next Annual In-line Leak Detectors test due: 7/20/2011

(2) Emergency sub-base generators on site.

Small generator located by vents=appears <550 gallon unable to locate size

Inspection Photos1

Added Date 07/15/2011

2011-06-27- Dispenser island





Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9808096 County: HILLSBOROUGH Inspection Date: 04/19/2013
Facility Type: A -Retail Station
Facility Name: BJ'S WHOLESALE CLUB #183 # Of Inspected ASTs: 0
6290 COMMERCE PALMS DR USTs: 2
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 4.6939"
Longitude: 82° 22' 40.4717"
LL Method: DPHO

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: ACE
Effective Date: 07/01/2012 Expiration Date: 07/01/2015

Findings:

No Training Certificates are Available.

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9808096

Sahand Nasser

INSPECTOR NAME



INSPECTOR SIGNATURE

Emailed to Matt Machunski 4/29/13; cc Regina Hoza

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Inline Leak Detector Test	07/07/2011	Passed	04/23/2013	07/07/2012	By US Tank Alliance
Annual Operability Test	07/07/2011	Passed	04/23/2013	07/07/2012	By US Tank Alliance
Annual Inline Leak Detector Test	06/25/2012	Passed	04/23/2013	06/25/2013	By Valley Tank Testing
Annual Operability Test	06/25/2012	Passed	04/23/2013	06/25/2013	By Valley Tank Testing

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	04/19/2013	04/19/2013	
Two Years	Monthly Maint. Visual Examinations and Results	07/04/2011	04/17/2013	
Two Years	Electronic Release Detection Equip. Monthly Checks	07/04/2011	04/17/2013	
Two Years	Certificate of Financial Responsibility	07/01/2012	07/01/2015	

New Violations

Type: Violation
Significance: Minor
Rule: 62-761.700(1)(a)1.d., 62-761.700(1)(a)1.c., 62-761.700(1)(a)1.b., 62-761.700(1)(a)1.a.
Violation Text: Not repaired component which has or could cause a discharge or release.
Explanation: Piping penetration entry boot cracked in siphon sump.
Corrective Action: Need to replace the piping entry boot in siphon sump and perform a 3 hour hydrostatic test. Submit results to EPC and contact EPC for re-inspection.

Violation Photos

Added Date 04/23/2013

2013-4-19 - Cracked Entry Boot in Siphon Sump



Type:	Violation
Significance	Minor
Rule:	62-761.500(1)(d)5.
Violation Text:	Failure to allow for/perform a breach of integrity test.
Explanation:	5 year breach of integrity test of the tanks past due date.
Corrective Action:	Perform the breach of integrity test of the tanks within the next 12 months and submit results to EPC.

Inspection Comments

04/19/2013

4/19/13-SN- Met with Scott Drew of Valley Tank Testing and Regina Hoza of Bj's Wholesale Club for the annual compliance inspection.

RELEASE DETECTION:

Monthly visual inspections of double-walled spill containment buckets
Electronic monitoring of STP sumps, dispenser liners, and tank interstices
Veeder Root TLS-350 panel indicated "All Functions Normal"
Audible/visual alarm tested-appears functional. Alarm history report on file.
Mechanical in line leak detectors with annual 3.0 gph testing

TANKS:

(2) 20,000 gallon Containment Solutions UST and (1) compartmented as 12k/8k double-walled USTs with associated APT XP 200 double-walled flexible piping. Tanks are equipped with:
(1) Manifoldd vent line with cap
(2) STPs with mechanical in-line leak detectors and (1) Siphon sump
(3) Sumps - dry and appeared intact, liquid float sensors positioned correctly.
Secondary piping appeared open in sumps
Piping penetration entry boot cracked in siphon sump. Need to replace the piping entry boot in siphon sump and perform a 3 hour hydrostatic test. Submit results to EPC and contact EPC for re-inspection.
(3) Spill containment buckets EMCO double-walled checked, dry and appeared intact
Tight fill present. Fill covers properly color-coded
Overfill protection - flow shut-off valves in fills
Dual point vapor recovery present

Inspection Comments

No obvious signs of leakage noted.

DISPENSERS: (6)

Liners - dry and appeared intact

Hoses and nozzles appear in good condition

Shear valves anchored-Couple of bolts loose within the dispensers and tightened during the inspection)

Secondary piping appeared open (Secondary connector tubing present in 4 dispensers)

No obvious signs of leakage noted

(2) Emergency sub-base generators on site. Small generator located by vents, appears <550 gallon unable to locate size.

RECORDS:

Current registration placard posted: (2) Tanks

Written Release Detection Response Level (RDRL) statement present, complete, and accurate

Monthly release detection reviewed and included:

Visual inspections of the double-walled spill buckets

Electronic monitoring of tanks' interstitial spaces, sumps, and dispenser liners

Veeder Root printouts

Audible/visual alarm checks performed. (Site has remote monitoring 24/7)

Alarm panel status checks.

Inspections performed every 35 days. (Monthly inspections are performed weekly by staff and monthly by MVIFS)

3/23/13 Nozzle #9 leaking, fixed. 2/26/13 whip hose #12, leaking, fixed. 2/18/13 Nozzle #7 and 8 leaking, fixed. 1/1/2013 Nozzle #6 leaking, fixed. Water in premium sump on 10/5/12 causing L3 alarm. Water removed same day by Norris & Samon. 9/29/12 hose #9 cracked, fixed. 9/21/12 Nozzle #12 leaking, fixed. 9/4/12 Nozzle #4 leaking, fixed. Water removed from sump on 8/22/12, 5/25/12, and 8/30/12, alarm cleared. Water removed and L3 alarm cleared on 7/12/13. Whip hoses #1, 2, 4, 12 cracked and need to be replaced on 4/23/12. Water in dispenser liners on 10/9/11 and 9/23/11, water removed. Water in sump on 8/15/11, water removed.

Work orders on file for L3 alarms on 7/16/12, 8/3/12, and 10/4/12.

5 year breach of integrity test of the tanks past due date. Perform the breach of integrity test of the tanks within the next 12 months and submit results to EPC.



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Jennifer Carroll
Lt. Governor

Herschel T. Vinyard Jr.
Secretary

02/12/2013

Bev DeSantis, General Mgr
BJs Wholesale Club #0183
6290 Commerce Palms Drive
Tampa, FL 33647

The Florida Department of Environmental Protection has reviewed your form 8700-12FL notification for a new hazardous waste DEP/EPA Identification Number or status/information change. Based on the information received you must use the following identification number for all manifests or reports for **BJs Wholesale Club #0183** located at **6290 Commerce Palms Blvd, Tampa , FL33647-1506**

FLR000142869

Your facility notified FDEP requesting the following hazardous waste status/activities which **do not require a separate submission: Conditionally Exempt SQG.**

Your facility is **currently registered** for the following activities: **None.**

Your facility is **currently permitted/active** as: **No Active Hazardous Waste Treatment, Storage, or Disposal Permit.**

If you have pending program registrations/certifications or permits, these will be mailed separately. You are required to notify us on form 8700-12FL if there is any change in your operations which would affect your status, activity or contact information. The form is found here:

<http://www.dep.state.fl.us/waste/categories/hwRegulation/pages/NotificationRegulatedWaste.htm>.

To review the details of your status, visit:

http://appprod.dep.state.fl.us/www_RCRA/Reports/handler_results.asp?epaid=FLR000142869.

For further assistance, please e-mail a Notification Coordinator at EPOST_HWreg@dep.state.fl.us or call us at (850)245-8707.

Sincerely,

A handwritten signature in black ink, appearing to read 'Glen Perrigan'. Below the signature is the word 'FOR' in a small, bold, sans-serif font.

Glen Perrigan
Environmental Manager
Hazardous Waste Regulation Section

ME ID: 81843



8700-12FL - FLORIDA NOTIFICATION OF REGULATED WASTE ACTIVITY
 DEP Waste Management Division—HWRs, MS4560
 2600 Blair Stone Rd. Tallahassee, FL 32399-2400
 (850) 245-8772

Date Received
 (for DEP Official Use Only)
 received
 JAN 24 2006

EPA ID **F L R 0 0 0 1 4 2 8 6 9**

MTS
 RCRA/HSR/V

1. Reason for Submittal
 Mark 'X' in correct box:
 To provide **initial notification** (to obtain an EPA ID Number for hazardous waste, universal waste, or used oil activities).
 To provide **subsequent notification** (to update status and facility identification information).
 Is this the **final notification** (see instructions) for the facility?

2. Facility or Business Name **BJ's Wholesale Club #183**
FEID No. **043360747**

3. Facility Operator (List additional Operators in the comments section).
Name of Operator: **BJ's Wholesale Club** **New Operator**
Date became Operator: 09 / 09 / 2006
 mm dd yy
Street or P.O. Box: **25 Research Drive** **Phone Number:** **774-512-5535**
City or Town: **Westborough** **State:** **MA** **Zip Code:** **01581**
Operator Type: Private Federal Municipal State Other _____

4. Facility Physical Location Information
Physical Street Address: **6290 Commerce Palms Drive**
City or Town: **Tampa** **State:** **FL** **Zip Code:** **33647**
County: **Hillsborough** **If available, please attach a map or sketch of the facility boundaries.**
Latitude: 28 07 03.238 **Longitude:** 82 22 28.643 **Method:** WGS84
 dd mm ss.ssss dd mm ss.ssss Datum:

5. Facility North American Industry Classification System (NAICS) Code(s)
 A. **452910** B. _____
 C. _____ D. _____

6. Facility or Business Mailing Address
Street Address or P.O. Box: **25 Research Drive**
City or Town: **Westborough** **State:** **MA** **Zip Code:** **01581**

7. Facility or Business Contact Person
First Name: **Bev** **Last Name:** **DeSantis** **Title:** **General Manager**
Phone Number: **813-313-1404** **Extension:** _____ **E-Mail:** _____
Street or P.O. Box: **6290 Commerce Palms Drive**
City or Town: **Tampa, FL** **State:** **FL** **Zip Code:** **33647**

8. Real Property (Land) Owner of the Facility's Physical Location (List additional real property owners in the comments section.)
Name of Real Property (Land) Owner: **Warren Kinsler** **New Owner**
Date became Owner: 09 / 09 / 2006
 mm dd yy
Street or P.O. Box: **820 Morris Turnpike** **Phone Number:** **813-910-7914**
City or Town: **Short Hills** **State:** **NJ** **Zip Code:** **07078**
Owner Type: Private Federal Municipal State Other _____

9. Type of Regulated Waste Activity (Mark 'X' in all that apply):**A. Hazardous Waste Activities:****(1) Generator of Hazardous Waste**

(Choose only one of the following three categories.)

- a. Large Quantity Generator (LQG):
Generates in any calendar month 1,000 kilograms or greater per month (kg/mo) (2,200 lbs.) of *non-acute* hazardous waste; or Greater than 1 kg (2.2 lbs) of *acute* hazardous waste
- b. Small Quantity Generator (SQG):
Generates in any calendar month greater than 100kg/mo but less than 1,000 kg/mo (>220 to <2,200 lbs.) of *non-acute* hazardous waste and/or 1 kg (2.2 lbs) or less of *acute* hazardous waste
- c. Conditionally Exempt SQG (CESQG):
Generates in any calendar month 100 kg/mo or less (220 lbs.) of *non-acute* hazardous waste and 1 kg (2.2 lbs) or less of *acute* hazardous waste

In addition, indicate other generator activities that apply.

- d. United States Importer of hazardous waste
- e. Mixed Waste (hazardous and radioactive) Generator

For Items 2 through 7, mark 'X' in all that apply.

(2) Treater, Storer, or Disposer of Hazardous Waste

(at your facility) Note: A hazardous waste permit may be required for this activity.

- a. Operating Commercial TSD
- b. Operating Non-commercial TSD
- c. Non-operating: Postclosure or Corrective Action Permit or Consent Order (HSWA, etc.)

(3) Recycler of Hazardous Waste (at your facility)Specify: Commercial; Non-Commercial.
A permit is required for storage prior to recycling.**(4) Exempt Boiler and/or Industrial Furnace**

- a. Small Quantity On-site Burner Exemption
- b. Smelting, Melting, and Refining Furnace Exemption

(5) Person Authorized to Manage Conditionally Exempt Waste**Generated at Other Facilities** - Choose this management activity ONLY if you attach EITHER a copy of your application for such authorization OR the authorization you received from FDEP.**(6) Underground Injection Control** - Mark an 'X' even if the UIC well at your facility does not receive hazardous waste.**(7) Transporter of Hazardous Waste** [Note: A Certificate of Liability Insurance is required along with this registration.]Registration must be renewed annually. a. For own waste only b. For commercial purposes**c. Hazardous Waste Transporter Insurance Information**

Insurance Company _____

Address _____

Contact _____

Telephone _____

Policy Number _____

Expiration date _____

d. **Transportation Mode** Air Rail Highway Water Other - specify _____e. **Hazardous Waste Transfer Facility:** Storage Volume _____ **Initial notification**

The following items are required to be submitted with the initial notification for a transfer facility [Rule 62-730.171(3), Florida Administrative Code (F.A.C.)]:

- Certification by a responsible corporate officer of the transporter that the proposed location satisfies the criteria of Section 403.7211(2), Florida Statutes (F.S.) [Rule 62-730.171(3)(a)1., F.A.C.]
- Evidence of the transporter's financial responsibility [Rule 62-730.171(3)(a)3., F.A.C.]
- A brief general description of the transfer facility operations [Rule 62-730.171(3)(a)4., F.A.C.]
- A copy of the facility closure plan [Rule 62-730.171(3)(a)5., F.A.C.]
- A copy of the contingency and emergency plan [Rule 62-730.171(3)(a)6., F.A.C.]
- A map or maps of the transfer facility [Rule 62-730.171(3)(a)7., F.A.C.]

 Notification of changes in above items **Annual update notification**

B. Universal Waste (UW) Activities (Mark 'X' in all that apply) ("accumulated" means at any one time):

- Large Quantity Handler (LQH) = 5,000 kg (11,000 lb) or more of any combination of UW accumulated
- Small Quantity Handler (SQH) = always less than 5,000 kg accumulated
- Mercury-containing devices LQH = 100 kg (220 lb) or more accumulated by for-hire handler
- Mercury-containing devices SQH = less than 100 kg accumulated by for-hire handler
- Mercury-containing lamps LQH = 2,000 kg (4400 lbs/8,000 lamps) or more accumulated by for-hire handler
- Mercury-containing lamps SQH = less than 2,000 kg (8,000 lamps) accumulated by for-hire handler
- [Note: 4 lamps = 1 kg, 62-737.200(10)]
- Pharmaceuticals LQH = 5,000 kg or more of universal pharmaceutical waste (UPW) accumulated
- Pharmaceuticals LQH = more than 1 kg (2.2 lb) of acutely hazardous ("P-listed") pharmaceutical waste accumulated
- Pharmaceuticals SQH = always less than 5,000 kg of UPW and always 1 kg or less of acutely hazardous UPW accumulated

(1) For those Managing	Generate/ Accumulate	Transport (see note in instructions)	Handle at Transfer Facility	(2) Enter your estimate of the maximum amount (in pounds) of each type of UW on site or transported at any one time.
a. Batteries	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input style="width: 100%;" type="text"/>
b. Pesticides	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input style="width: 100%;" type="text"/>
c. Pharmaceuticals	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input style="width: 100%;" type="text"/>
d. Mercury Containing Devices	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input style="width: 100%;" type="text"/>
e. Mercury Containing Lamps	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input style="width: 100%;" type="text"/>

(3) Mercury Recovery and/or Reclamation Facility Note: A hazardous waste permit is required for this activity. [Rule 62-737.800, F.A.C.]
 [Chapter 62-737, F.A.C.]

(4) Reverse Distributor of UW Pharmaceuticals Lamps Devices

(5) Destination Facility for UW Note: for this activity, a facility must treat, dispose or recycle a UW. A permit is required for storage prior to recycling.

- C. Used Oil Activities:**
- (1) Used Oil Transporter - indicate type(s) of activity(ies):**
- a. Transporter
 - b. Transfer Facility
- (2) Collection Center**
- (3) Used Oil Processor (A permit is required for this activity.)**
- (4) Off-Specification Used Oil Burner**
- (5) Used Oil Fuel Marketer**
- (6) Used Oil Filter**
- a. Transporter
 - b. Transfer Facility
 - c. Processor
 - d. End User

(8) Specific Certification to be signed by all Used Oil Transporters

I certify as a Used Oil Transporter that the training program and financial responsibility required under Section 62-710.600, F.A.C., are in place, current and being adhered to. If any modifications have been made to the originally approved training program, they are explained in attachments to this registration form. Evidence of financial responsibility is demonstrated by the attached Used Oil Transporter Certificate of Liability Insurance, DEP form 62-710.901(4), F.A.C.

Signature of Authorized Person

Print Name of Authorized Person

(7) Used Oil Transporters, Transfer Facilities, Collection Centers, Off-Specification Burners and Marketers must pay an annual \$100 registration fee. Used Oil Processors are exempt from this fee. If applicable, enclose a check or money order, in the amount of \$100, payable to Florida Department of Environmental Protection.

A check is enclosed.

(9) The records required under the provisions of Rule 62-710.510, F.A.C., are kept at (check one):

- our mailing (business) address
- The site (facility) address

EPA ID No.

FLR000142869

D. Other State Regulated Waste Activities: **Petroleum Contact Water (PCW) Handler** [Chapter 62-740, F.A.C.]

Note: A water facility permit may be required for this activity.

10. Waste Codes for Federally Regulated Hazardous Wastes: List the waste codes of the Federal hazardous wastes handled at your facility. List them in the order they are presented in the regulations (e.g., D001, D003, F007, U112).

Hazardous waste transporters list codes routinely or usually transported. Use an additional page if more spaces are needed.

1	U279	2	D001	3	D002	4	D008	5	D009	6	F001	7	P001
8	P075	9	U002	10		11		12		13		14	
15		16		17		18		19		20		21	
22		23		24		25		26		27		28	

11. Other Status Changes (Mark 'X' in all that apply):**A. Non-Handler of Regulated Waste at This Facility**

- (1) Business no longer generates, transports, treats, stores, or disposes of hazardous waste
- (2) Waste generated by business has been delisted.
- (3) Other (explain) _____

B. Facility Closed

- (1) Closed at this location and **moved or moving** to another - submit a new Form 8700-12FL for the new location if you will be handling regulated waste there.
- (2) Out of Business - Business closed on _____ (Date). Please provide a contact person, mailing address, and phone number where you can be reached after closing.

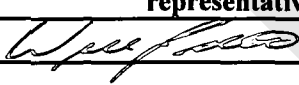
Contact _____ Phone _____

Address _____

City, State, Zip _____

 C. Property Tax Default **D. Petition for Bankruptcy Protection**

12. Certification: I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. The information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. If I have notified as a transfer facility, I am aware that transfer facilities must comply with the requirements of Rule 62-730.171, FAC, and Rule 62-730.182, FAC.

Signature of owner, operator, or an authorized representative	Print Name and Title	Date Signed (mm-dd-yyyy)
	William E. Peters- Mgr. of Safety and EP	01-15-2013

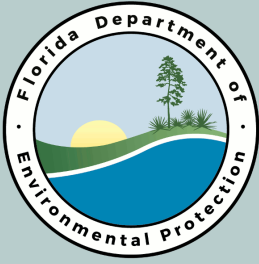
If the person who filled in this form is not the Facility Contact or Operator, please complete the information below:

(Name of person completing this form) _____

(Phone Number) _____

(E-mail Address) _____

13. Comments:



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9808096 County: HILLSBOROUGH Inspection Date: 05/24/2016
Facility Type: A -Retail Station
Facility Name: BJ'S WHOLESALE CLUB #183 # Of Inspected ASTs: 0
6290 COMMERCE PALMS DR USTs: 2
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 4.6939"
Longitude: 82° 22' 40.4717"
LL Method: DPHO

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: ACE
Effective Date: 07/01/2015 Expiration Date: 07/01/2016

Findings:

No Training Certificates are Available.

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9808096

Austin J Alexander
INSPECTOR NAME

Emailed to Diane Rae
REPRESENTATIVE NAME



NO SIGNATURE

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
------	----------------	---------	----------	---------------	---------

Completed Tests

Annual Operability Test	05/02/2016	Passed	05/31/2016	05/02/2017	By Valley Tank Testing
Annual Inline Leak Detector Test	05/02/2016	Passed	05/31/2016	05/02/2017	By Valley Tank Testing
Annual Inline Leak Detector Test	05/19/2014	Passed	05/30/2016	05/19/2015	By Valley Tank Testing
Annual Operability Test	05/19/2014	Passed	05/30/2016	05/19/2015	By Valley Tank Testing
Annual Inline Leak Detector Test	05/04/2015	Passed	05/30/2016	05/04/2016	By Valley Tank Testing
Annual Operability Test	05/04/2015	Passed	05/30/2016	05/04/2016	By Valley Tank Testing

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	05/24/2016	05/24/2016	
Two Years	Monthly Maint. Visual Examinations and Results	05/19/2014	05/02/2016	
Two Years	Electronic Release Detection Equip. Monthly Checks	05/19/2014	05/02/2016	
Two Years	Certificate of Financial Responsibility	07/01/2015	07/01/2016	

New Violations

Type: Violation
Significance: Minor
Rule: 62-761.450(2)(a)7., 62-761.450(2)(a)6., 62-761.450(2)(a)5., 62-761.450(2)(a)4., 62-761.450(2)(a)3., 62-761.450(2)(a)2., 62-761.450(2)(a)1.
Violation Text: Incident not reported within 24-hours or by next business day.
Explanation: Alarm History Report indicates the following unexplained alarm: L1- Regular STP sump on 8/23/15. No INF or investigation results available for review. An

Facility ID: 9808096

Incident Notification Form must be submitted for any positive response of a release detection device unless investigation is performed within 24hrs indicating that a discharge has not occurred. Also, investigation must be completed within two weeks of the date of discovery of the incident.

Corrective Action: Submit an INF for the unexplained alarm to EPC.

Type: Violation

Significance: Minor

Rule: 62-761.820(1)(c), 62-761.820(1)(b), 62-761.820(1)(a)

Violation Text: Incident not promptly investigated.

Explanation: Alarm History Report indicates the following unexplained alarm: L1- Regular STP sump on 8/23/15. No INF or investigation results available for review. An Incident Notification Form must be submitted for any positive response of a release detection device unless investigation is performed within 24hrs indicating that a discharge has not occurred. Also, investigation must be completed within two weeks of the date of discovery of the incident.

Corrective Action: Submit investigation results for the unexplained alarm to EPC within two weeks.

Inspection Comments

05/24/2016

05/24/2016 – AA/TCI- Met on site with Karen Tores of Bj's Wholesale Club for the routine compliance inspection.

RELEASE DETECTION:

- Monthly visual inspections of double-walled spill containment buckets.
- Electronic monitoring of STP sumps, dispenser liners, and tank interstices.
- Veeder Root TLS-350 panel (DEP EQ #197) monitors electronic sensors.
- Panel currently indicates "All Functions Normal".
- Audible/visual alarm tested-appears functional.
- Alarm history report printed, on file.
- Mechanical in line leak detectors.

TANKS: (2) 20,000 gallon Containment Solutions UST (one is compartmented as 12k/8k) double-walled brine filled fiberglass USTs with associated APT XP 200 double-walled flexible underground piping. Tanks are equipped with:

- (1) Manifolder vent line with cap.
 - (2) STP Sumps and (1) Siphon sump inspected – appeared dry and intact.
 - (2) STP heads inspected – both are beginning to show signs of corrosion, recommend monitoring closely.
 - Mechanical in-line leak detectors.
 - Electronic sensors positioned correctly.
 - Secondary piping appeared open in sumps.
 - (3) Spill containment buckets inspected – appeared dry and intact.
 - Spill bucket lids properly color-coded.
 - Overfill protection - flow shut-off valves in drop tubes.
 - Dual point vapor recovery present.
- No obvious signs of leakage noted.

DISPENSERS:

- (6) Liners – appeared dry and intact.
- Hoses and nozzles appear in good condition.
- Shear valves anchored.

Inspection Comments

- Secondary piping appeared open.
- Electronic sensors positioned correctly.

No obvious signs of leakage noted

Other unregulated tank:

(2) Emergency sub-base generators on site, both less than 550 gal. One located by vents, near fueling area. Other is located on the south side of the club house building.

RECORDS:

- Current registration placard posted: (2) Tanks.
- Written Release Detection Response Level (RDRL) statement present, complete, and accurate.
- Monthly records reviewed and included:
 - Visual inspections of the double-walled spill buckets
 - Electronic monitoring of tanks' interstitial spaces, STP sumps, and dispenser liners
 - Audible/visual alarm checks
 - Alarm panel status checks and printouts
- Inspections performed within 35 days. (inspections are performed weekly)
- No problems noted on logs.
- Alarm History Report indicates operability testing and the following unexplained alarms: L1- Regular STP sump on 8/23/15. No INF or investigation results available for review. An Incident Notification Form must be submitted for any positive response of a release detection device unless investigation is performed within 24hrs indicating that a discharge has not occurred. Also, investigation must be completed within two weeks of the date of discovery of the incident. Submit INF and investigation results for the unexplained alarm to EPC.
- 5 year breach of integrity test of the tanks not required due to brine-filled interstices.

Inspection Photos

Added Date 05/30/2016

2016-05-24 Site photo





Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
 Division of Waste Management
 Petroleum Storage Systems
 Storage Tank Facility Routine Compliance Site Inspection Report

Facility Information:

Facility ID:	9808096	County:	HILLSBOROUGH	Inspection Date:	12/12/2018
Facility Type:	A - Retail Station				
Facility Name:	BJ'S WHOLESALE CLUB #183			# of Inspected ASTs:	0
	6290 COMMERCE PALMS DR			USTs:	2
	TAMPA, FL 33647			Mineral Acid Tanks:	0
Latitude:	28° 7' 4.6939"				
Longitude:	82° 22' 40.4717"				
LL Method:	DPHO				

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Cody R Winter

Emailed to Diane Rae on 12/26/2018

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

BJ's Wholesale

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: ACE

Effective Date: 07/01/2018

Expiration Date: 07/01/2019

Findings:

Class A Owner Training Certificates are present.
 Class B Maintenance Training Certificates are present.
 Class C Operator Training Certificates are present.

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	04/16/2018	Passed	12/26/2018	04/16/2019	Release Detection Performed By Valley Tank Testing
Annual Inline Leak Detector Test	04/16/2018	Passed	12/26/2018	04/16/2019	Performed By Valley Tank Testing
Annual Inline Leak Detector Test	04/24/2017	Passed	12/26/2018	04/24/2018	Performed By Valley Tank Testing
Annual Operability Test	04/16/2018	Passed	12/26/2018	04/16/2019	Overfill Protection Performed By Valley Tank Testing
Breach of Integrity Test	10/08/2018	Passed	12/26/2018	10/08/2021	Integrity Testing: Sumps, Double-walled Spill Buckets & Dispenser Liners Performed By Valley Tank Testing
Annual Operability Test	04/24/2017	Passed	12/26/2018	04/24/2018	Overfill Protection Performed By Valley Tank Testing
Annual Operability Test	04/24/2017	Passed	12/26/2018	04/24/2018	Release Detection Performed By Valley Tank Testing
Breach of Integrity Test	04/16/2018	Passed	12/26/2018	04/16/2021	Integrity Testing: Double-walled Spill Buckets Performed By Valley Tank Testing

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/01/2016	07/01/2017	

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/01/2018	12/12/2018	
Two Years	Certificate of Financial Responsibility	07/01/2017	07/01/2018	
Two Years	Electronic Release Detection Equip. Monthly Checks	12/17/2016	11/15/2018	
Two Years	Monthly Maint. Visual Examinations and Results	12/17/2016	11/15/2018	

New Violations

Type: Violation

Significance: Minor

Rule: 62-761.700(1), 62-761.700(1)(a), 62-761.700(1)(a)1., 62-761.700(1)(a)2.

Violation Text: Storage tank system has a not repaired component which has or could cause a release or discharge.

Explanation: 1.Premium STP head showing significant signs of rust.
2. Tank #1 Regular STP sump appeared damaged at the seam.

Corrective Action: 1.Make necessary repairs and submit documentation to EPC for review.
2. Perform a breach of integrity test of northern Regular STP sump, making sure the hydrostatic test is performed with the water level above the highest penetration/seam, and submit test results to EPC for review.

Violation Photos

Facility ID: 9808096

Added Date 12/26/2018

2018-12-12 STP Head

Added Date 12/26/2018

2018-12-12 Tank #1 Regular STP Sump



Type: Violation

Significance: Minor

Rule: 62-761.430(4), 62-761.430(5)

Violation Text: Incident investigation not completed timely, with written explanation or DRF provided.

Explanation: Alarm history report indicates an unexplained alarm for the L4: Regular unleaded annular space low liquid alarm on 10/09/2018. INF and investigation results not submitted. An INF must be submitted for any positive response of a release detection device unless investigation is initiated within 24 hours and it is determined within 72 hours that a discharge has not occurred. Also, the investigation must be completed within two weeks of date of discovery of the incident.

Corrective Action: Submit investigation results for the unexplained alarms to EPC for review.

Type: Violation

Significance: Minor

Rule: 62-761.405(3)

Violation Text: For an incident, notification not received in a timely manner.

Explanation: Alarm history report indicates an unexplained alarm for the L4: Regular unleaded annular space low liquid alarm on 10/09/2018. INF and investigation results not submitted. An INF must be submitted for any positive response of a release detection device unless investigation is initiated within 24 hours and it is determined within 72 hours that a discharge has not occurred. Also, the investigation must be completed within two

weeks of date of discovery of the incident.

Corrective Action: Submit an INF for the unexplained alarms to EPC for review.

Type: Violation

Significance: SNC-B

Rule: 62-761.600(1)(g)

Violation Text: Electronic release detection devices not inspected monthly.

Explanation: Alarm history print-outs from 12/17/2016-11/15/2018 not available for review. Monthly monitoring logs for tank systems with electronic monitoring with printing capabilities must include alarm history print-outs.

Corrective Action: Submit January 2019 monthly monitoring log with associated alarm history report print-out to EPC for review.

Inspection Comments

12/12/2018

12/12/2018 CRW&KCY/TCI Met on-site with Karen Tores of BJ's Wholesale for the routine compliance inspection of the tank system and components.

Release Detection:

- Visual Inspections of spill buckets and sumps.
- Electronic monitoring of tank interstitial spaces, sumps, and dispensers using a Veeder Root TLS-350 panel located within gas station kiosk.
- Audible/visual alarm tested- appeared operational.
- Panel indicated "All functions normal."
- Alarm history report printed, on file.
- Mechanical line leak detectors with annual 3.0gph testing.

Tanks: (2) 20,000 gallon (one compartmented 12k/8k) double-walled, brine-filled, fiberglass Containment Solutions underground storage tanks with associated APT XP 200 double-walled flexible underground piping. Tanks are equipped with:

- (1) Vent line present with cap.
- (2) STP sumps inspected- appeared dry. Tank #1 Regular STP sump appeared damaged at the seam. Perform a breach of integrity test of northern Regular STP sump, making sure the hydrostatic test is performed with the water level above the highest penetration/seam, and submit test results to EPC for review.
- STP head appeared in good condition. Premium STP head showing significant signs of rust. Make necessary repairs and submit documentation to EPC for review.
- Mechanical link leak detectors present.
- Sensors positioned correctly within sumps.
- Secondary piping appeared open to sumps.
- (3) Double-walled spill buckets inspected- appeared dry and intact.
- (3) Spill bucket interstitial gauges checked- appeared in normal position.
- Fill lids appeared properly marked.
- Overfill protection: Flow shut-off valves present in fills.
- Dual point vapor recover present.

Facility ID: 9808096

No obvious signs of leakage noted.

Dispensers:

- (6) Dispensers/liners inspected- appeared dry and intact.
 - Shear valves appeared properly anchored.
 - Sensors positioned correctly within liners.
 - Hoses/nozzles appeared in good condition.
- No obvious signs of leakage noted.

Records:

- Current registration placard posted on-site: (2) tanks.
 - Monthly monitoring logs reviewed and include:
Visual inspections of STP sumps, spill buckets, and dispenser liners.
Audible/visual alarm test checks.
Alarm panel status checks.
- No problems noted on logs. Inspections performed within 35 days.
- Alarm history print-outs from 12/17/2016-11/15/2018 not available for review. Monthly monitoring logs for tank systems with electronic monitoring with printing capabilities must include alarm history print-outs. Submit January 2019 monthly monitoring log with associated alarm history report print-out to EPC for review.
 - Alarm history report indicates operability testing and an unexplained alarm for the L4: Regular unleaded annular space low liquid alarm on 10/09/2018. INF and investigation results not submitted. An INF must be submitted for any positive response of a release detection device unless investigation is initiated within 24 hours and it is determined within 72 hours that a discharge has not occurred. Also, the investigation must be completed within two weeks of date of discovery of the incident. Submit an INF and investigation results for the unexplained alarms to EPC for review.

Attachment Documents

- 2018-12-12 Alarm History Report

Inspection Photos

Facility ID: 9808096
Added Date 12/26/2018

Added Date 12/26/2018

2018-12-12 Site Photo

2018-12-12 Tank Pad



DRAFT

From [Winter, Cody](#)
To [Rae, Diane](#)
Subject 9808096- B s Wholsale RTC
Date Wednesday, May 01, 2019 10:57:29 AM
Attachments [9808096 B_s Wholesale RTC.pdf](#)

Good Morning,

Attached you will find a return to compliance letter for the violations cited during your compliance inspection on 12/12/2018. Your facility is now in compliance. Please let me know if you have any questions or concerns.

Thank you,

Cody Winter, M.S.

Environmental Scientist 1
Waste Management Division
813-627-2600 ext. 1429 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

Our mission is *"to protect our natural resources, environment, and quality of life in Hillsborough County."*

Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

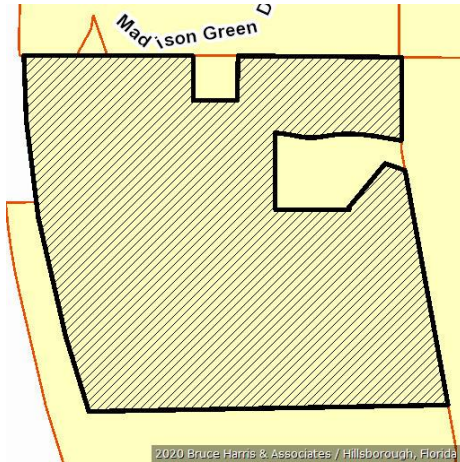
Site 94



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033970-0100



Owner Information

Owner Name	CITY OF TAMPA
Mailing Address	ATTN REAL ESTATE DIVISION 306 E JACKSON ST TAMPA, FL 33602-5223
Site Address	17101 DONA MICHELLE DR, TAMPA
PIN	A-23-27-19-ZZZ-000001-20830.0
Folio	033970-0100
Prior PIN	
Prior Folio	033970-0000
Tax District	TA - TAMPA
Property Use	8900 MUNICIPAL
Plat Book/Page	/
Neighborhood	216012.00 Branchton Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$9,362,244	\$9,362,244	\$9,362,244	\$0
Public Schools	\$9,362,244	\$9,362,244	\$9,362,244	\$0
Municipal	\$9,362,244	\$9,362,244	\$9,362,244	\$0
Other Districts	\$9,362,244	\$9,362,244	\$9,362,244	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3114	0992	01	1976		Qualified		\$0
3114	0996	01	1976		Unqualified		\$100

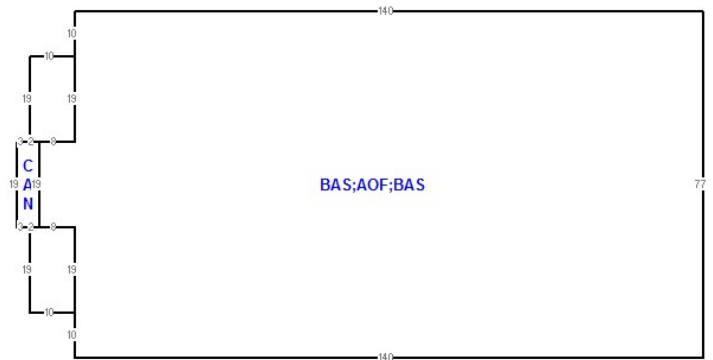
Building Information

Building 1

Type	84 WRHSE - STORAGE
Year Built	1979

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	9	Precast Concrete
Interior Flooring	3	Concrete Above Grade
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	3.0	
Units	15.0	
Wall Height	12.00	



Building 1 subarea

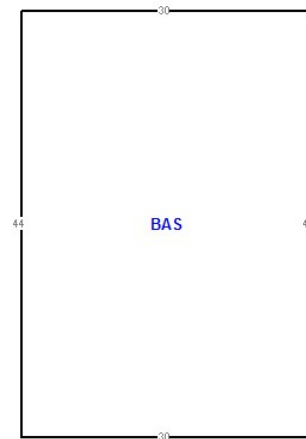
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	10,932	10,932	\$465,143
AOF	10,932	10,932	\$976,793
BAS	10,932	10,932	\$465,143
FST	190		\$5,659
FST	190		\$5,659
FST	190		\$5,659
CAN	95		\$1,191
FST	190		\$5,659
FST	190		\$5,659
FST	190		\$5,659
Totals	34,031	32,796	\$1,942,224

Building 2

Type	84 WRHSE - STORAGE
Year Built	1978

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	24.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,320	1,320	\$36,324
Totals	1,320	1,320	\$36,324

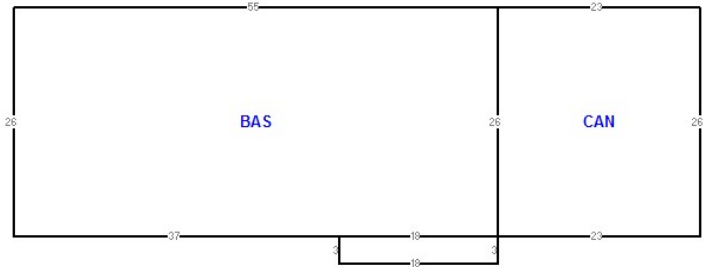
Building 3

Type 84 | WRHSE - STORAGE

Year Built 1978

Building 3 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	8	Carpet
Heat/AC	1	Non-Ducted
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	16.00	



Building 3 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,430	1,430	\$37,790
CAN	54		\$423
CAN	598		\$4,730
Totals	2,082	1,430	\$42,943

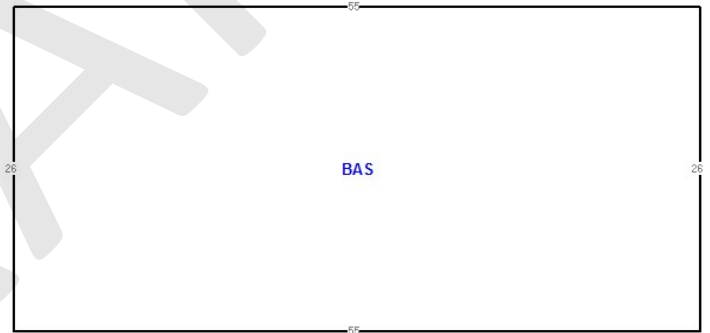
Building 4

Type 84 | WRHSE - STORAGE

Year Built 1978

Building 4 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	8	Carpet
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	16.00	



Building 4 subarea

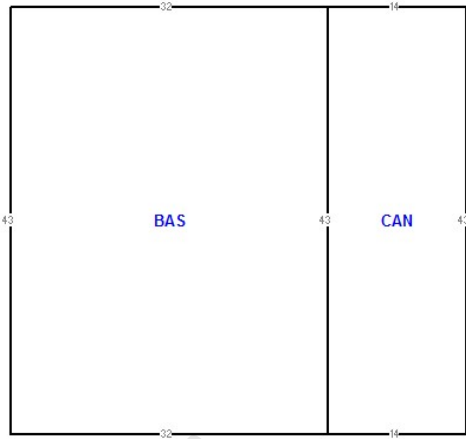
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,430	1,430	\$37,790
Totals	1,430	1,430	\$37,790

Building 5

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	1995

Building 5 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	1	Flat
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 5 subarea

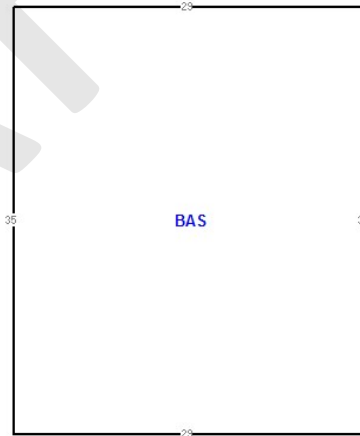
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,376	1,376	\$54,093
CAN	602		\$7,115
Totals	1,978	1,376	\$61,208

Building 6

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	1996

Building 6 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 6 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,015	1,015	\$42,488
Totals	1,015	1,015	\$42,488

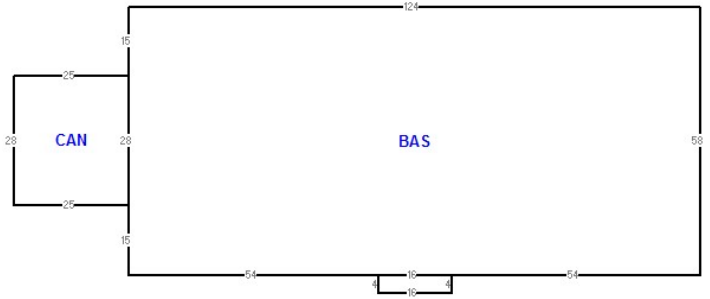
Building 7

Type 84 | WRHSE - STORAGE

Year Built 1997

Building 7 Construction Details

Element Class	Code	Construction Detail
	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Walls	5	Drywall
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	22.00	



Building 7 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	7,192	7,192	\$329,290
CAN	700		\$9,615
CAN	64		\$870
Totals	7,956	7,192	\$339,775

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	1	1979	0	0	20,154.00	\$18,458
0640	UTILITY CB	1	1988	14	16	224.00	\$3,382
0060	CONCRETE PAVEMENT	1	1979	0	0	11,869.00	\$25,922
0260	FENCE CL6	1	1979	0	0	1,640.00	\$12,956
8888	SPECIAL IMPR	1	1979	0	0	70,916.00	\$70,916
8888	SPECIAL IMPR	1	1978	0	0	12,288.00	\$12,288
1020	TANK STEEL WATER	1	1978	0	0	301,000.00	\$141,380
1030	TANK CONCRETE WATER	1	1978	0	0	120,000.00	\$133,560
1030	TANK CONCRETE WATER	1	1997	0	0	5,000,000.00	\$2,640,000
1030	TANK CONCRETE WATER	1	2003	0	0	5,000,000.00	\$2,772,000
0640	UTILITY CB	1	1997	28	22	616.00	\$10,790
8888	SPECIAL IMPR	1	1997	0	0	54,000.00	\$54,000
0660	CELL TOWER BLDG	1	2003	30	12	360.00	\$20,790
0660	CELL TOWER BLDG	1	2003	28	12	336.00	\$19,404
0660	CELL TOWER BLDG	1	2003	16	10	160.00	\$9,240
0660	CELL TOWER BLDG	1	2003	24	12	288.00	\$16,632
0520	CANOPY	0	2020	10	12	120.00	\$1,836

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	PD-A	0.0	0.0	AC ACREAGE	53.38	\$893,528
9610	LOWLANDS	PD-A	0.0	0.0	AC ACREAGE	3.21	\$2,408

Legal Description

THAT PART OF SECTIONS 23 AND 24 DESC AS BEG 2632.49 FT S OF NE COR OF SEC 23 AND RUN E 679.56 FT S 420.88 FT S 10 DEG 37 MIN 07 SEC E 1166.17 FT W 1616.49 FT N 17 DEG 04 MIN 19 SEC W 354.31 FT N 13 DEG 04 MIN 19 SEC W 550 FT N 08 DEG 04 MIN 19 W 448.12 FT N 03 DEG 11 MIN 04 SEC W 293.89 FT AND E 1033.83 FT TO BEG LESS TRACT BEG 50 FT FT OF NE COR OF SE 1/4 AND RUN S 200 FT W 200 FT N 200 FT AND E 200 FT TO BEG LESS FOLLOWING TRACT COM AT NW COR SEC 24-27-19 S00 DEG 17 MIN 52 SEC W 2632.39 FT S89 DEG 30 MIN 04 SEC E 679.56 FT S 00 DEG 44 MIN 55 SEC W 376.24 FT FOR POB S 00 DEG 44 MIN 55 SEC W 44.94 FT S 10 DEG 37 MIN 32 SEC E 91.37 FT N 70 DEG 53 MIN 28 SEC W 94.97 FT S 39 DEG 32 MIN 27 SEC W 257.14 FT S 13 DEG 44 MIN 33 SEC E 10.29 FT N 90 DEG 00 MIN 00 SEC W 333.18 FT N 00 DEG 20 MIN 17 SEC W 347.15 FT CURVE TO RIGHT RAD 427.23 FT CHRDR BRG S 82 DEG 51 MIN 00 SEC E 64.50 FT S 78 DEG 56 MIN 24 SEC E 49.89 FT CURVE TO LEFT RAD 265.64 FT CHRDR BRG N 89 DEG 10 MIN 35 SEC E 109.41 FT CURVE TO RIGHT RAD 400 FT CHRDR BRG N 81 DEG 43 MIN 48 SEC E 61.89 FT CURVE TO RIGHT RAD 706.21 FT CHRDR BRG S 87 DEG 17 MIN 20 SEC E 160.96 FT AND S 80 DEG 44 MIN 42 SEC E 127.23 FT TO POB

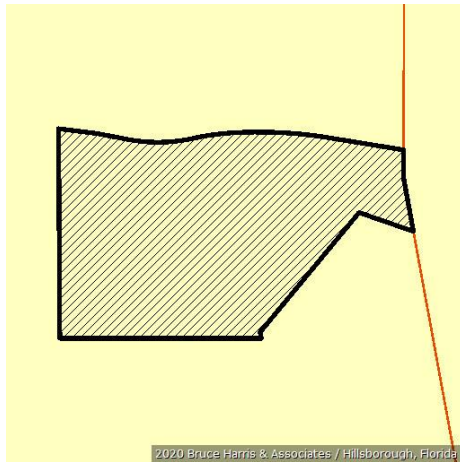
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033970-0110



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Owner Information

Owner Name	TAMPA BAY WATER
Mailing Address	2575 ENTERPRISE RD CLEARWATER, FL 33763-1102
Site Address	17121 DONA MICHELLE DR, TAMPA
PIN	A-24-27-19-ZZZ-000001-20830.1
Folio	033970-0110
Prior PIN	A-23-27-19-ZZZ-000001-20830.0
Prior Folio	033970-0100
Tax District	TA - TAMPA
Property Use	8700 STATE
Plat Book/Page	/
Neighborhood	216012.00 Branchton Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$3,040,714	\$2,961,097	\$2,961,097	\$0
Public Schools	\$3,040,714	\$3,040,714	\$3,040,714	\$0
Municipal	\$3,040,714	\$2,961,097	\$2,961,097	\$0
Other Districts	\$3,040,714	\$2,961,097	\$2,961,097	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21700	1585	02	2013	WD	Unqualified	Vacant	\$100

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	0	2014	0	0	368.00	\$1,340
0260	FENCE CL6	0	2014	0	0	1,710.00	\$19,183
0640	UTILITY CB	0	2014	0	0	950.00	\$14,345
0640	UTILITY CB	0	2014	0	0	2,204.00	\$33,280
0640	UTILITY CB	0	2014	0	0	216.00	\$3,262
0640	UTILITY CB	0	2014	0	0	770.00	\$11,627
1030	TANK CONCRETE WATER	0	2014	0	0	5,000,000.00	\$2,838,000

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
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Legal Description

COM AT NW COR SEC 24-27-19 S00 DEG 17 MIN 52 SEC W 2632.39 FT S89 DEG 30 MIN 04 SEC E 679.56 FT S 00 DEG 44 MIN 55 SEC W 376.24 FT FOR POB S 00 DEG 44 MIN 55 SEC W 44.94 FT S 10 DEG 37 MIN 32 SEC E 91.37 FT N 70 DEG 53 MIN 28 SEC W 94.97 FT S 39 DEG 32 MIN 27 SEC W 257.14 FT S 13 DEG 44 MIN 33 SEC E 10.29 FT N 90 DEG 00 MIN 00 SEC W 333.18 FT N 00 DEG 20 MIN 17 SEC W 347.15 FT CURVE TO RIGHT RAD 427.23 FT CHRDR BRG S 82 DEG 51 MIN 00 SEC E 64.50 FT S 78 DEG 56 MIN 24 SEC E 49.89 FT CURVE TO LEFT RAD 265.64 FT CHRDR BRG N 89 DEG 10 MIN 35 SEC E 109.41 FT CURVE TO RIGHT RAD 400 FT CHRDR BRG N 81 DEG 43 MIN 48 SEC E 61.89 FT CURVE TO RIGHT RAD 706.21 FT CHRDR BRG S 87 DEG 17 MIN 20 SEC E 160.96 FT AND S 80 DEG 44 MIN 42 SEC E 127.23 FT TO POB

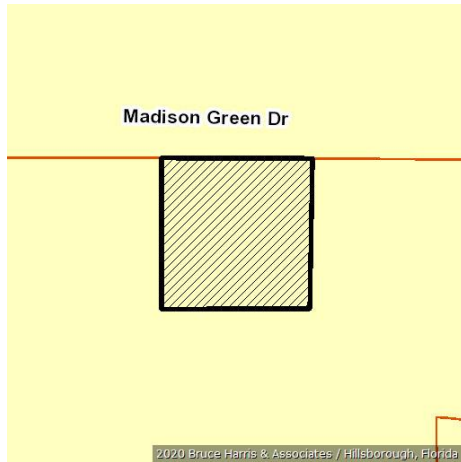
DRAFT



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https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033970-0200



Owner Information

Owner Name	CITY OF TAMPA
Mailing Address	ATTN REAL ESTATE DIVISION 306 E JACKSON ST TAMPA, FL 33602-5223
Site Address	17101 BRUCE B DOWNS BLVD, TAMPA
PIN	A-23-27-19-ZZZ-000001-20850.0
Folio	033970-0200
Prior PIN	
Prior Folio	033970-0100
Tax District	TA - TAMPA
Property Use	8900 MUNICIPAL
Plat Book/Page	/
Neighborhood	216012.00 Branchton Area
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$39,012	\$39,012	\$39,012	\$0
Public Schools	\$39,012	\$39,012	\$39,012	\$0
Municipal	\$39,012	\$39,012	\$39,012	\$0
Other Districts	\$39,012	\$39,012	\$39,012	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
12040	1279	10	2002	WD	Unqualified	Vacant	\$3,400
3137	1610	07	1976	WD	Unqualified		\$20,000

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	0	2006	0	0	200.00	\$1,580

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	PD-A	0.0	0.0	AC ACREAGE	0.92	\$37,432

Legal Description

TRACT BEG 50 FT W OF NE COR OF SE 1/4 RUN S 200 FT W 200 FT N 200 FT AND E 200 FT TO POB



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Closure Site Inspection Report

Facility Information

Facility ID: 8624903 County: HILLSBOROUGH Inspection Date: 06/02/2009
Facility Name: TAMPA CITY-WATER DEPT-PRODUCT DIV Facility Type: C - Fuel user/Non-retail
17101 DONA MICHELLE DR # Of Inspected ASTs: 3
TAMPA, FL 33647 USTs: 0
Latitude: 28° 7' 8.5504" Mineral Acid Tanks: 0
Longitude: 82° 22' 15.3892"
L/L Method: DPHO

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility


Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFICER
Insurance Carrier:
Effective Date: 01/31/2009 Expiration Date: 01/31/2010

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION
Storage Tank Program Office

CHRISTY JACOBS

Inspector Name


Inspector Signature

(813) 627-2600

Storage Tank Program Office Phone Number

Mailed to Carlos Diaz Estrada

Facility Representative Name

No signature available

Facility Representative Signature

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date
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Completed Tests

Annual Operability Test	12/09/2008	Passed	12/10/2008	12/09/2009
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Outstanding Violations

Significance Name: Minor

Rule Number(s): 62-762.501(1)(b)

Violation Text: AST system exterior coating does not meet standards.

Explanation: Piping on the Convault system tank # 9 needs re-painted according to the rule.

Corrective Action: Re-paint piping to meet rule standards

Attachments:

Piping on the Convault system Tank # 9



Significance Name: Minor

Rule Number(s): 62-762.701(6)

Violation Text: Secondary containment not repaired per 762.501(1)(e).

Explanation: Secondary containment does not meet the rule standards

Corrective Action: Repair and recoat concrete containment area.

Attachments:

Diesel Containment area Tank # 7R1



Attachments:

Unleaded gas containment area tank
8R1



Inspection Comments

06/02/2009 LOCATION: Bruce B. Downs/Donna Michelle Rd

On 6/02/09 - TXI/CJ - I visited the facility to confirm removal of the gasoline AST for the Closure Inspection. Jerry Giovinazzo, employee, on site.

EPC representative was not on site during removal of tank.

Closure Assessment is not required because storage tank system sat in secondary containment. No evidence of staining observed.

Tank Removal: Yes. Tank was removed from site 5/06/09 with EPC's approval and notification

Storage tank number: 8R1 removed from containment. FDEP QA/QC representative noted to repair and recoat concrete containment area. This violation remains open for Diesel Containment area Tank #7R1

Storage tank size: 1,000

Storage tank construction: Single-walled AST with aboveground piping limited to where the meter was mounted to tank

Storage tank integrity: Appeared to be in good condition during last Compliance Inspection

Amount of product removed from tank: ~150 gallons

Did any spillage occur during the removal? Did not witness

Degassing method: Per Gina Monte, dry ice used

Piping construction: Aboveground steel appeared in good condition during the last Compliance Inspection dated 12/09/08

Piping integrity: Did not witness

Piping removed: Yes all aboveground piping & meter

Depth to groundwater: N/A

Received the following:

- Limited Closure Summary Report
- Insurance: City of Tampa - Self-Insured, Letter from Chief Financial Officer signed 1/29/09
- Current Registration Placard: 5/12/08 - 6/30/09
- Manifests for disposal of product and tank - FCC Environmental & Kuei Tyan, LLC

Inspection Attachments

Inspection Attachments

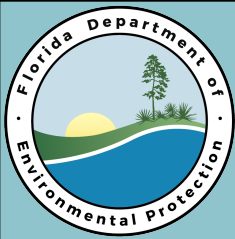
01. 2003-01-29 Previous 8R1
Gasoline AST



02. 2009-06-02 TXI 1,000 Gasoline
AST remove (~250 gal non-regulated
AST)



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Facility Information:

Facility ID: 8624903 County: HILLSBOROUGH Inspection Date: 10/26/2017
 Facility Type: C - Fuel user/Non-retail
 Facility Name: TAMPA CITY-WATER DEPT-PRODUCT DIV # of Inspected ASTs: 2
 17101 DONA MICHELLE DR USTs: 0
 TAMPA, FL 33647 Mineral Acid Tanks: 0
 Latitude: 28° 7' 8.5504"
 Longitude: 82° 22' 15.3892"
 LL Method: DPHO

Inspection Result:

Result: Minor Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Katie C Young

Emailed to John Krokenberger on 11/09/2017.

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

Financial Responsibility:

Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFICER

Insurance Carrier:

Effective Date: 04/15/2017

Expiration Date: 04/15/2018

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	10/05/2016	Passed	11/09/2017	10/05/2017	Performed by in-house personnel.
Annual Operability Test	10/03/2017	Passed	11/09/2017	10/03/2018	Performed by in-house personnel.
Annual Operability Test	10/16/2015	Passed	11/09/2017	10/16/2016	Performed by in-house personnel.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	04/15/2016	04/15/2017	
Two Years	Certificate of Financial Responsibility	04/15/2015	04/15/2016	
Two Years	Certificate of Financial Responsibility	04/15/2017	10/26/2017	
Two Years	Monthly Maint. Visual Examinations and Results	09/04/2015	10/05/2017	
Two Years	Electronic Release Detection Equip. Monthly Checks	09/04/2015	10/05/2017	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-762.501(1)(f)
 Violation Text: Exterior portions of tanks and integral piping not protected from external corrosion, deterioration or degradation for shop fabricated tank systems.

Facility ID: 8624903

Explanation: Piping leading from Tanks 7R1 and 9 to the piping trench was in contact with weeds and debris.

Corrective Action: Remove weeds and debris to prevent contact with piping and contact EPC for re-inspection.

Violation Photos

Added Date 11/09/2017

2017-10-26 Piping in Contact with Weeds



Added Date 11/09/2017

2017-10-26 Remove weeds from piping



Inspection Comments

10/26/2017

10/26/2017 - KCY/TCI - Met onsite with John Krokenberger, Mike and Chris of City of Tampa Water department for the routine compliance inspection.

FDEP #7R1

RELEASE DETECTION:

- Visual inspections of tank system and components.
- Visual monitoring of tank secondary containment area.

TANK: (1) 12,000 gallon single-walled Steel AST with aboveground piping that feeds to an Emergency Generator. Tank is located within sealed concrete secondary containment.

- Secondary containment area appeared in good condition and contained less than 1 inch of water in northern corner.
- Metal gravity drain valve for containment on eastern side of containment appeared in closed position and was locked.

Tank is equipped with the following:

- Product label.
- Normal & emergency vents.
- Electrical grounding present.
- Overfill protection: secondary containment used as overfill protection.
- Remote fill located inside secondary containment

Facility ID: 8624903

- Supply line equipped with solenoid valve and gate valve
- Aboveground single-walled steel piping runs through a steel-grate-covered cement trench to generators.

Piping leading to the piping trench was in contact with weeds and debris. Remove weeds and debris to prevent contact with piping and contact EPC for re-inspection.

No obvious signs of leakage detected.

FDEP #9

RELEASE DETECTION:

- Monthly visual inspections of tank's systems, components, and surroundings
- Electronic monitoring of tank's interstitial spaces
- Pneumercator Panel - tested functional
- Audible/visual alarm - functional. No alarms noted.

TANK: (1) 12,000 gallon Convault AST with aboveground steel piping feeds to Emergency generators. Tank is equipped with the following:

- Product label - Diesel
 - Normal/emergency vents
 - Electrical grounding
 - Top-fill spill containment bucket inspected, appeared dry and intact.
 - Overfill protection - high level alarm. Alarm tested - functional.
 - Supply line equipped with solenoid valve and manual isolation valve at top of tank and piping connection
 - Aboveground single-walled steel piping runs through a steel covered cement trench to generators.
- No obvious signs of leakage noted.

Piping trench contains piping for both storage tank systems - inspected, appeared dry and intact. Piping appeared in good condition.

NOTE: Both emergency generators are equipped with one 180 gallon capacity day tank.

RECORDS:

- Current registration placard posted onsite: (2) tanks.
- Monthly visual inspection records reviewed and include:

Visual inspections of tank systems and components

Visual inspection of secondary containments for Tank #7R1.

Alarm panel status checks for Tank #9.

Audiovisual alarm tests for Tank #9.

Inspections performed within 35 days. No problems noted in logs. **An alarm history report must be kept for all facilities using electronic monitoring. For systems with printing capabilities, this report is required to be printed every month. For systems without printing capabilities, a written journal of alarms must be kept.

- Upon renewal or expiration of existing self-insurance, the following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3) must be used to demonstrate Financial Responsibility: the updated CFR form (Part P) along with Part A and a signed copy of the letter from the CFO. http://www.dep.state.fl.us/waste/categories/tanksfr/pages/all_forms.htm

New Testing Requirements:

**Overfill protection devices must be tested for operability prior to January 11, 2018 and every 12 months thereafter.

Facility ID: 8624903

Inspection Photos

Added Date 11/09/2017

2017-10-26 Site Photo



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Detailed Facility Report

Facility Summary

MORRIS BRIDGE WATER TREATMENT FACILITY
17101 DONA MICHELLE DR, TAMPA, FL 33647

FRS (Facility Registry Service) ID: 110043539356
 EPA Region: 04
 Latitude: 28.11861
 Longitude: -82.37168
 Locational Data Source: FRS
 Industry: No description found
 Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
CWA	--	--	No Violation Identified	0	0	--	--	--	--	--
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information
 Clean Water Act (CWA): Minor, Permit Terminated; Compliance Tracking Off (FLG071771), Minor, Permit Effective (FLR10SL87)
 Resource Conservation and Recovery Act (RCRA): Active (FLT100081017)
 Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
 Greenhouse Gas Emissions (eGGRT): No Information
 Toxic Releases (TRI): No Information
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110043539356					N	28.11861	-82.37168
ICIS-NPDES	CWA	FLG071771	Minor: General Permit Covered Facility	Terminated; Compliance Tracking Off		03/23/2022	N	28.1192216	-82.3716792
ICIS-NPDES	CWA	FLR10SL87	Minor: General Permit Covered Facility	Effective	Storm Water Construction	02/10/2024	N	28.1188	-82.3702
RCRAInfo	RCRA	FLT100081017	VSQG	Active (H)			N		

Facility Address

System	Statute	Identifier	Facility Name	Facility Address
FRS		110043539356	MORRIS BRIDGE WATER TREATMENT FACILITY	17101 DONA MICHELLE DR, TAMPA, FL 33647
ICIS-NPDES	CWA	FLG071771	MORRIS BRIDGE WATER TREATMENT FACILITY	17101 DONA MICHELLE DR, TAMPA, FL 33647
ICIS-NPDES	CWA	FLR10SL87	MORRIS BRIDGE WATER TREATMENT FACILITY	17101 DONA MICHELLE DR, TAMPA, FL 33647
RCRAInfo	RCRA	FLT100081017	MORRIS BRIDGE WATER TREATMENT FACILITY	17101 DONA MICHELLE DR, TAMPA, FL 33647

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12	QTR 13+
	Quarterly Noncompliance Report History													
	CWA (Source ID: FLR10SL87)	10/01-12/31/16	01/01-03/31/17	04/01-06/30/17	07/01-09/30/17	10/01-12/31/17	01/01-03/31/18	04/01-06/30/18	07/01-09/30/18	10/01-12/31/18	01/01-03/31/19	04/01-06/30/19	07/01-09/30/19	10/01-01/03/20
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	Undetermined
	Quarterly Noncompliance Report History													

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
	RCRA (Source ID: FLT100081017)	01/01-03/31/17	04/01-06/30/17	07/01-09/30/17	10/01-12/31/17	01/01-03/31/18	04/01-06/30/18	07/01-09/30/18	10/01-12/31/18	01/01-03/31/19	04/01-06/30/19	07/01-09/30/19	10/01-12/31/19
	Facility-Level Status	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified

Informal Enforcement Actions (5 Years)

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Formal Enforcement Actions (5 Years)

Statute	System	Law/Section	Source ID	Action Type	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty	State/Local Penalty	SEP Cost	Comp Action Cost
No data records returned														

Environmental Conditions

Water Quality

Permit ID	Combined Sewer System?	Number of CSO (Combined Sewer Overflow) Outfalls	12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Impaired Waters	Impaired Class	Causes of Impairment(s) by Group(s)	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
FLG071771			031002050501	Trout Creek-Hillsborough River		303(D) Listed	5	NUTRIENTS ORGANIC ENRICHMENT/OXYGEN DEPLETION PATHOGENS	Yes
FLR10SL87						No			Yes

Water Body Designated Uses

Reach Code	Water Body Name	Exceptional Use	Recreational Use	Aquatic Life Use	Shellfish Use	Beach Closure Within Last Year	Beach Closure Within Last Two Years
03100205000054	Trout Creek	No	No	No	No	No	No

Reach Code	Water Body Name	Exceptional Use	Recreational Use	Aquatic Life Use	Shellfish Use	Beach Closure Within Last Year	Beach Closure Within Last Two Years
		No	No	No	No	No	No

Air Quality

Nonattainment Area?	Pollutant(s)	Applicable Nonattainment Standard(s)
No	Ozone	
No	Lead	
No	Particulate Matter	
No	Carbon Monoxide	
No	Nitrogen Dioxide	
No	Sulfur Dioxide	

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-site Releases	Total Off-site Transfers
No data records returned								

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
No data records returned

Demographic Profile

EJSCREEN EJ Indexes

Eleven primary environmental justice (EJ) indexes of EJSCREEN, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJSCREEN provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJSCREEN home page](#).

Census Block Group EJ Indexes (percentile)	
Particulate Matter (PM 2.5)	68.6
Ozone NATA Diesel PM	68.4
NATA Air Toxics Cancer Risk	69.3
NATA Respiratory Hazard Index (HI)	69
Traffic Proximity	75.8
Lead Paint Indicator	62.5
Superfund Proximity	79.6
Risk Management Plan (RMP) Proximity	63.9
Hazardous Waste Proximity	66.1
Wastewater Discharge Proximity	76.1

Number of EJ Indexes Above 80th Percentile
0

[View EJSCREEN Report](#)

Demographic Profile of Surrounding Area (3 Miles)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 US Census and American Community Survey data, and are accurate to the extent that the facility latitude and longitude listed below are correct. The latitude and longitude are obtained from the EPA Locational Reference Table (LRT) when available.

General Statistics	
Total Persons	31,165
Population Density	1,167/sq.mi.
Percent Minority	40%
Households in Area	12,396
Housing Units in Area	13,727
Households on Public Assistance	52
Persons Below Poverty Level	7,832

Geography	
Radius of Selected Area	3 mi.

Age Breakdown - Persons (%)	
Children 5 years and younger	1,762 (6%)
Minors 17 years and younger	7,758 (25%)
Adults 18 years and older	23,407 (75%)
Seniors 65 years and older	2,194 (7%)

Race Breakdown - Persons (%)	
White	21,993 (71%)
African-American	3,963 (13%)
Hispanic-Origin	4,648 (15%)
Asian/Pacific Islander	3,176 (10%)

Geography	
Center Latitude	28.11861
Center Longitude	-82.37168
Land Area	96%
Water Area	4%

Income Breakdown - Households (%)	
Less than \$15,000	870 (7.25%)
\$15,000 - \$25,000	876 (7.3%)
\$25,000 - \$50,000	2,846 (23.72%)
\$50,000 - \$75,000	2,023 (16.86%)
Greater than \$75,000	5,383 (44.87%)

Race Breakdown - Persons (%)	
American Indian	75 (0%)
Other/Multiracial	1,958 (6%)

Education Level(Persons 25 & older) - Persons (%)	
Less than 9th Grade	342 (1.82%)
9th through 12th Grade	252 (1.34%)
High School Diploma	2,404 (12.78%)
Some College/2-year	5,188 (27.58%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	10,625 (56.48%)

DRAFT



Facility Information:

Facility ID: 8624903 County: HILLSBOROUGH Inspection Date: 07/30/2019
 Facility Type: C - Fuel user/Non-retail
 Facility Name: TAMPA CITY-WATER DEPT-PRODUCT DIV # of Inspected ASTs: 2
 17101 DONA MICHELLE DR USTs: 0
 TAMPA, FL 33647 Mineral Acid Tanks: 0
 Latitude: 28° 7' 8.5504"
 Longitude: 82° 22' 15.3892"
 LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to Josh Ellis on 08/06/2019

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

City of Tampa

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit:
<https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFICER

Insurance Carrier:

Effective Date: 04/15/2019 Expiration Date: 04/15/2020

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	10/02/2018	Passed	08/06/2019	10/02/2019	Release detection devices; Performed by in-house personnel
Annual Operability Test	02/20/2019	Passed	08/06/2019	02/20/2020	Release detection devices; Performed by in-house personnel

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Electronic Release Detection Equip. Monthly Checks	11/03/2017	07/03/2019	
Two Years	Monthly Maint. Visual Examinations and Results	11/03/2017	07/03/2019	
Two Years	Certificate of Financial Responsibility	04/15/2018	04/15/2019	
Two Years	Certificate of Financial Responsibility	04/15/2019	07/30/2019	

New Violations

Type: **Violation**

Significance: **SNC-B**

Rule: **62-762.501(2)(e), 62-762.501(2)(e)1., 62-762.501(2)(e)2., 62-762.501(2)(e)2.a., 62-762.501(2)(e)2.b., 62-762.501(2)(e)2.c., 62-762.501(2)(e)2.d., 62-762.501(2)(e)3.**

Violation Text: **Failure to provide approved overfill protection for shop fabricated tank systems.**

Explanation: **Operability testing of the overfill protection device was to be completed by January 11th 2018 and each subsequent year. Operability test results for**

2018 and 2019 were not available for review.

Corrective Action: Perform operability test of the overflow protection device on tank #9 and submit test results to EPC for review.

Inspection Comments

07/30/2019

2019-07-30 GN met on site with Josh Ellis of the City of Tampa for the compliance inspection of the storage tank system

Tank #7R1

Release detection :

- Visual inspections of the tank system and components
- Visual monitoring of the sealed secondary containment area: appeared to be dry
- Secondary containment area appeared to be in good condition

Tank: (1) 12,000 gallon single walled Steel AST for emergency generator use is located within a sealed secondary containment area and equipped with:

- Product label: Diesel
 - Normal and emergency venting
 - Spill containment: sealed secondary containment area
 - Overflow protection: sealed secondary containment area
 - Aboveground, single walled coated steel piping runs through a steel covered cement trench to the generators: piping appeared to be in good condition
 - Supply line equipped with a solenoid and gate valve located within the secondary containment area
 - Tank exterior: appeared to be in good condition
 - Electrical grounding present
- No obvious signs of leakage noted

Tank #9:

Release detection:

- Visual inspections of the tank systems and component
 - Electronic monitoring of the tank interstice using a Pneumercator LC1000 alarm panel
- Panel currently not indicating any leak alarms
- Audible/Visual alarm test check: appeared operational
- System does not have printing capabilities

Tank: (1) 12,000 gallon double walled Convault aboveground storage tank for emergency generator use is located on a concrete pad and equipped with:

- Product label: Diesel
 - Normal and emergency venting
 - Spill containment bucket: appeared to be dry and intact
 - Overflow protection: high level alarm: appeared to be operational
 - Aboveground, single walled coated steel piping runs through a steel covered cement trench to the generator:piping appeared to be in good condition
 - Supply line equipped with a manual isolation and anti-siphon valve
 - Tank exterior: appeared to be in good condition
 - Electrical grounding present
- No obvious signs of leakage noted

Facility ID: 8624903

Unregulated tanks:

-(2) 180 gallon day tanks: no obvious signs of leakage noted

Records:

-Current registration placard: (2) tanks

-Monthly inspections performed within 35 days and include:

Visual inspections of the tank system and components

Visual monitoring of the sealed secondary containment area (Tank #7R1)

Alarm panel status updates (Tank #9)

Audible/Visual alarm test checks (Tank #9)

In the event of an alarm, facility would record it on the monthly inspection logs (Tank #9)

-No problems noted in logs

-Operability testing of the overfill protection device was to be completed by January 11th 2018 and each subsequent year. Operability test results for 2018 and 2019 were not available for review.

Perform operability test of the overfill protection device on tank #9 and submit test results to EPC for review.

Review:

-Reviewed inspection results with on site operator Josh Ellis of the City of Tampa

Inspection Photos

Added Date 08/06/2019

Added Date 08/06/2019

2019-07-30 Tank #7R1

2019-07-30 Tank #9



COMMISSION

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Richard Tschantz, Esq. LEGAL/ADMIN
Sterlin Woodard, P.E. AIR MGMT

09/23/2019

Mr. Josh Ellis
City of Tampa
7125 N 30th Street
Tampa, FL 33610

RE: Return to Compliance

Tampa City- Water Dept. Product Div. 17101 Dona Michelle Dr. Tampa
DEP Facility ID#: 29/8624903
Hillsborough County – Storage Tanks

Dear Mr. Ellis:

The Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection, will not need to issue another Compliance Assistance Offer letter to the above-referenced facility. Based on the documentation provided on 09/20/2019, the facility was determined to have returned to compliance with the Department's Storage Tank rules and regulations.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Amanda Moseley at 813-627-2600, ext. 1333 and/or moseleya@epchc.org.

Sincerely,

Amanda Moseley

Environmental Supervisor

Environmental Excellence in a Changing World

Roger P. Stewart Center
3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org

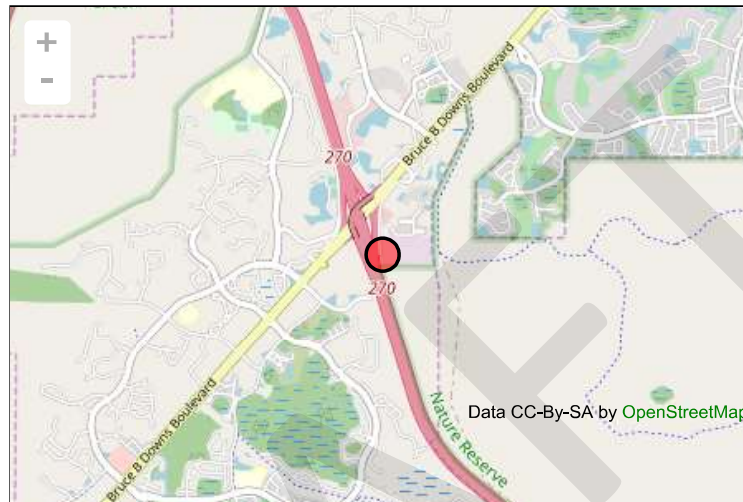
Florida > Hillsborough

MORRIS BRIDGE WATER TREATMENT FACILITY CERCLIS SITE

EPA Identifier: 110043539356
CERCLIS ID: 110043539356
Location:
 28.11861, -82.37168

Address:
 17101 DONA MICHELLE DR
 TAMPA, FL

Create Date: 07-JUN-11



Programs: {RCRAINFO}
Program Interests:
 CESQG

SWITCH STATES

Alabama • Alaska • Arizona • Arkansas • California • Colorado • Connecticut • Delaware
 District of Columbia • Florida • Georgia • Hawaii • Idaho • Illinois • Indiana • Iowa
 Kansas • Kentucky • Louisiana • Maine • Maryland • Massachusetts • Michigan • Minnesota
 Mississippi • Missouri • Montana • Nebraska • Nevada • New Hampshire • New Jersey • New Mexico
 New York • North Carolina • North Dakota • Ohio • Oklahoma • Oregon • Pennsylvania • Rhode Island
 South Carolina • South Dakota • Tennessee • Texas • Utah • Vermont • Virginia • Washington
 West Virginia • Wisconsin • Wyoming

*The data presented on this website was gathered from a variety of government sources. Nationwide Environmental Title Research, LLC (NETR) makes no warranties expressed or implied as to the accuracy or completeness of this data. This data is not to be construed as legal advice. The inclusion of a facility in the National Priorities List does not reflect a judgment of its owner or operator or make the owner or operator take any action. It also does not assign any liability to any person or company. It serves as a source of information by identifying facilities or other hazardous substance releases that appear to warrant remedial actions.

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Site 95

DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033970-1402



Owner Information

Owner Name	POINTE NEW YORK LLC
Mailing Address	C/O HOWARD BAUM 631 UNION RD SPRING VALLEY, NY 10977-2115
Site Address	5102 POINTE OF TAMPA WAY, TAMPA
PIN	A-23-27-19-5VI-000000-00007.0
Folio	033970-1402
Prior PIN	A-23-27-19-ZZZ-000000-00000.0
Prior Folio	033968-1998
Tax District	TA - TAMPA
Property Use	1420 CONV STORE/GAS A
Plat Book/Page	91/37
Neighborhood	216003.00 Tampa Palms North Area
Subdivision	5VI POINTE AT TAMPA PALMS PHASE 2

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,589,111	\$1,580,546	\$0	\$1,580,546
Public Schools	\$1,589,111	\$1,589,111	\$0	\$1,589,111
Municipal	\$1,589,111	\$1,580,546	\$0	\$1,580,546
Other Districts	\$1,589,111	\$1,580,546	\$0	\$1,580,546

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
11697	1046	06	2002	WD	Unqualified	Vacant	\$1,833,500
10492	1087	11	2000	WD	Unqualified	Vacant	\$720,000
10233	1047	06	2000	WD	Unqualified	Vacant	\$3,300,000

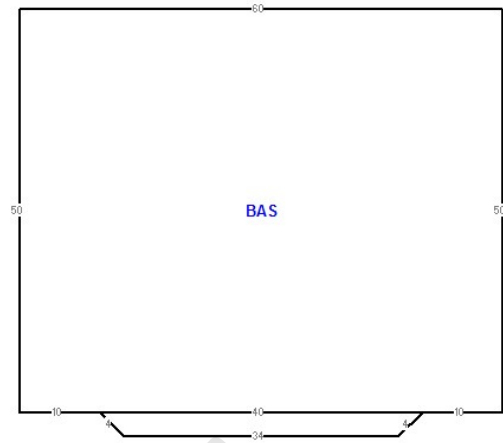
Building Information

Building 1

Type	43 CONVENIENCE STORE
Year Built	2002

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	8	Brick
Exterior Wall	5	Concrete Block
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	10.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	3,000	3,000	\$324,079
CAN	111		\$3,565
Totals	3,111	3,000	\$327,644

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0540	CANOPY GAS PUMP	1	2003	0	0	4,880.00	\$117,413
0060	CONCRETE PAVEMENT	1	2009	0	0	22,000.00	\$66,528
1051	UndrGrd fuel tank conv. stores	1	2019	0	0	10,000.00	\$22,040
1051	UndrGrd fuel tank conv. stores	1	2019	0	0	15,000.00	\$33,060

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
CO1E	Comm Class 14	PD-A	0.0	0.0	SF SQUARE FEET	64,508.00	\$1,022,426

Legal Description

POINTE AT TAMPA PALMS PHASE 2 PARCEL 7 LESS RD RW



Shaw Environmental, Inc.

RMC QA'ed
Initials _____ Date _____

A World of Solutions™

October 12, 2009

Mr. Harold D. Koechlein, P.G.
Environmental Protection Commission of Hillsborough County
3629 Queen Palm Drive
Second Floor South
Tampa, Florida 33619

Received

OCT 14 2009

Re: **Supplemental Site Assessment Report**
7-Eleven Store No. 33019
5102 Point Of Tampa Way
Tampa, Florida
FDEP Facility ID No.: 299804628, Non-Program Site
Project No. 134226-33019000

EPC Waste Mgmt. Divisio

Dear Mr. Koechlein:

The following Supplemental Site Assessment Report has been prepared by Shaw Environmental, Inc. (Shaw), on behalf of 7-Eleven, Inc., for the referenced site. This facility is a non-program site being rehabilitated under voluntary cleanup in accordance with Chapter 62-770, Florida Administrative Code (FAC). A Remedial Action Plan (RAP) Approval Order was issued on April 16, 2009, by the Florida Department of Environmental Protection (FDEP) following a review of the RAP by the Environmental Protection Commission of Hillsborough County (EPCHC). The approved RAP included installation and operation of an air sparge and soil vapor extraction (SVE) system to address the petroleum impacts at this facility. Shaw was preparing for RAP implementation and completed the baseline groundwater sampling event in accordance with the approved RAP. The baseline analytical results indicated decreased dissolved concentrations to levels only slightly above the Groundwater Cleanup Target Levels (GCTLs) specified in Chapter 62-777, Table I, FAC. Following discussions with the EPCHC, Shaw completed additional assessment including soil vapor screening and an additional groundwater sampling event. The results of the additional assessment and recommendations regarding the restoration strategy for the facility are presented in this report. A Site Map is presented as **Figure 1**.

Baseline Groundwater Sampling Event

The baseline groundwater sampling event was conducted on April 24, 2009, in accordance with the approved RAP sampling schedule. Samples were collected from monitor wells MW-1 through MW-8, MW-9D, MW-10, and observation wells OW-1 through OW-4. Well purging and groundwater sampling activities were conducted in accordance with the Florida Department of Environmental Protection's (FDEP) *DEP SOP-001/01, FS 2200, Groundwater Sampling*, revised March 31, 2008 (effective December 3, 2008), and *FDEP SOP-PCS-005 Groundwater Sampling Standard Operating Procedure Variances and Clarifications for Bureau of Petroleum/Storage System Sites*, May 2, 2005. Observation wells OW-3 and OW-4 purged dry within a few minutes. The technician allowed the well to recharge and collected the sample without recording the typical water quality parameters (hydrogen-ion concentration

[pH], temperature, conductivity, dissolved oxygen [DO], turbidity, color, and odor). Water level measurements were completed using an electronic water level sensor capable of measuring depth to groundwater to within 0.01 foot. Groundwater samples were collected and sent to Accutest Laboratories Southeast, Inc. (Accutest) in Orlando, Florida, for analyses for benzene, toluene, ethylbenzene, and total xylenes (BTEX) and methyl tertiary butyl ether (MTBE) by US Environmental Protection Agency (EPA) Method 8260B. The samples collected were also analyzed for polynuclear aromatic hydrocarbons (PAHs) by EPA Method 8310 from all monitor wells, excluding the four observation wells. Copies of the FDEP groundwater sampling logs, calibration sheets, laboratory analytical reports, and chain-of-custody records are in **Attachment A**.

Groundwater laboratory analytical results are summarized in **Table 1**. A groundwater analytical contour map illustrating the baseline results is presented on **Figure 2**. Dissolved concentrations exceeded GCTLs in MW-9D for benzene and MTBE. Natural Attenuation Default Concentrations (NADCs) were not exceeded. Concentrations were below GCTLs in all other wells sampled. The results indicated a significant reduction in concentrations since the previous sampling events in April and August 2008.

Water levels recorded during the event, in conjunction with top-of-casing readings, were used to calculate water table elevations. The groundwater elevation data is summarized in **Table 2**. A groundwater elevation contour map for the April 2009 event is presented as **Figure 3**. The map illustrates a groundwater flow direction varying from the northwest, west, and south, and is generally consistent with historical observations. The average groundwater table elevation decreased approximately 5 feet between August 2008 and April 2009.

Following receipt of the baseline results, Shaw contacted the EPCHC and recommended delaying remedial action construction to allow for the collection of additional assessment data. At the approval of the EPCHC, Shaw performed two SVE events, and a groundwater sampling event to evaluate the vadose zone conditions and to confirm the baseline groundwater results. The events are discussed below.

Soil Vapor Extraction Events

With the petroleum impact reductions observed during the baseline groundwater sampling event to only one well exceeding GCTLs, Shaw was interested to evaluate subsurface vapor conditions to determine if residual mass may be present that could serve as a continuing source of impacts when the groundwater elevations increased. Shaw discussed this consideration with the EPCHC and indicated Shaw planned to complete a vapor extraction screening event to evaluate vapor influent concentrations and to what degree of residual mass may be present.

On July 7, 2009, and August 3, 2009, Shaw performed SVE events with extraction from the pilot test vapor extraction laterals, VEL-1 and VEL-2, concurrently. The event was conducted for approximately 8 hours with periodic monitoring of SVE system readings and organic vapor analyzer (OVA) readings of the extracted vapor. During the first event, water levels and vacuum influence readings were collected from select monitor wells. Vacuum extraction was performed using Shaw-owned equipment including a

SVE blower and generator. A smaller blower was used for the second event which attributed to lower flow rates.

Influent and effluent vapor samples were collected at the beginning and end of the first event for determination of mass recovery rate and emissions. Influent samples were collected prior to the addition of bleed air. Effluent samples were collected from the emissions stack. Because the events were limited to 8 hours, emissions treatment was not provided. The samples were stored in Tedlar® bags and submitted to Accutest for analyses by EPA Method TO-3 for volatile organic halocarbons (VOHs). Copies of the vapor laboratory analytical report and chain-of-custody record are in **Attachment B**. Pertinent readings and analytical results of the vapor samples are summarized in **Table 3**.

The results of the SVE events suggest residual impacts may have remained in the vadose zone, especially within the influence of vapor extraction lateral VEL-1, which primarily includes the underground storage tank area based on pilot test results. The remaining mass may be insignificant considering the following observations:

- OVA readings reduced to less than 10 parts per million during each event.
- OVA readings decreased more rapidly during the second event, compared with the first which suggests a smaller residual mass.
- The initial OVA concentration was 80 percent less during the second event, which also suggests a smaller mass.

The first set of vapor samples collected at the beginning of the July 2009 event contained concentrations of BTEX, and total petroleum hydrocarbons (TPH), according to the analytical results. The vapor contained primarily TPH, with only a small fraction consisting of BTEX. The second set of samples collected at the end of the test did not contain any detectable hydrocarbons.

Supplemental Groundwater Sampling Event

A second groundwater sampling event was conducted on August 24, 2009. Samples were collected from monitor wells MW-1 through MW-4, MW-6, MW-7, MW-9D, and observation wells OW-1 through OW-4. Well purging and groundwater sampling activities were conducted in accordance with the FDEP's *DEP SOP-001/01, FS 2200, Groundwater Sampling*, revised March 31, 2008 (effective December 3, 2008), and FDEP *SOP-PCS-005 Groundwater Sampling Standard Operating Procedure Variances and Clarifications for Bureau of Petroleum Storage System Sites*, May 2, 2005. Turbidity readings for MW-9D were elevated but stable. Water level measurements were completed using an electronic water level sensor capable of measuring depth to groundwater to within 0.01 foot. Groundwater samples were collected and sent to Accutest to be analyzed for BTEX and MTBE by EPA Method 8260B. The samples collected from MW-1, MW-4, and MW-9D were also analyzed for PAHs by EPA Method 8310. Copies of the FDEP groundwater sampling logs, calibration sheets, laboratory analytical reports, and chain-of-custody records are in **Attachment A**.

Groundwater analytical results from the August 2009 sampling event are summarized in **Table 1**. A groundwater analytical contour map illustrating the results is presented on **Figure 4**. The MTBE concentration was the only constituent above the GCTL in MW-9D. Concentrations were below GCTLs in all other samples. The results represent a reducing trend in concentrations since the April 2009 event.

Water levels recorded during the event, in conjunction with top-of-casing readings, were used to calculate water table elevations. The groundwater elevation data is summarized in **Table 2**. A groundwater elevation contour map for the August 2009 event is presented as **Figure 5**. The map illustrates a westerly groundwater flow direction, which is generally consistent with historical observations. The average groundwater table elevation increased approximately 3.6 feet between April and August 2009.

Conclusions and Recommendations

Significant reductions in dissolved hydrocarbons have been indicated at this facility since April 2008. The reductions are likely attributed to a combination of pilot testing activities, natural attenuation, and a small mass that originally caused the impacts. Presently, dissolved impacts remain in only one well, MW-9D, at concentrations below NADCs. The trend in MW-9D since April 2008 has been a steady reduction in concentrations despite a decrease and subsequent increase in water table elevations associated with seasonal precipitation. Considering the results of the supplemental assessment, Shaw recommends postponing indefinitely implementation of remedial action, as outlined in the approved RAP, and pursuing natural attenuation monitoring (NAM). At this time, Shaw believes that any residual impacts that may have been present in the unsaturated zone are not contributing to the dissolved concentrations based on the significant reductions observed since April 2008, and the results of the SVE test indicating a minimal residual mass at the completion of the first SVE test. Additionally, the Site Assessment Report did not identify any soil impacts exceeding Soil Cleanup Target Levels at this facility. Shaw does not believe soil impacts remain at this facility based on this data. Therefore, Shaw recommends NAM per Rule 62-770.690, FAC, be implemented for rehabilitation at this facility for a period of up to 5 years.

Shaw proposes sampling of monitor wells MW-4 and MW-9D as source wells, and MW-6 as the downgradient well. The wells shall be sampled for BTEX and MTBE by EPA Method 8260B. No analysis for PAHs by EPA Method 8310 is proposed, as all wells have been below GCTLs for PAHs for at least two sampling events. Results will be summarized in quarterly NAM reports. If dissolved hydrocarbon concentrations remain below their respective GCTLs for two consecutive quarters, Shaw will recommend No Further Action status at that time in accordance with Chapter 62-770, FAC. In the event the EPCHC would prefer a different monitoring network, please call to discuss the wells and they can be included in the approval correspondence for this report.

The services described in this report were performed consistent with generally accepted professional consulting principles and practices. No other warranty, express or implied, is made. These services were performed consistent with our agreement with our client. This report is solely for the use and information

Mr. Harold D. Koechlein, P.G.
October 12, 2009
Page 5

of our client, the county, and the FDEP, unless otherwise noted. Any reliance on this report by a third party is at such party's sole risk.

Opinions and recommendations contained in this report apply to conditions existing when services were performed and are intended only for the client, county, FDEP purposes, locations, timeframes, and project parameters indicated. Shaw is not responsible for the impacts of any changes in environmental standards, practices, or regulations subsequent to performance of services. Shaw does not warrant the accuracy of information supplied by others, nor the use of segregated portions of this report.

Shaw appreciates the EPCHC's assistance with this matter. In the event revisions or clarifications are necessary that can be addressed via e-mail to accelerate and streamline the schedule for this project, please e-mail the undersigned at Donald.L.Lewis@shawgrp.com. If you have any questions or require further information, please contact me at (813) 612-3653.

Sincerely,
Shaw Environmental, Inc.

Donald L. Lewis
Donald L. Lewis, P.E.
Project Manager
State of Florida License No. 50828

Date: *10/12/09*
Engineering Services Certificate of Authorization No. 9317

Attachments: Tables
Figures
Attachment A—Laboratory Analytical Reports, Chain-of-Custody Records, FDEP Groundwater Sampling Logs, and Calibration Sheets
Attachment B—Vapor Laboratory Analytical Report and Chain-of-Custody Record

cc: Ken Hilliard, 7-Eleven, Inc. (.pdf)
Jack Reynolds, Shaw
Shaw/7-Eleven Portal
Tampa Project File

DRAFT

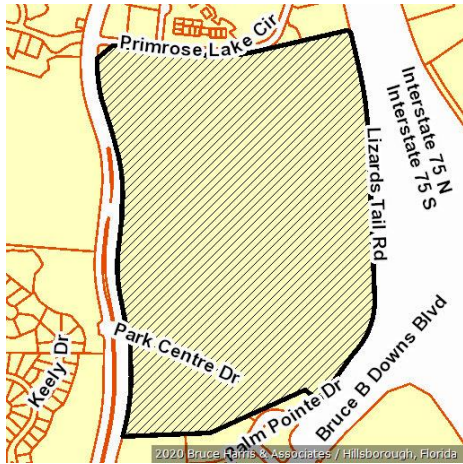
Site 96



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 033968-2024



Owner Information

Owner Name	UNITED SERVICES AUTOMOBILE ASSOC
Mailing Address	9800 FREDERICKSBURG RD SAN ANTONIO, TX 78240-4100
Site Address	17200 COMMERCE PARK BLVD, TAMPA
PIN	A-23-27-19-1BV-000000-00001.1
Folio	033968-2024
Prior PIN	
Prior Folio	033961-0000
Tax District	TA - TAMPA
Property Use	1810 OFF MULT-STY A
Plat Book/Page	69/52
Neighborhood	216003.00 Tampa Palms North Area
Subdivision	1BV TAMPA PALMS AREA 4 UNIT 1 AND AREA 8 UNIT 1

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$56,339,400	\$54,597,460	\$0	\$54,597,460
Public Schools	\$56,339,400	\$56,339,400	\$0	\$56,339,400
Municipal	\$56,339,400	\$54,597,460	\$0	\$54,597,460
Other Districts	\$56,339,400	\$54,597,460	\$0	\$54,597,460

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
5588	1642	01	1989	WD	Unqualified	Vacant	\$60,000,000

Building Information

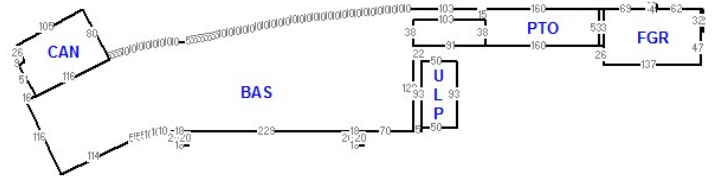
Building 1

Type 50 | OFFICE >2
STORY

Year Built 1993

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	10	Precast Panel
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	7.0	
Units	99.0	
Wall Height	12.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FGR	10,807		\$807,180
CAN	52		\$1,992
CAN	318		\$11,826
PTO	8,480		\$52,783
BAS	76,240	76,240	\$9,490,965
CAN	8,831		\$329,769
CAN	360		\$13,445
CAN	360		\$13,445
CLP	1,440		\$53,779
ULP	4,650		\$86,893
FGR	3,914		\$292,298
KTA	3,914	3,914	\$584,720
CAN	128		\$4,731
FUS	319,767	319,767	\$39,807,154
LBA	3,863	3,863	\$528,950
FST	43,426		\$2,703,008
CAN	16,663		\$622,316
Totals	503,213	403,784	\$55,405,254

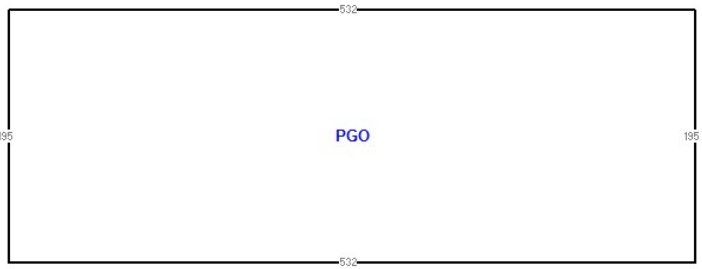
Building 2

Type 94 | PARKING GARAGE

Year Built 1993

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	10	Precast Panel
Roof Structure	12	Reinforced Concrete
Roof Cover	1	Minimum
Interior Walls	1	Masonry or Minimum
Interior Flooring	9	Precast Concrete
Heat/AC	0	None
Plumbing	0	None
Condition	3	Average
Stories	6.0	
Units	1.0	
Wall Height	12.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
PGO	622,440		\$11,770,838
Totals	622,440		\$11,770,838

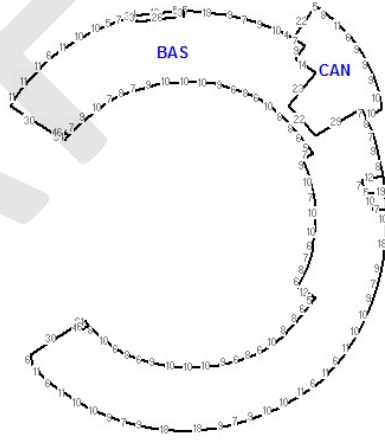
Building 3

Type 72 | DAY CARE CENTER

Year Built 1997

Building 3 Construction Details

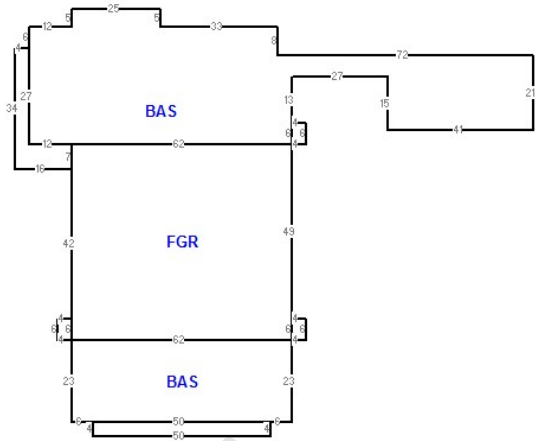
Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	34.0	
Wall Height	17.00	



Building 3 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	16,139	16,139	\$1,469,178
CAN	94		\$2,549
CAN	21		\$546
CAN	21		\$546
CAN	157		\$4,279
CAN	2,047		\$55,894
Totals	18,479	16,139	\$1,532,992

Building 4		
Type		49 OFFICE <3 STORY
Year Built		1993
Building 4 Construction Details		
Element Class	Code	Construction Detail
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	10	Steel Frame
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	15.00	



Building 4 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	3,558	3,558	\$361,420
CAN	220		\$6,704
FGR	3,410		\$207,832
CAN	24		\$711
BAS	1,426	1,426	\$144,852
CAN	200		\$6,095
CAN	24		\$711
CAN	24		\$711
Totals	8,886	4,984	\$729,036

Extra Features							
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0520	CANOPY	1	1993	61	39	2,379.00	\$21,839
0020	ASPHALT PAVING	1	1993	0	0	127,736.00	\$165,546
0060	CONCRETE PAVEMENT	1	1993	0	0	61,661.00	\$169,888
0890	TENNIS COURT	1	1993	0	0	15,000.00	\$66,375
0120	DECK WOOD	1	1993	0	0	2,430.00	\$11,543
0505	ACCESSORY BUILDING	1	1993	0	0	1,088.00	\$27,472
0640	UTILITY CB	1	1993	17	17	289.00	\$5,237
0300	FENCE WROUGHT IRON	1	1993	0	0	460.00	\$7,268
0870	GUARD HOUSE	1	1993	0	0	112.00	\$14,505
0270	FENCE CL8	1	1993	0	0	8,754.00	\$90,604
0020	ASPHALT PAVING	3	1997	0	0	19,378.00	\$26,788
0060	CONCRETE PAVEMENT	3	1997	0	0	580.00	\$2,514
0520	CANOPY	3	1997	0	0	968.00	\$5,924
0640	UTILITY CB	3	1997	10	10	100.00	\$1,752
0400	SCREEN ENCLOSURE	3	2006	0	0	14,696.00	\$48,203
0910	BASKETBALL COURT	0	2009	0	0	12,240.00	\$57,773
0610	BBQ PIT	0	2009	0	0	1.00	\$833
0640	UTILITY CB	1	2009	11	10	110.00	\$1,541
0115	CONCRETE PAVERS	1	2009	0	0	12,600.00	\$79,834

Land Information							
Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9931	Acreage Class 3	PD-A	0.0	0.0	AC ACREAGE	124.08	\$2,357,520
9610	LOWLANDS	PD-A	0.0	0.0	AC ACREAGE	33.27	\$24,952

Legal Description

TAMPA PALMS AREA 4 UNIT 1 AND AREA 8 UNIT 1 LOT 1 AND PARCEL DESCRIBED AS FOLLOWS: BEGIN AT N'MOST COR OF LOT 2 OF TAMPA PALMS AREA 4 UNIT 2/3A PB 69-51 THN RUN ALG THE SELY BDRY LINE OF TAMPA PALMS AREA 4 UNIT 1 AND AREA 8 UNIT 1 PB 67-52 THN NELY ALONG CURVE TO RT HAVING A RAD OF 220 FT AN ARC LENGTH OF 86.30 FT CHORD LENGTH OF 85.75 FT CB OF N 57 DEG 55 MIN 36 SEC E THN N 69 DEG 09 MIN 52 SEC E 198.98 FT THN ALG A CURVE TO THE LEFT HAVING A RAD OF 725 FT ARC LENGTH OF 375.83 FT CHORD LENGTH OF 371.63 FT CB N 54 DEG 18 MIN 50 SEC E TO NWLY R/W LINE OF LIZARDS TAIL RD THN S 39 DEG 27 MIN 48 SEC W 447.96 FT THN N 50 DEG 32 MIN 12 SEC W 140 FT THN S 65 DEG 33 MIN 00 SEC W 184.20 FT TO POB LESS THAT PART OF POINTE AT TAMPA PALMS PHASE 1 PB 91-36 2002 LYING WITHIN AND LESS THAT PART OF POINTE AT TAMPA PALMS PHASE 2 PB 91-37 2002 LYING WITHIN

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9300150 County: HILLSBOROUGH Inspection Date: 04/04/2011
 Facility Type: C -Fuel user/Non-retail
 Facility Name: USAA # Of Inspected ASTs: 1
 17200 COMMERCE PARK BLVD USTs: 0
 TAMPA, FL 33647 Mineral Acid Tanks: 0
 Latitude: 28° 7' 17.4415"
 Longitude: 82° 22' 39.8939"
 LL Method: AGPS

Inspection Result:

Result : Minor Out of Compliance
 Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
 Insurance Carrier: INDIAN HARBOR
 Effective Date: 06/01/2010 Expiration Date: 06/01/2013

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Monica L. Hamby
INSPECTOR NAME

Monica Hamby

INSPECTOR SIGNATURE

Kevin Sanders
REPRESENTATIVE NAME

NO SIGNATURE
REPRESENTATIVE SIGNATURE

Facility ID: 9300150

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	04/04/2011	04/04/2011	
Two Years	Certificate of Financial Responsibility	06/01/2010	06/01/2013	
Two Years	Monthly Maint. Visual Examinations and Results	06/20/2010	03/30/2011	

New Violations

Type: Violation
Significance: Minor
Rule: 62-761.700(1)(a)1.d., 62-761.700(1)(a)1.c., 62-761.700(1)(a)1.b., 62-761.700(1)(a)1.a.
Violation Text: Not repaired component which has or could cause a discharge or release.
Explanation: A small section of soil underneath piping is fuel stained. According to operator, this occurred during replacement of generator within next room. A small amount of fuel leaked out piping when being re-routed.
Corrective Action: Remove stained soils, dispose of properly and contact EPC for a re-inspection.

Violation Photos

Added Date 04/18/2011

2011-04-04 Stained soil underneath piping.



Inspection Comments

04/04/2011

04/04/2011, 1530hrs, MH/TCI Met on site with Kevin Saunders for annual compliance inspection.

Release Detection:

-Visual inspection of AST system and components, including interstitial monitoring port.

Tank #1: 4,000 gallon double walled DuoCon AST containing emergency generator fuel. Tank is equipped with:

-Product label.

-Normal and emergency venting.

Inspection Comments

- Spill containment bucket inspected-appears intact. Top fill.
- Overfill protection-Pneumercator fuel level sight gauge visible from fill, operator states manual gauging is also used.
- Interstitial monitoring port checked, appears dry.
- Coated, steel aboveground supply and return lines from the top of the tank run to a generator within building.
- Supply line equipped with a solenoid valve and manual isolation valves above product level.
- Exterior coating-appears in good condition.
- Electrical grounding present.

No obvious signs of leakage observed at tank system, however a small section of soil underneath piping is fuel stained. According to operator, this occurred during replacement of generator within next room. A small amount of fuel leaked out piping when being re-routed. Remove stained soils and contact EPC for a re-inspection.

Generator room checked, no obvious leakage noted. Pneumercator high level alarm is located in generator room and is also connected to monitoring panel in security office, according to operator. Audible/visual alarm tested-appears functional.

Records:

- Current registration placard posted: (1) tank.
 - Release Detection Response Level statement present, complete, and accurate.
 - Financial Responsibility: Indian Harbor Insurance, 06/01/10 to 06/01/13.
 - Certification of Financial Responsibility form: On site and current.
 - Monthly visual inspection log (06/20/10 to 03/30/11) reviewed and includes:
Visual inspection of AST system and components, including interstitial monitoring port. Tank interstitial checks and findings are documented (several months indicate a small amount of water in diesel interstice, water removed regularly).
- No leakage noted. Inspections performed within 35 days.



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9300150 County: HILLSBOROUGH Inspection Date: 12/18/2013
Facility Type: C -Fuel user/Non-retail
Facility Name: USAA # Of Inspected ASTs: 1
17200 COMMERCE PARK BLVD USTs: 0
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 17.4415"
Longitude: 82° 22' 39.8939"
LL Method: DPHO

Inspection Result:

Result : Major Out of Compliance
Description: Facility is Major Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: INDIAN HARBOR
Effective Date: 06/01/2013 Expiration Date: 06/01/2014

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9300150

Sahand Nasserri

INSPECTOR NAME

Emailed to Dennis King on 1/2/14

REPRESENTATIVE NAME



INSPECTOR SIGNATURE

NO SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit:

http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	12/18/2013	12/18/2013	
Two Years	Monthly Maint. Visual Examinations and Results	06/20/2012	12/14/2013	
Two Years	Certificate of Financial Responsibility	06/01/2013	06/01/2014	

New Violations

Type: Violation
Significance: **SNC-B**
Rule: **62-762.601(1)(d)**
Violation Text: **Release detection not performed at least once a month.**
Explanation: **Interstitial port has not been checked manually by the new operator since 6/2012.**
Corrective Action: **Submit the January 2014 monthly log with manual inspection of the interstitial port specifically documented to EPC.**

Type: Violation
Significance: Minor
Rule: 62-762.401(2)(a)6.
Violation Text: Registration placard is not displayed in plain view.
Explanation: Current registration placard not posted on site.
Corrective Action: Obtain a copy of the current registration placard and display in plain view and submit a copy to EPC.

Inspection Comments

12/18/2013

12/18/13-SN- Met on site with Dennis King for the annual compliance inspection.

Release Detection:

-Visual inspection of AST system and components, including interstitial monitoring port.

Inspection Comments

Tanks:

(1) 4,000 gallon double walled DuoCon AST containing emergency generator diesel fuel. Tank is equipped with:

- Product label.
- Normal and emergency venting.
- Spill containment bucket, inspected-appears intact. Top fill.
- Overfill protection-Pneumercator fuel level sight gauge visible from fill
- Interstitial monitoring port checked, contains less than an inch of water due to condensation
- Coated, steel aboveground supply and return lines from the top of the tank run to a generator within building.
- Supply line equipped with a solenoid valve and manual isolation valves above product level.
- Exterior coating-appears in good condition.
- Electrical grounding present.

Generator room checked, no obvious leakage noted. Pneumercator high level alarm is located in generator room and is also connected to monitoring panel in security office, according to operator. Audible/visual alarm tested-appears functional.

No obvious signs of leakage noted.

Other unregulated tanks: (1) 500 gallon waste oil AST.

Records:

-Current registration placard not posted on site. Obtain a copy of the current registration placard and display in plain view and submit a copy to EPC.

-Release Detection Response Level statement present, complete, and accurate.

-Monthly visual inspection logs reviewed and includes:

Visual inspection of AST system and components, including interstitial monitoring port.

No leakage noted. Two inspections not performed within 35 days. Reminded the new operator inspections must be performed once a month and not to exceed 35 days in between.

Interstitial port has not been checked manually by the new operator. Showed operator how to manually check the interstitial port during this inspection and also where to document it. Submit the January 2014 monthly log with manual inspection of the interstitial port specifically documented to EPC.



Florida Department of Environmental Protection
Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DEP Form # 62-761.900(2)
Form Title <u>Storage Tank Registration Form</u>
Effective Date <u>July 13, 1998</u>
DEP Application No. _____ (Filled in by DEP)

Storage Tank Facility Registration Form

Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376.303, Florida Statutes

Please review *Registration Instructions* before completing the form.

Please check all that apply	<input type="checkbox"/> New Registration	<input type="checkbox"/> New Owner	<input type="checkbox"/> New Tanks
	<input type="checkbox"/> Facility Info Update/Correction	<input type="checkbox"/> Owner Info Update/Correction	<input type="checkbox"/> Tank Info Update/Correction

A. FACILITY INFORMATION	County: Hillsborough	DEP Facility ID:	9300150
--------------------------------	-----------------------------	-------------------------	---------

Facility Name: USAA
 Facility Address: 17200 COMMERCE PARK BLVD City: TAMPA Zip: 33647 2600
 Facility Contact: _____ Business Phone: _____
 Facility Type(s): C NAICS Code: _____ Financial Responsibility: INSURANCE

24 Hour Emergency Contact: _____	Emergency Phone: _____
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B. RESPONSIBLE PERSON INFORMATION - Identify Individual(s) or Business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. **Provide additional information in an attachment if necessary.**

Name: <u>USAA ED BRAND</u>	Facility - Responsible Person Relation Type:	Effective Date
Mail address: <u>17200 COMMERCE PARK BLVD ATTN: ED BRAND</u>	<input checked="" type="checkbox"/> Facility Account Owner (pays fees)	
City, ST, Zip: <u>TAMPA, FL 33647 2600</u>	Facility Account Owner information must be provided when the facility contains active or out of service storage tanks on site.	
Contact: <u>ED BRAND</u>	STCM Account Number (if known)	<u>22719</u>
Telephone: <u>(813) 615-6419</u>		
Identify other appropriate facility relationships for this party: <input type="checkbox"/> Facility Owner/Operator <input type="checkbox"/> Property Owner <input type="checkbox"/> Storage Tank Owner		

Name:	Other owner, relationship type(s)	Effective Date
Mail address:	<input type="checkbox"/> Facility Owner/Operator	
City, ST, Zip:	<input type="checkbox"/> Property Owner	
Contact:	<input type="checkbox"/> Storage Tank Owner	
Telephone:	<input type="checkbox"/> Other:	

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Tank ID	T/V	A/U	Capacity	Installed	Content	Status/Effective Date	Construction	Piping	Monitoring

Certified Contractor (performing tank installation or removal): _____ DBPR License No.: _____

Registration Certification: **To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.**

Jennifer Rodriguez _____ 07/07/2015 _____
Printed Name & Title **Signature** **Date**

DEP 62-761.900(2)

Northwest District 160 Governmental Center Blvd. Pensacola, FL 32501 850-595-8360	Northeast District 7825 Baymeadows Way, Suite B200 Jacksonville, FL 32256 904-448-4300	Central District 3319 Maguire Blvd., Suite 232 Orlando, FL 32803 407-894-7555	Southwest District 3804 Coconut Palm Drive Tampa, FL 33619 813-744-6100	Southeast District 400 North Congress Ave., W Palm Beach, FL 33416 561-681-6600	South District 2295 Victoria Ave., Suite 364 Fort Myers, FL 33901 941-332-6975	Marathon Branch Office 2796 Overseas Hwy., Suite 221 Marathon, FL 33050 305-289-2310
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Florida Department of Environmental Protection

Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

Division of Waste Management - Storage Tank Facility Registration Form Registration Instructions and Codes List

The Department of Environmental Protection Storage Tank Program registers the facilities and the storage tanks when aboveground or underground storage tanks store pollutants, hazardous substances, and/or mineral acid substances regulated by Chapter 62-761, Florida Administrative Code, or when aboveground storage tanks or compression vessels store a hazardous substance which requires registration according to Chapter 376, Florida Statutes.

Storage Tank Facility Registration Form

In the first section block, identify the types of information being submitted on the registration form.

Check **New Registration** when the **location** is being registered for the first time and no Facility Identification number exists.

If submitting a revised Registration form, check all other boxes that apply to designate the type(s) of revisions being submitted.

I. Facility Information - Properly describe the geographical location where the storage tank facility is located.

- Facility ID** Include the DEP Facility Identification number whenever possible. Write in "Pending" when submitting a new registration for the first time. Remember: the facility ID number identifies the location, and is transferred to a new owner upon sale of the facility.
- Facility Name** Provide the current name of the business establishment operating at the facility location. When registering an abandoned facility, where tanks exist *unmaintained*, identify the location with the property owner's name, as in "Smith Property", if no other facility name is being used.
- Facility Address** Include the county name, and the proper street number and name. Give directions when the facility is located in a rural area with no Rural Route number associated with it (i.e., 'x' miles N of intersection...). Provide the name and telephone number of a contact person or manager *on location*, where possible.
- Facility Type** This information is an explanation or term that most closely describes the operational use of the facility. Select the code(s) that provides the best or most appropriate description of the facility.

1. If the facility is owned by a government entity, select the appropriate type from the following:

- F. Federal Government** **H. Local or City Government** **N. Indian Land**
G. State Government **I. County Government**

2. If the facility meets the definition of "bulk product facility" - "a waterfront location with at least one aboveground tank with a capacity greater than 30,000 gallons which is used for the storage of pollutants" ("Pollutants" includes oil of any kind and in any form, gasoline, pesticides, ammonia, chlorine, and derivatives thereof, excluding liquefied petroleum gas.); select the type from:

- T. Coastal bulk product facility** - facility, as defined above and located on the Florida coast, may have storage tank systems that store hazardous substances in addition to pollutants. ("Coastline means the line of mean low water along the portion of the coast that is in direct contact with the open sea and the line marking the seaward limit of inland waters, as determined under the Convention on Territorial Seas and the Contiguous Zone, 15 U.S.T. (Pt. 2) 1606.")
- S. Inland Waterfront bulk product facility** - facility, as defined above and located on "inland waterways" (lakes, rivers), may have storage tank systems that store hazardous substances in addition to pollutants.

3. When the facility is a "waterfront location", but not a bulk product facility as defined above, select the most appropriate type from:

- V. Marine fueling facility** - a commercial, recreational, or retail coastal facility that provides fuel to vessels and may store other pollutants and/or hazardous substances on site.
- W. Waterfront fueling facility** - a commercial, recreational, or retail facility located on a non-coastal waterway that provides fuel to vessels and may store other pollutants and/or hazardous substances on site.

Facility Type continued

4. When the facility is not described as above, select the most appropriate type from:

- A. **Retail Station** - primarily supplies vehicular fuel to automotive customers; may store other regulated substances.
- C. **Fuel User, Non-retail** - primarily stores vehicular fuel and/or other pollutants or hazardous substances for consumption by facility/owner/operator.
- D. **Inland Bulk Petroleum Storage** - inland facility with no waterfront access, that has multiple active UST and/or AST storage systems used primarily for storage of pollutants intended for distribution. May also store hazardous substances on-site for facility consumption and/or distribution purposes.
- E. **Industrial Plant** - inland facility with no waterfront access; may include power plants and facilities designed for manufacturing and/or chemical processing; may have multiple active UST and/or AST storage systems used for storage of pollutants and/or hazardous substances intended for facility consumption.
- J. **Collection Station** - maintenance or other related facility that acquires and temporarily stores used and/or waste oil prior to recycling and/or disposal.
- K. **Inland Bulk Chemical Storage** - inland facility with no waterfront access, that has multiple active UST and/or AST storage systems and/or compression vessels used for storage of hazardous substances intended for distribution. May also store pollutants on site for facility consumption and/or distribution purposes.
- L. **Chemical User** - facility primarily uses regulated hazardous substance tanks on site; may also store pollutants.
- M. **Agricultural** - facility actively used in production of crops, plants, or livestock.
- B. **Residential (not regulated)** - property used primarily for dwelling purposes; regulated substance used for non-commercial purposes; no UST exists > 1100 gallons.
- P. **UST Residential (>1100 gallons)** - residence with USTs regulated by Federal Environmental Protection Agency.
- Z. **Other** - Please identify the type of establishment that you are registering.

North American Industry Classification System (NAICS), developed jointly by the United States, Canada, and Mexico, has replaced the U.S. Standard Industrial Classification Code (SIC) system, effective January, 1997. The new system identifies new industry categories and re-organizes the current data more consistently. More information on this subject can be obtained from: National Technical Information Services, 5285 Port Royal Road, Springfield, Virginia 22161; (800) 553-6847. See also U. S. Department of Commerce Web Sites: <http://ntis.gov> and <http://www.census.gov/epcd/www/naics.html>. When possible – please select the most appropriate code for your facility.

Financial Responsibility – The demonstration of financial responsibility shall be made by the owner or operator in accordance with C.F.R. Title 40, Part 280, Subpart H. Write in your selection of the following:

1. **None**
2. **Insurance Carrier**
3. **Other Mechanism** (includes all other financial responsibility methods meeting requirements of C.F.R. Title 40)

24 Hour Emergency Contact - Provide the name & telephone number of the Emergency Contact for this facility.

II. Responsible Party Information

1. In the first block, provide the name, address, contact name, and telephone number of the individual(s) and/or business(es) that are responsible for the operation of the storage tank facility and for the payment of DEP annual Storage Tank Registration fees. Identify the appropriate facility relationships for this party: Facility Owner/Operator, Tank Owner, and/or Property Owner. The first named party will also be associated with the role of Facility Account Owner. The Account Owner is responsible for payment of the annual storage tank registration fees, and will receive the annual storage tank registration placard(s) upon payment.
2. Identify additional individuals and/or companies that play a role in the ownership or operation of the facility, as necessary.
3. When submitting revisions to owner name or address information, please include their STCM Account Number, when available.
4. Submit a registration form when the facility or tank ownership changes, complete with the **date & new owner's signature**.

III. Tank/Compression Vessel Information - Complete one row in Section C for each storage tank and/or compression vessel system located at the facility. Use the following system description codes where appropriate.

- 1. Tank ID** - number systems sequentially, or provide a unique identification number; do not use symbols (#, %, -, etc.).
- 2. Tank or Vessel Indicator** - write in T or V to describe the system type.
- 3. Tank Placement** - Write in A or U to designate aboveground or underground placement of the system.
- 4. Tank Capacity** - Write in the storage tank capacity in gallons.
- 5. Installation Date** - Record the date of first installation in 'MM/YY' format; provide a best estimate if unknown.

6. Tank Content - Record the current content (or last content, if system is closed or not in use) from the list below.

- | | | |
|---|--|--|
| A. Leaded gasoline | K. Kerosene | S. Chlorine compound |
| B. Unleaded gasoline | L. Waste oil / Used oil | T. Hazardous substance (CERCLA) |
| C. Gasohol | M. Fuel oil: on-site heating only; USTs or ASTs <30K gals | U. Mineral acid |
| D. Vehicular diesel | N. Fuel oil: distribution; or on-site heating - ASTs > 30K gals | V. Grades 5 & 6, bunker 'C' residual oils |
| E. Aviation gasoline | O. New & lube oil | W. Petroleum-base additive product |
| F. Jet diesel fuel | P. Generic Gasoline - grade unknown | X. Miscellaneous petroleum-base product |
| G. Diesel fuel - emergency generator | Q. Pesticide | Y. Unknown Substance |
| H. Diesel fuel - generator or pump | R. Ammonia compound | Z. Other Substance: please identify |

* Mineral Acid = Hydrobromic acid, Hydrochloric acid, Hydrofluoric acid, Phosphoric acid, Sulfuric acid.

* M = fuel is used solely to heat the facility premises and must be stored in a tank with capacity < 30,000 gallons; exempt from regulation.

* N = fuel is distributed as heating fuel, or fuel is used solely to heat the facility premises, but the storage tank capacity exceeds 30,000 gallons.

** **Compartmented tanks** – register as a single tank; itemize the size and contents of each compartment.

** **Manifold tanks** – register as individual storage tanks; with individual size and content – even though they are “connected”.

7. Status - Record the current status of the system, & the status effective date (or best estimate) in 'MM/YY' format. Update the tank status timely, as necessary for tanks moving between “in service” and “out of service” status.

- A. Properly closed in place** * UST filled with sand, concrete or other inert material; AST rendered unusable.
- B. Removed from the site** *
*A or B: UST Closure Assessment required after 12/10/90; AST Closure Assessment required after 3/12/91 - refer to 62-761.800, F.A.C.
- E. Construction modified** - AST constructed as a “mobile tank” or enclosed in a building; no longer retains a “regulated” status.
- F. Unmaintained tank** - UST/AST not in use, not properly closed, not to be returned to service (tank must be properly closed within 90 days).
- T. Out-of-service tank** - UST/AST locked and monitored (10 yr limit for USTs with secondary containment; 2 yr limit for corrosion-protected USTs; 1 yr limit for unprotected USTs; 5 yr limit for ASTs).
- U. In-service** - UST/AST may be empty for up to 45 days for routine services/maintenance only.
- V. Temporary out of service** - special designation for field-erected ASTs, greater than or equal to 50,000 gallon capacity; may be empty for up to 180 days for routine services/maintenance only.
- Z. Non-regulated product** stored in tank; provide status effective date when status relates to a ‘change in product’ for a particular storage tank.

8. Construction, Piping, and Monitoring Attributes – please select from the lists below, the codes that best describe the attributes of each storage tank system. ** When “Z. Other DEP Approved” is selected; please specify the EQ #. **

CONSTRUCTION

- Primary Construction:**
- | | |
|---------------------------------|--|
| C. Steel | X. Concrete |
| D. Unknown | Y. Polyethylene |
| E. Fiberglass | Z. Other DEP approved tank material |
| F. Fiberglass-clad steel | |

- Overfill/Spill:**
- | | |
|------------------------------------|--|
| A. Ball check valve | O. Tight fill |
| M. Spill containment bucket | P. Level gauges, high-level alarms |
| N. Flow shut-off | Q. Other DEP approved protection method |

- Corrosion Protection:**
- | | |
|---|---|
| G. Cathodic protection - sacrificial anode | H. Cathodic protection - impressed current |
|---|---|

- Secondary Containment:**
- I.** Double wall construction: single material (outer tank material same as inner tank material)
 - R.** Double wall construction: dual material (outer tank - concrete, approved synthetic material, or tank “jacket”)
 - J.** Synthetic liner in tank excavation
 - K.** Concrete, synthetic material, and/or offsite clays beneath AST and in containment area
 - S.** Other DEP approved secondary containment system
 - V.** Pipeless UST with secondary containment

CONSTRUCTION - continued

- Miscellaneous attributes:** B. Internal lining
L. Compartmented
U. Field erected tank

PIPING

- Primary Construction:** B. Steel or galvanized metal
C. Fiberglass
N. Approved synthetic material
Y. Unknown
Z. Other DEP approved piping material
- Corrosion Protection:** D. External protective coating
E. Cathodically protected with sacrificial anode or impressed current
- Secondary Containment:** F. Double wall construction: single material (outer pipe material same as inner pipe material)
M. Double wall construction: dual material (outer pipe - approved synthetic material or pipe "jacket")
G. Synthetic liner or box/trench liner in piping excavation or pipe containment area
P. Internal Piping: contained within an internal sump riser, directly connected to tank & located beneath dispenser
- Miscellaneous attributes:** A. Aboveground, no contact with soil
I. Suction piping system
J. Pressurized piping system
K. Dispenser liners
L. Bulk product system
H. Airport/seaport hydrant system

MONITORING

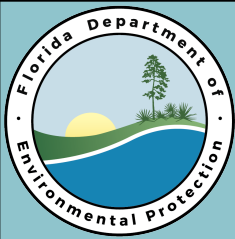
- External:** A. Site Suitability Plan
B. Site Suitability Plan Exemption
C. Groundwater Monitoring Plan
D. SPCC Plan
E. Interstitial monitoring of UST synthetic liners
N. Groundwater monitoring wells
O. Vapor monitoring wells
P. Vapor monitoring with dilution procedures
Q. Visual inspection of AST systems
W. Fiber-optic technologies
Z. Other DEP approved monitoring method
- Internal:** F. Interstitial space - double wall tank
L. Automatic tank gauging system (USTs)
M. Manual tank gauging system (USTs)
R. Interstitial monitoring of AST tank bottom
S. Statistical Inventory Reconciliation (SIR) (USTs)
T. Annual tightness test with inventory (USTs)
- Piping monitoring:** G. Electronic line leak detector with flow shutoff
H. Mechanical line leak detector
J. Interstitial monitoring - piping liner
K. Interstitial monitoring - double wall piping
U. Bulk product piping pressure test
V. Suction pump check valve
6. External monitoring
- Miscellaneous:** I. Not required - see rule for exemptions
X. None
Y. Unknown
1. Continuous electronic sensing equipment
2. Visual inspections of piping sumps
3. Electronic monitoring of piping sumps
4. Visual inspections of dispenser liners
5. Electronic monitoring of dispenser liners

IV. Certified Contractor & Certification

Record the name and the *Department of Business and Professional Regulation License Number* for the *Certified Contractor* whenever an underground storage tank has been installed, removed, or closed in place. Do not rely on the contractor to file this form. Storage Tank Registration Forms are required to be submitted by the storage tank system owner or operator.

Please Remember that the Registration Form cannot be processed without the name and signature of the storage tank system owner or operator, and the date of the form submittal. Please print your name legibly in case a representative of the storage tank program should need to contact you.

If you have questions, please call a storage tank registration representative at (850) 245-8839 for assistance.



Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
 Division of Waste Management
 Petroleum Storage Systems
 Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9300150 County: HILLSBOROUGH Inspection Date: 11/02/2017
 Facility Type: C - Fuel user/Non-retail
 Facility Name: USAA # of Inspected ASTs: 2
 17200 COMMERCE PARK BLVD USTs: 0
 TAMPA, FL 33647-2600 Mineral Acid Tanks: 0
 Latitude: 28° 7' 17.4415"
 Longitude: 82° 22' 39.8939"
 LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to Pei Gao on 11/16/2017

Inspector Name

Representative Name

No Signature

Inspector Signature

Representative Signature

**Principal Inspector
 HILLSBOROUGH ENVIRONMENTAL
 PROTECTION COMMISSION**

USAA

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: INDIAN HARBOR

Effective Date: 06/01/2016

Expiration Date: 06/01/2019

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	10/09/2017	Passed	11/13/2017	10/09/2018	Performed by Ring Power; Tank #4 only
Annual Operability Test	10/16/2016	Passed	11/13/2017	10/16/2017	Performed by Ring Power; Tank #4 only
Annual Operability Test	11/08/2015	Passed	11/13/2017	11/08/2016	Perfomed by Ring Power; Tank #4 only

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	11/02/2015	10/27/2017	Tank #1
Two Years	Electronic Release Detection Equip. Monthly Checks	11/15/2015	10/13/2017	Tank #4
Two Years	Certificate of Financial Responsibility	06/01/2016	11/02/2017	
Two Years	Monthly Maint. Visual Examinations and Results	11/15/2015	10/13/2017	Tank #4

New Violations

Type: **Violation**

Significance: **SNC-B**

Rule: **62-762.601(1)(g)**

Violation Text: **Electronic release detection devices not inspected monthly for shop fabricated storage tank systems.**

Explanation: **Monthly inspection logs not properly indicating condition of tank system and components**

Facility ID: 9300150

Corrective Action: Complete November 2017 monthly inspection log, including condition of tank system and all components, and submit to EPC for review.

Type: Violation

Significance: SNC-B

Rule: 62-762.601(1)(d), 62-762.601(1)(e)

Violation Text: Release detection, including visual inspections not being conducted monthly (not to exceed 35 days) for shop fabricated tank systems. For electronically monitored sumps, visual inspections not conducted every 6 months.

Explanation: Monthly inspection logs not properly indicating condition of tank system and all components

Corrective Action: Complete November 2017 monthly inspection log, including condition of tank system and all components, and submit to EPC for review.

Inspection Comments

11/02/2017

2017-11-02 GN met on site with Jonathan Phillips of CBRE for compliance inspection of storage tank systems

Tank #1:

Release detection:

- Visual inspections of tank system and components
- Manual monitoring of tank interstice- contained less than one inch of water. Monitor interstice to ensure water does not accumulate greater than one inch

Tank: (1) 4,000 gallon double walled DuoCon emergency generator AST. Equipped with:

- Product label: Diesel
 - Normal and emergency venting
 - Spill containment bucket- appeared dry and intact
 - Overfill protection: Pneumercator fuel level sight gauge
 - Aboveground coated steel supply and return lines appeared to be in good condition
 - Supply line equipped with a manual isolation valve and anti-siphon valve
 - Exterior coating appeared to be in good condition
 - Electrical grounding present
- No obvious signs of leakage noted

Tank #4:

Release detection:

- Visual inspections of tank system and components
- Electronic monitoring of tank interstice using CAT panel located in generator housing and inside the building

Labeled 'Fuel Rupture Basin' on panel

Audible/visual alarm test check- appeared operational

Panel currently not indicating any alarms

System does not having printing capabilities

Facility ID: 9300150

Tank: (1) 2,485 gallon Phoenix products sub- based generator AST. Located on concrete pad and equipped with:

- Product label: Diesel
 - Normal and emergency venting
 - Spill containment bucket- appeared dry and intact
 - Overfill protection: flow shut off valve. High level alarm: appeared operational.. Rochester fuel level sight gauge located near fill
 - Aboveground rubber supply and return lines run directly from tank to generator above
 - System does not produce a gravity head, therefore anti-siphon and manual isolation valves are not required.
 - Tank exterior appeared in good condition
 - Electrical grounding present
- No obvious signs or leakage noted

Records:

- Current registration placard posted : (2) tanks

Tank #4

- Monthly inspection logs completed within 35 days and include:

- Visual inspection of tank system and components

- Audible/Visual alarm test checks

Tank exterior condition and alarm panel status not being properly indicated on monthly inspection logs. Complete November 2017 monthly inspection logs that clearly indicate the alarm panel status and tank exterior condition and submit to EPC for review.

Tank #1:

- Monthly visual inspection logs completed within 35 days and include:

- Visual inspections of tank system and components

Per operator, tank interstitial space was not being monitored monthly. Each month operator would stick the fill port with the intention of monitoring interstitial space. EPC demonstrated how to properly monitor interstitial space while on site for inspection. Complete November 2017 monthly inspection log, including the condition of the interstice, and submit to EPC for review.

No problems noted in either logs

Reminders:

**An alarm history report must be kept for all facilities using electronic monitoring. For systems with printing capabilities this report is required to be printed every month. For systems without printing capabilities a written journal of alarms must be kept.

**Upon renewal or expiration of existing pollution liability insurance policy, the following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3) must be used to demonstrate Financial Responsibility: the updated CFR form (Part P) along with either Part C or Part D (completed by insurer) and a signed copy of the policy.

**Overfill protection devices must be tested for operability prior to January 11, 2018 and every 12 months thereafter.

Facility ID: 9300150

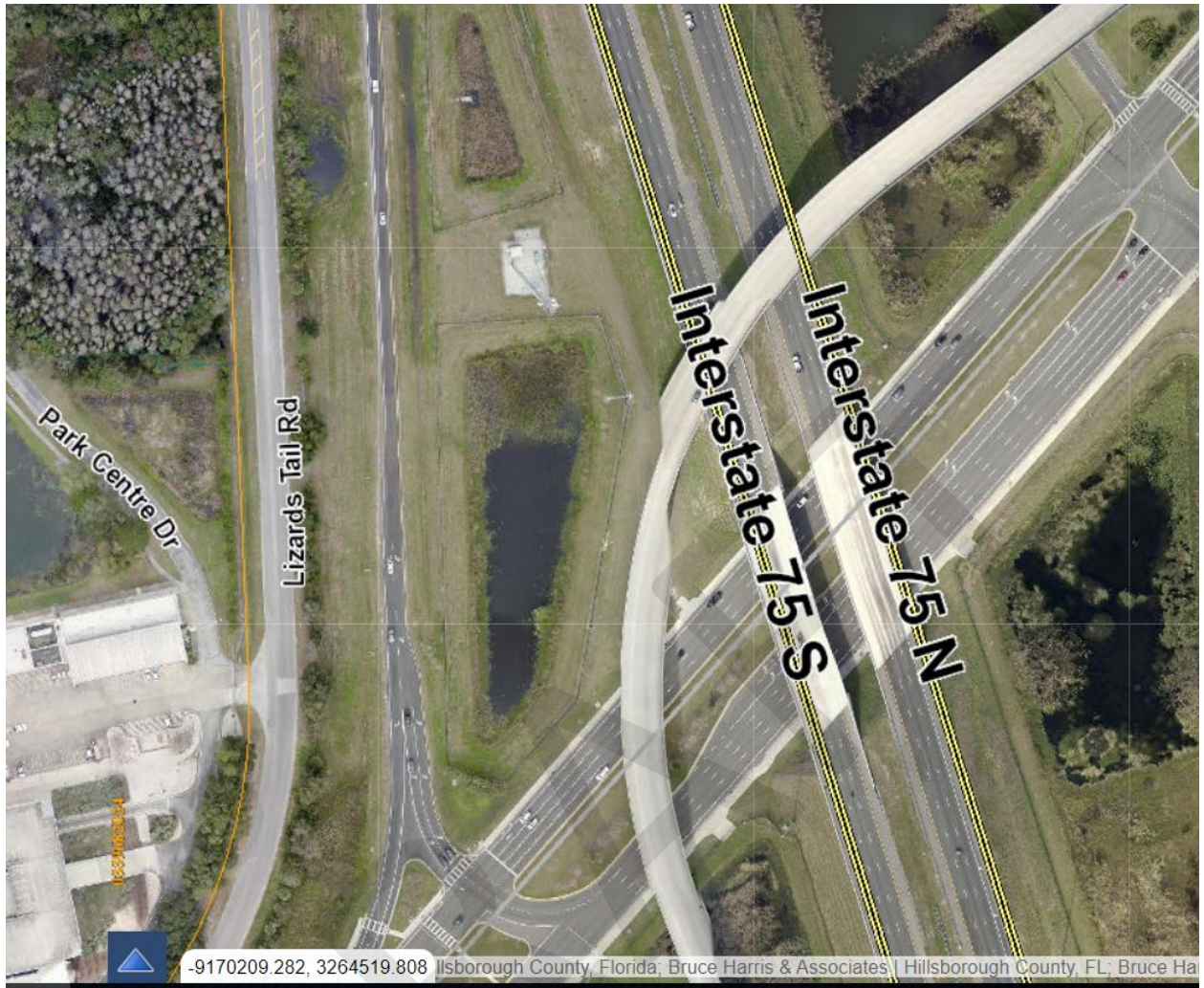
Inspection Photos

Added Date 11/14/2017

2017-11-02 Site Photo



Site 97



-9170209.282, 3264519.808 | Hillsborough County, Florida, Bruce Harris & Associates | Hillsborough County, FL, Bruce Ha

DRAFT

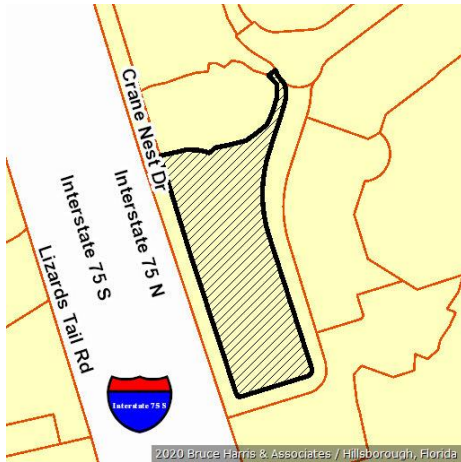
Site 98



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033583-1816



Owner Information

Owner Name	HRLP PRESERVE LLC
Mailing Address	C/O HIGHWOODS PROPERTIES INC 3100 SMOKETREE CT STE 600 RALEIGH, NC 27604-1050
Site Address	18205 CRANE NEST DR, TAMPA
PIN	A-14-27-19-73Z-000000-00007.1
Folio	033583-1816
Prior PIN	A-14-27-19-5ER-000000-00001.0
Prior Folio	033582-1302
Tax District	TA - TAMPA
Property Use	1810 OFF MULT-STY A
Plat Book/Page	99/240
Neighborhood	216004.00 Rev New Richmond Area - N of BB Downs
Subdivision	73Z HIGHWOODS PRESERVE PHASE 1 REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$25,482,300	\$25,482,300	\$0	\$25,482,300
Public Schools	\$25,482,300	\$25,482,300	\$0	\$25,482,300
Municipal	\$25,482,300	\$25,482,300	\$0	\$25,482,300
Other Districts	\$25,482,300	\$25,482,300	\$0	\$25,482,300

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
19427	0903	07	2009	WD	Unqualified	Improved	\$43,800
19333	1724	06	2009	WD	Unqualified	Improved	\$101,600
9453	0536	01	1999	WD	Unqualified	Vacant	\$10,000,000

Building Information

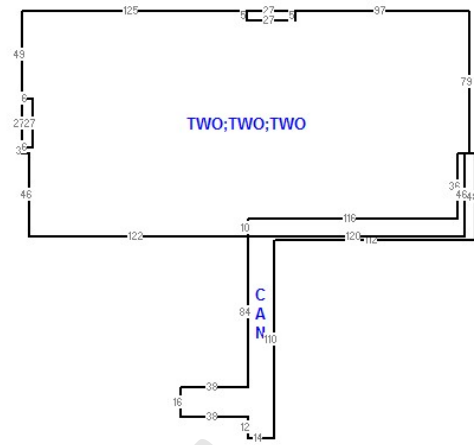
Building 1

Type 50 | OFFICE >2 STORY

Year Built 2001

Building 1 Construction Details

Element	Code	Construction Detail
Class	A	Structural Steel Columns & Beams
Exterior Wall	10	Precast Panel
Exterior Wall	15	Glass Thermopane
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	2	Concrete Finished
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Wall Height	12.00	
Units	1.0	
Stories	6.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	58,324	58,324	\$8,698,803
TWO	58,324	58,324	\$8,698,803
TWO	58,324	58,324	\$8,698,803
CAN	135		\$5,966
FUS	135	135	\$20,135
TWO	270	270	\$40,269
TWO	270	270	\$40,269
CAN	162		\$7,308
FUS	162	162	\$24,162
TWO	324	324	\$48,323
TWO	324	324	\$48,323
CAN	2,676		\$119,764
CAN	1,344		\$60,106
BAS	1,344	1,344	\$200,452
TWO	2,688	2,688	\$400,905
TWO	2,688	2,688	\$400,905
UST	1,881		\$112,158
Totals	189,375	183,177	\$27,625,454

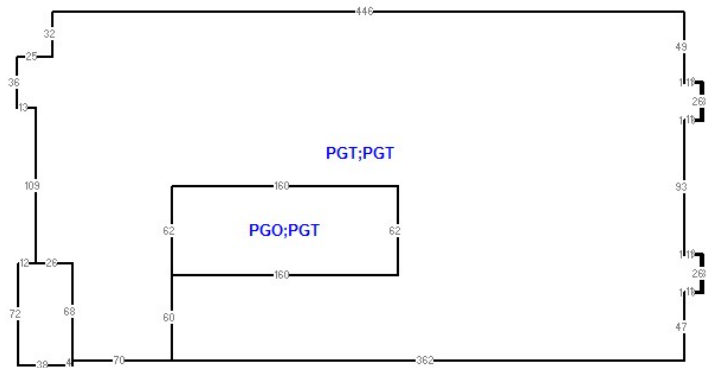
Building 2

Type 94 | PARKING GARAGE

Year Built 2000

Building 2 Construction Details

Element Class	Code	Construction Detail
	B	Reinforced Concrete Columns and Beams
Exterior Wall	10	Precast Panel
Roof Structure	13	Prestress Concrete
Roof Cover	1	Minimum
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Plumbing	3	Typical
Condition	3	Average
Stories	4.0	
Units	1.0	
Wall Height	8.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
PGT	202,356		\$4,854,601
PGT	202,356		\$4,854,601
PGT	5,472		\$131,275
PGO	2,736		\$65,638
PGO	9,920		\$237,985
PGT	19,840		\$475,970
CAN	78		\$552
CAN	78		\$552
Totals	442,836		\$10,621,174

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	1	2002	0	0	5,320.00	\$15,909
0115	CONCRETE PAVERS	1	2004	0	0	2,200.00	\$14,098
0020	ASPHALT PAVING	1	2004	0	0	1,840.00	\$3,561
0060	CONCRETE PAVEMENT	2	2004	0	0	330.00	\$1,626
0020	ASPHALT PAVING	2	2004	0	0	2,305.00	\$4,408
0050	CONCRETE PATIO	1	2007	66	25	1,650.00	\$8,224

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE2	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	213,836.04	\$1,197,311

Legal Description

HIGHWOODS PRESERVE PHASE 1 REPLAT LOTS 7 AND 8



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9806951 County: HILLSBOROUGH Inspection Date: 04/16/2007
Facility Name: T-MOBILE USA-TAMPA CALL CTR Facility Type: C - Fuel user/Non-retail
18205 CRANE NEST DR # Of Inspected ASTs: 1
TAMPA, FL 33647 USTs: 0
Latitude: 28° 7' 45.0124" Mineral Acid Tanks: 0
Longitude: 82° 22' 33.995"
L/L Method: AGPS

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: GREENWICH
Effective Date: 06/08/2005 Expiration Date: 06/08/2008

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

ANDREA MURLEY

Mailed to Jeffrey Bookin

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
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To be completed

Annual Operability Test 04/20/2008

Completed Tests

Annual Operability Test 10/04/2006 04/20/2007 Passed

Reviewed Records

Record Category	Record Type	From Date	To Date
Two Years	Certificate of Financial Responsibility	06/08/2005	06/08/2008
Two Years	Electronic Release Detection Equip. Monthly Checks	11/30/2005	04/13/2007
Two Years	Monthly Maint. Visual Examinations and Results	04/20/2007	04/20/2007
Life Time	Written Release Detection Response Level Info	04/16/2007	04/16/2007

New Violations

Significance Name: Minor

Rule Number(s): 62-762.401(2)(a)6.

Violation Text: Registration placard is not displayed in plain view.

Explanation: Current registration placard is not posted.

Corrective Action: Current registration placard must be posted at facility. Copy must be submitted to EPC.

Inspection Comments

04/16/2007 04/16/07 - T C I / A M - Met on site with Jeff Bookin for annual compliance inspection.

Release Detection: Visual inspection and electronic monitoring of A S T system components and electronic monitoring of tank interstice.

Veeder Root T L S - 350 panel checked, All Functions Normal. DEP EQ-197.

Audible / visual alarm tested, appears operational.

Alarm history printed.

Tanks:

1 - 4,000 gallon double walled Phoenix Envirovault A S T containing diesel fuel for an emergency generator. Tank is located in a room within parking garage building / ground level. Tank room floor appears to act as containment area, sealed, sensor present on floor. Tank is equipped with:

-Product label.

-Exterior coating.

-Normal and emergency venting. Normal venting outside tank room.

-Remote fill within spill containment box outside building.

-Veeder Root high level alarm at remote fill. Test button pressed, audible/visual alarm appears functional.

-Morrison clock sight gauge not visible from fill. Morrison overfill prevention valve in fill according to plans.

-Aboveground copper supply and return lines run within steel secondary to generator room.

-Piping sump/ Valve box at top of tank checked. Secondary piping test boots appear loose within box. Sensor present, positioned correctly.

-Supply line equipped with an antisiphon valve present downstream and adjacent to a manual isolation valve at top of tank within valve box.

-Interstitial sensor

No obvious signs of leakage observed at tank system.

Generator within another room within parking garage / ground level. Generator room floor appears to act as containment area, sealed, sensor present on floor. No obvious leakage noted.

Records:

-Current registration placard not available. Invoice has not been received by operator. Storage tank registration form had been submitted to DEP 10/11/05 with updated account owner information. Storage tank registration form submitted again today in order to update account owner information. Current registration placard must be posted when received. Copy must be submitted to EPC.

-Financial Responsibility: Greenwich Insurance 06/08/05 to 06/08/08.

-Certification of Financial Responsibility Form on file.

-Monthly inspection log since last compliance inspection consisted only of Veeder Root sensor status printouts, all normal.

Although sensors monitor tank room, generator room, piping, and tank interstice, visual inspection of tank system, including such components as remote fill with spill containment bucket, must be performed. Operator e mailed first completed visual inspection

Inspection Comments

log performed 04/20/07.

-Release Detection Response Level statement present, complete, and accurate.

-Annual operability test of interstitial sensor performed by T-Mobile personnel on 04/20/07, results e mailed to EPC office. Next operability test due 04/20/08.

-Alarm history report indicated operability tests (01/26/06 and 01/28/06 were operability tests according to operator).

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9806951 County: HILLSBOROUGH Inspection Date: 03/12/2009
Facility Name: T-MOBILE USA-TAMPA CALL CTR Facility Type: C - Fuel user/Non-retail
18205 CRANE NEST DR # Of Inspected ASTs: 1
TAMPA, FL 33647 USTs: 0
Latitude: 28° 7' 45.0124" Mineral Acid Tanks: 0
Longitude: 82° 22' 33.995"
L/L Method: AGPS

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: GREENWICH
Effective Date: 06/08/2008 Expiration Date: 06/08/2011

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

CHRISTY JACOBS

Mailed to Jeff Brookin

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date
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To be completed

Annual Operability Test 04/02/2009 06/30/2009

Completed Tests

Annual Operability Test 06/30/2008 Passed 04/02/2009 04/20/2008

Annual Operability Test 04/20/2007 Passed 04/27/2007 10/04/2006

Reviewed Records

Record Category	Record Type	From Date	To Date
Two Years	Monthly Maint. Visual Examinations and Results	01/20/2007	03/04/2009
Life Time	Written Release Detection Response Level Info	03/12/2009	03/12/2009

New Violations

Significance Name: Minor

Rule Number(s): 62-762.701(1)(c)1.

Violation Text: Spill containment, dispenser liners and piping sumps not accessible; water and regulated substances not removed.

Explanation: Product found in the spill box.

Corrective Action: Remove product from sump box and properly disposed. Call EPC for re-inspection

Significance Name: Minor

Rule Number(s): 62-762.701(1)(c)3.

Violation Text: Release detection devices not tested annually.

Explanation: Annual operability on all sensors and monitoring device (Veeder Root) certification test required

Corrective Action: Perform the annual operability test on all sensors and the Veeder Root monitoring device. Submit to EPC copies of test and certification.

Significance Name: Minor

Rule Number(s): 62-762.701(1)(a)1.a., 62-762.701(1)(a)1.b., 62-762.701(1)(a)1.c., 62-762.701(1)(a)1.d.

Violation Text: Not repaired component which has or could cause a discharge or release.

Explanation: Product found in the sump box located on top of tank

Corrective Action: Repair/replace the component in the sump box. Call EPC for re-inspection.

Significance Name: Minor

Rule Number(s): 62-762.711(2)(a), 62-762.711(2)(b), 62-762.711(2)(c), 62-762.711(2)(d), 62-762.711(2)(e), 62-762.711(2)(f), 62-762.711(2)(g), 62-762.711(2)(h)

Violation Text: Records requiring 2 year documentation period not kept by facility.

Explanation: Investigate cause of product sumps box. No current certificate of financial responsibility form (CFR) on site.

Corrective Action: Submit investigation report (indicating what cause product ins sump box) and CFR to EPC. Call EPC for re-inspection.

Inspection Comments

03/12/2009 On 3/12/09

Inspection Attachments

Inspection Attachments

01. 2009-03-12 TCI (Product in sump on top of tank)



02. 2009-03-12 TCI (Product in sump on top of tank)



03. 2009-03-12 TCI (sump on top of tank)



Inspection Attachments

04. 2009-03-12 TCI (Entrance to tank room)



05. 2009-03-12 TCI (Spill bucket outside room)



06. 2009-03-12 TCI (Piping from tank to generator room)



DRAFT

Inspection Attachments

07. 2009-03-12 TCI (Piping from tank inside generator room)



08. 2009-03-12 TCI (Piping from tank to generator room)



DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9806951 County: HILLSBOROUGH Inspection Date: 04/10/2013
Facility Type: C -Fuel user/Non-retail
Facility Name: T-MOBILE USA-TAMPA CALL CTR # Of Inspected ASTs: 1
18205 CRANE NEST DR USTs: 0
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 45.0124"
Longitude: 82° 22' 33.995"
LL Method: AGPS

Inspection Result:

Result : Major Out of Compliance
Description: Facility is Major Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: GREENWICH
Effective Date: 05/01/2012 Expiration Date: 05/01/2015

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9806951

Sahand Nasserri

Emailed to Marcelino Fernandez on 4/24/13

INSPECTOR NAME

REPRESENTATIVE NAME



NO SIGNATURE

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit:

http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Breach of Integrity Test	12/24/2012	Passed	04/23/2013	12/24/2012	Petroleum Compliance Solutions
Annual Operability Test	05/18/2010	Passed	05/31/2010	05/18/2011	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	04/10/2013	04/10/2013	
Two Years	Monthly Maint. Visual Examinations and Results	08/01/2011	02/01/2013	
Two Years	Electronic Release Detection Equip. Monthly Checks	08/01/2011	02/01/2013	
Two Years	Certificate of Financial Responsibility	05/01/2012	05/01/2015	

New Violations

Type: Violation
Significance: Minor
Rule: 62-762.601(1)(e)
Violation Text: Visible storage tank system components and continuous electronic leak detection not inspected monthly.
Explanation: Monthly monitoring logs for the period of 4/11 to 7/11 and 3/13 not available.
Corrective Action: Submit the monthly monitoring logs for the period of 4/11 to 7/11 and 3/13 to EPC.

Type: Violation
Significance: Minor
Rule: 62-762.701(1)(c)3.

Facility ID: 9806951
Violation Text: Release detection devices not tested annually.
Explanation: Annual operability test of the leak sensors past due date of 05/18/11.
Corrective Action: Perform the operability test of the sensors and submit results to EPC.

Type: Violation
Significance: **SNC-B**
Rule: **62-762.601(1)(d)**
Violation Text: **Release detection not performed at least once a month.**
Explanation: **Monthly monitoring logs for the period of 4/11 to 7/11 and 3/13 not available.**
Corrective Action: **Submit the monthly monitoring logs for the period of 4/11 to 7/11 and 3/13 to EPC.**

Type: Violation
Significance: Minor
Rule: 62-762.821(1)(c), 62-762.821(1)(b), 62-762.821(1)(a)
Violation Text: Incident not promptly investigated.
Explanation: The following fuel alarms were not promptly investigated: L2 fuel alarm on 2/7/13. L3 fuel alarms on 2/28/13 and 10/3/11. Investigation results must be submitted to EPC.
Corrective Action: An Incident Notification Form (INF) must be submitted for any positive response of a release detection device unless investigation is performed within 24 hours indicating that a discharge has not occurred. Investigation must be performed within 14 days of INF submittal.

Type: Violation
Significance: Minor
Rule: 62-762.451(2)(a)8., 62-762.451(2)(a)7., 62-762.451(2)(a)6., 62-762.451(2)(a)5., 62-762.451(2)(a)4., 62-762.451(2)(a)3., 62-762.451(2)(a)2., 62-762.451(2)(a)1.
Violation Text: Incident not reported within 24-hours, or next business day.
Explanation: INF not submitted for L2 fuel alarm on 2/7/13 and L3 fuel alarms on 2/28/13 and 10/3/11.
Corrective Action: Must submit INF to EPC if investigation not performed within 24 hours.

Type: Violation
Significance: Minor
Rule: 62-762.701(1)(c)1.
Violation Text: Spill containment, dispenser liners and piping sumps not accessible; water and regulated substances not removed.
Explanation: Product present at the bottom of the piping/valve box.
Corrective Action: Must remove the product and investigate the cause of product in the box. Submit investigation results to EPC.

Violation Photos

Facility ID: 9806951

Added Date 04/23/2013

2013-4-10 - Product in Piping/Valve Box



Inspection Comments

04/10/2013

4/10/13-SN- Met on site with Marcelino Fernandez for annual compliance inspection.

Release Detection:

- Visual inspection and electronic monitoring of AST system components
 - Electronic monitoring of tank interstice.
 - Veeder Root TLS-350 panel monitors (1) tank interstitial sensor, (1) tank room sensor, (1) fill box sensor and (1) generator room sensor.
- Display indicates "L2: Fuel Alarm" and "L3: Fuel Alarm"
Audible/visual alarm tested-appears operational.
Alarm history report on file.

Tanks:

(1) 4,000 gallon double walled Phoenix Envirovault AST containing diesel fuel for an emergency generator.

Tank is located in a room within parking garage building / ground level. Tank room floor appears to act as containment area, sealed, sensor present on floor. Tank is equipped with:

- Product label.
 - Normal and emergency venting. Normal venting outside tank room.
 - Spill containment box outside building checked-appears intact.
 - Overfill protection-Veeder Root high level alarm at remote fill. Test button pressed, audible/visual alarm appears functional. Morrison clock sight gauge not visible from fill. Morrison overfill prevention valve in fill according to plans. Also, Rochester fuel level gauge present in the spill bucket next to the fill.
 - Aboveground copper supply and return lines run within steel secondary to generator room.
 - Piping sump/valve box at top of tank checked. Secondary piping test boots appear loose within box. Sensor present, positioned correctly. Product present at the bottom of the piping/valve box. Must remove the product and investigate the cause of product in the box. Submit investigation results to EPC. No active leakage noted.
 - Supply line equipped with an anti-siphon valve present downstream and adjacent to a manual isolation valve at top of tank within the valve box.
 - Exterior coating-appears in good condition.
 - Electrical grounding present.
- No obvious signs of leakage observed at tank system.

Records:

- Current registration placard posted: (1) tank.
- Release Detection Response Level statement present, complete, and accurate.

Inspection Comments

-Monthly inspection log reviewed and includes:

Visual inspections of AST system and components.

Audible/visual alarm checked.

Alarm panel status checks.

No problems noted. Inspections performed within 35 days.

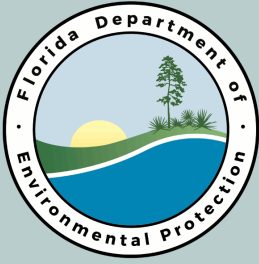
Monthly monitoring logs for the period of 4/11 to 7/11 and 3/13 not available. Submit the monthly monitoring logs for the period of 4/11 to 7/11 and 3/13 to EPC.

-Annual operability test of the leak sensors past due date of 05/18/11. Perform the operability test of the sensors and submit results to EPC.

Unexplained fuel alarms on the alarm history print out: L2 fuel alarm on 2/7/13. L3 fuel alarms on 2/28/13 and 10/3/11. An Incident Notification Form (INF) must be submitted for any positive response of a release detection device unless investigation is performed within 24 hours indicating that a discharge has not occurred. Investigation must be performed within 14 days of INF submittal.

Must submit INF to EPC if investigation not performed within 24 hours.

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9806951 County: HILLSBOROUGH Inspection Date: 11/24/2015
Facility Type: C -Fuel user/Non-retail
Facility Name: T-MOBILE USA-TAMPA CALL CTR # Of Inspected ASTs: 1
18205 CRANE NEST DR USTs: 0
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 45.0124"
Longitude: 82° 22' 33.995"
LL Method: AGPS

Inspection Result:

Result : Major Out of Compliance
Description: Facility is Major Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: GREENWICH
Effective Date: 05/01/2015 Expiration Date: 05/01/2018

Signatures:

PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9806951

Amanda J Moseley

Emailed to Marcelino Fernandez 11/25/15

INSPECTOR NAME

REPRESENTATIVE NAME



NO SIGNATURE

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit:

http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	04/18/2013	Passed	01/16/2014	04/18/2014	By Petroleum Compliance Solutions Inc.
Breach of Integrity Test	12/24/2012	Passed	04/23/2013	12/24/2012	Petroleum Compliance Solutions
Breach of Integrity Test	11/23/2015	Passed	11/24/2015	11/23/2015	Performed by Petroleum Compliance Solutions.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	11/24/2015	11/24/2015	
Two Years	Monthly Maint. Visual Examinations and Results	02/05/2014	11/09/2015	
Two Years	Electronic Release Detection Equip. Monthly Checks	02/05/2014	11/09/2015	
Two Years	Certificate of Financial Responsibility	05/01/2015	05/01/2018	

New Violations

Type: Violation
Significance: Minor
Rule: 62-762.701(1)(c)3.
Violation Text: Release detection devices not tested annually.
Explanation: Annual operability test of the tank interstitial sensor not performed for 2015.
Corrective Action: Test performed November 18, 2015 however results not available for review. Upon receipt of operability testing results submit a copy to the EPC.

Type: Violation
Significance: **SNC-B**
Rule: **62-762.601(1)(d)**
Violation Text: **Release detection not performed at least once a month.**
Explanation: **Inspections from 06/02/2014-07/08/2014, 02/04/2015-03/16/2015 and 05/01/2015-06/11/2015 were not performed within 35 days. Monthly monitoring logs for January 2015, April 2015 and September 2015 were not available for review.**
Corrective Action: **Reminded operator that monthly monitoring logs must be performed once a month, not to exceed 35 days in between. All inspections from October 2015 to present were performed within 35 days. Violation has been closed; no further action required.**

Type: Violation
Significance: Minor
Rule: 62-762.601(1)(e)
Violation Text: Visible storage tank system components and continuous electronic leak detection not inspected monthly.
Explanation: Inspections from 06/02/2014-07/08/2014, 02/04/2015-03/16/2015 and 05/01/2015-06/11/2015 were not performed within 35 days. Monthly monitoring logs for January 2015, April 2015 and September 2015 were not available for review.
Corrective Action: Reminded operator that monthly monitoring logs must be performed once a month, not to exceed 35 days in between. All inspections from October 2015 to present were performed within 35 days. Violation has been closed; no further action required.

Inspection Comments

11/24/2015

11/24/2015, AJM/TCI Met on site with Marcelino Fernandez of T-Mobile for the storage tank compliance inspection.

Release Detection:

- Visual inspection of the storage tank system and components.
 - Electronic monitoring of the storage tank interstice.
 - Veeder Root TLS-350 panel monitors (1) tank interstitial sensor .
- Display currently indicates "All Functions Normal."
Audible/visual alarm tested- appeared operational.
Alarm history report on file.

Tanks: (1) 4,000 gallon Phoenix Envirovault AST containing diesel fuel for an emergency generator. Tank is located in a room within parking garage building/ground level. Tank room floor appears to act as containment area, sealed, sensor present on floor (in house use only). Tank is equipped with:

- Product label- Diesel.
- Normal and emergency venting. Normal venting outside tank room.
- Spill containment box outside building.
- Overfill protection- Veeder Root high level alarm at remote fill. Morrison clock gauge- does not have 90% level marked. Morrison overfill prevention valve in fill according to the plans. Also, Rochester fuel level gauge present in the spill bucket next to the fill.

Inspection Comments

- Aboveground copper supply and return lines run within steel secondary to the generator room.
 - Piping sump/valve box at top of tank checked. Secondary piping test boots appear loose within box. Sensor present (in house use only).
 - Supply line equipped with an anti-siphon valve present downstream and adjacent to the manual isolation valve at the top of tank within the valve box.
 - Exterior coating- appears in good condition.
 - Electrical grounding present.
- No obvious signs of leakage noted.

Records:

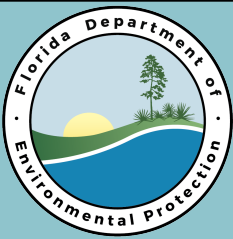
- Current registration placard posted: (1) Tank.
 - Written Release Detection Response Level statement present, complete and accurate.
 - Monthly monitoring logs reviewed and include:
Visual inspections of AST system and components, including piping sump and spill containment.
Audible/visual alarm checked.
Alarm panel status checks.
No problems noted in logs.
- Inspections from 06/02/2014-07/08/2014, 02/04/2015-03/16/2015 and 05/01/2015-06/11/2015 were not performed within 35 days. Monthly monitoring logs for January 2015, April 2015 and September 2015 were not available for review. Reminded operator that monthly monitoring logs must be performed once a month, not to exceed 35 days in between.
- Annual operability test of the tank interstitial sensor not performed for 2015. Test performed November 18, 2015 however results not available for review. Upon receipt of operability testing results submit a copy to the EPC.

Inspection Photos

Added Date 11/25/2015

2015-11-24 Facility Photo





Facility Information:

Facility ID: 9806951 County: HILLSBOROUGH Inspection Date: 08/02/2017
 Facility Type: C - Fuel user/Non-retail
 Facility Name: T-MOBILE USA-TAMPA CALL CTR # of Inspected ASTs: 1
 18205 CRANE NEST DR USTs: 0
 TAMPA, FL 33647 Mineral Acid Tanks: 0
 Latitude: 28° 7' 45.0124"
 Longitude: 82° 22' 33.995"
 LL Method: AGPS

Inspection Result:

Result: Minor Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to Marcelino Fernandez on 8/04/2017

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

T-Mobile

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit:
http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: GREENWICH

Effective Date: 05/01/2015

Expiration Date: 05/01/2018

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Breach of Integrity Test	06/15/2015	Passed	08/02/2017	06/15/2015	Performed by Down Under Tank Testing
Annual Operability Test	11/16/2015	Passed	08/02/2017	11/16/2016	Performed by Pheonix Products
Annual Operability Test	06/15/2017	Passed	08/02/2017	06/15/2018	Performed by Down Under Tank Testing
Annual Operability Test	01/20/2017	Passed	08/02/2017	01/20/2018	Performed by Nixon Power

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Electronic Release Detection Equip. Monthly Checks	12/01/2015	08/01/2017	
Two Years	Certificate of Financial Responsibility	05/01/2015	08/02/2017	
Two Years	Monthly Maint. Visual Examinations and Results	12/01/2015	08/01/2017	

New Violations

Type: Violation

Rule: 62-762.601(7)

Violation Text: Single walled suction piping does not have annual line test.

Explanation: Operability testing of release detection device for 2016 was not available for review.

Corrective Action: Operability testing of release detection device was conducted in January of 2017 with passing results. No further action required. Violation has been closed

Inspection Comments

08/02/2017

2017-08-02 AJM/GN Met on site with Marcelino Fernandez of T-Mobile for compliance inspection of aboveground storage tank

Release Detection:

- Visual inspection of the storage tank system and components
 - Electronic monitoring of the storage tank interstice
 - Veeder Root TLS-350 panel indicates: "All functions normal"
 - Audible/visual alarm tested: appeared operational
 - Alarm history reported printed and on file
- No unexplained alarms

Tanks: (1) 4,000 gallon Phoenix Envirovault double-walled AST, contains Diesel fuel and equipped with :

- Diesel product label
 - Normal and Emergency venting- normal venting outside of room
 - Sensors present in tank room and generator room (for in house use only)
 - (2) Spill containment buckets- appeared dry and intact. Primary fill located outside of building
 - Overfill Protection- Veeder Root high level alarm. Appears operational. Morrison overfill prevention valve in fill. Morrison clock gauge- not marked at 90% (for inventory use only). Rochester fuel level gauge preset in spill bucket on tank
 - Aboveground double walled copper and steel supply and return lines between tank and generator room- appeared in good condition
 - Piping sump/valve box- test boots appeared open. Sensor present (for in house use only)
 - Anti-siphon valve between tank and manual isolation valve
 - Tank exterior - appeared in good condition
 - Electrical grounding present
- No obvious signs of leakage noted

Records:

- Current registration placard: (2) Tanks
- Monthly logs available to review. Completed within 35 days. Include Visual inspection of tank system and components
- Audible/Visual alarm checked
- Alarm panel status checks
- No problems noted. Inspections performed within 35 days.
- Annual operability testing for 2016 was unavailable. Testing was completed in January and June of 2017 with passing results. No further action required.

Reminders:

- **Overfill protection devices must be tested for operability prior to January 11,2018 and every 12 months thereafter
- **A record or summary of the alarm history, sensor status and testing results shall be printed from the device and kept for three years.
- **Upon renewal or expiration of existing pollution liability insurance policy, the following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3) must be used to demonstrate Financial Responsibility: the updated CFR form (Part P) along with either Part C or Part D (completed by insurer) and a signed copy of the policy <http://www.dep.state.fl>.

Facility ID: 9806951

us/waste/categories/tanksfr/pages/all_forms.htm

Inspection Photos

Added Date 08/02/2017

2017-08-02 Site Photo





Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
 Division of Waste Management
 Petroleum Storage Systems
 Storage Tank Facility Routine Compliance Site Inspection Report

Facility Information:

Facility ID: 9806951 County: HILLSBOROUGH Inspection Date: 12/18/2019
 Facility Type: C - Fuel user/Non-retail
 Facility Name: T-MOBILE USA-TAMPA CALL CTR # of inspected ASTs: 1
 18205 CRANE NEST DR USTs: 0
 TAMPA, FL 33647-2802 Mineral Acid Tanks: 0
 Latitude: 28° 7' 45.0124"
 Longitude: 82° 22' 33.995"
 LL Method: AGPS

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Katie C Young

Emailed to Marcelino Fernandez on 12/31/2019.

Inspector Name

Representative Name

No Signature

Inspector Signature

Representative Signature

Principal Inspector
 HILLSBOROUGH ENVIRONMENTAL PROTECTION
 COMMISSION

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: GREENWICH

Effective Date: 05/01/2015

Expiration Date: 05/01/2020

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	01/29/2019	Passed	12/31/2019	01/29/2020	For overfill protection - Performed by Guardian Fueling Technologies.
Annual Operability Test	05/24/2018	Passed	12/31/2019	05/24/2019	For release detection - performed by Tank Wizards.
Annual Operability Test	01/29/2019	Passed	12/31/2019	01/29/2020	For release detection - Performed by Guardian Fueling Technologies.

Reviewed Records

Record Category	Record type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	09/27/2017	12/02/2019	
Two Years	Electronic Release Detection Equip. Monthly Checks	09/27/2017	12/02/2019	

Areas of Concern:

Type: Area of Concern
 Rule: 62-762.501(3)(d), 62-762.501(3)(d)1., 62-762.501(3)(d)2., 62-762.501(3)(d)3.
 Violation Text: Valves not installed as required for small diameter integral piping.
 Explanation: Supply piping equipped with an anti-siphon valve located upstream of the manual isolation valve. Aboveground tank systems equipped with aboveground piping that produces a gravity head must be equipped with a manual isolation valve upstream and adjacent to the anti-siphon valve.
 Corrective Action: In the event of construction to the piping, correct the order of the valves and contact EPC for an inspection 30-45 days and 48-72 hours prior to initiation of closure and installation activities.

Violations:

Type: Violation
 Significance: Minor
 Rule: 62-762.431(4), 62-762.431(5)
 Violation Text: Incident investigation not completed timely, with written explanation or DRF provided.
 Explanation: Alarm history report reviewed and corresponded with operability testing, routine maintenance and the following unexplained alarms: "L3: Fill Box Sensor" on 11/09/2017 and "L4 Generator Room Sensor" on 07/20/2018. INF was not submitted. An Incident Notification Form must be submitted for any positive response of a release detection device unless investigation is initiated within 24hrs and it is determined within 72hrs that

a discharge has not occurred. Also, the investigation must be completed within two weeks of the date of discovery of the incident.

Corrective Action: Investigation results were reviewed - a passing operability test of the interstitial sensor was performed on 01/29/2019 with passing results. No further investigation required. Violation has been closed.

Type: Violation
 Significance: SNC-B
 Rule: 62-762.501(2)(e), 62-762.501(2)(e)1., 62-762.501(2)(e)2., 62-762.501(2)(e)2.a., 62-762.501(2)(e)2.b., 62-762.501(2)(e)2.c., 62-762.501(2)(e)2.d., 62-762.501(2)(e)3.
 Violation Text: Failure to provide approved overfill protection for shop fabricated tank systems.
 Explanation: Annual Overfill Protection Operability test for 2018 was not completed. Overfill protection devices must be tested for operability every year, not exceeding 12 months between tests.
 Corrective Action: Reviewed passing overfill protection operability test, performed by Guardian Fueling Technologies on 01/29/2019 with passing results. Violation has been closed. No further action necessary.

Type: Violation
 Significance: SNC-B
 Rule: 62-762.601(1)(g)
 Violation Text: Electronic release detection devices not inspected monthly for shop fabricated storage tank systems.
 Explanation: Monthly inspection logs did not include alarm history logs. Systems with printing capabilities are required to have liquid status and alarm history printouts included with each monthly inspection log.
 Corrective Action: Submit the next monthly inspection log to EPC, to include alarm history printouts.

Type: Violation
 Significance: Minor
 Rule: 62-762.411(4)
 Violation Text: Notification of an incident not received in a timely manner.
 Explanation: Alarm history report reviewed and corresponded with operability testing, routine maintenance and the following unexplained alarms: "L3: Fill Box Sensor" on 11/09/2017 and "L4 Generator Room Sensor" on 07/20/2018. INF was not submitted. An Incident Notification Form must be submitted for any positive response of a release detection device unless investigation is initiated within 24hrs and it is determined within 72hrs that a discharge has not occurred. Also, the investigation must be completed within two weeks of the date of discovery of the incident.
 Corrective Action: Submit an INF for the unexplained alarms to EPC.

Type: Violation
 Significance: Minor
 Rule: 62-762.421(3), 62-762.421(3)(a), 62-762.421(3)(b), 62-762.421(3)(c), 62-762.421(3)(d)
 Violation Text: Incomplete documentation demonstrating financial responsibility.
 Explanation: Financial responsibility documentation reviewed. However, the FDEP Part P Certification of Financial Responsibility was not up to date.
 Corrective Action: Submit a new Certification of Financial Responsibility to EPC for the current insurance policy to EPC with the correct dates of coverage.

Inspection Comments

12/18/2019

12/18/2019 - KCY/TCI - Met onsite with Marcelino Fernandez for the routine compliance inspection.

Release Detection:

- Visual inspection of the storage tank system and components
- Electronic monitoring of the storage tank interstice
- Veeder Root TLS-350 panel indicated, "All Functions Normal."
- Audible/visual alarm tested: appeared operational.
- Alarm history reported printed, and on file

No unexplained alarms

Tanks: (1) 4,000 gallon Phoenix Envirovault double-walled AST, containing Diesel fuel for an emergency generator. Tank is located in the room adjacent to the generator room in the parking garage and equipped with:

- Product label: Diesel.
- Normal and Emergency venting present- normal venting outside of room.
- Liquid sensors present in tank room and generator room.
- (2) Spill containment buckets- appeared dry and intact.
 - (1) Top-fill spill bucket located on the tank, appeared dry and intact.
 - (1) Remote fill spill bucket located outside of tank room door, appeared intact.
- Overfill Protection- Veeder Root high level alarm (primary overfill protection device). Appeared operational. Morrison overfill prevention valve in fill. Morrison clock gauge- not marked at 90% (for inventory use only). Rochester fuel level gauge preset in spill bucket on tank
- Aboveground, double walled copper and steel supply and return lines in the generator room- appeared in good condition. Piping in the tank room is 4" galvanized steel piping.
- Piping sump/valve located on top of tank inspected, appeared dry and intact.

Test boots appeared open.

Liquid sensor also present (for in-house use only)

- Supply piping equipped with an anti-siphon valve located upstream of the manual isolation valve. Aboveground tank systems equipped with aboveground piping that produces a gravity head must be equipped with a manual isolation valve upstream and adjacent to the anti-siphon valve. In the event of construction to the piping, correct the order of the valves and contact EPC for an inspection 30-45 days and 48-72 hours prior to initiation of closure and installation activities.
 - Tank exterior appeared in good condition
 - Electrical grounding present
- No obvious signs of leakage noted

Records:

- Current registration placard: (2) Tanks
- Financial responsibility documentation reviewed. However, the FDEP Part P Certification of Financial Responsibility was not up to date. Submit a new Certification of Financial Responsibility to EPC for the current insurance policy to EPC with the correct dates of coverage.
- Monthly visual inspection logs reviewed and include:

Visual inspection of tank system and components

Audiovisual alarm tests.

Alarm panel status checks.

Liquid status printouts.

No problems noted. Inspections performed within 35 days.

Monthly inspection logs did not include alarm history logs. Systems with printing capabilities are required to have liquid status and alarm history printouts included with each monthly inspection log. Submit the next monthly inspection log to EPC, to include alarm history printouts.

- Alarm history report reviewed and corresponded with operability testing, routine maintenance and the following unexplained alarms: "L3: Fill Box Sensor" on 11/09/2017 and "L4 Generator Room Sensor" on 07/20/2018. INF was not submitted. An Incident Notification Form must be submitted for any positive response of a release detection device unless investigation is initiated within 24hrs and it is determined within 72hrs that a discharge has not occurred. Also, the investigation must be completed within two weeks of the date of discovery of the incident. Submit an INF for the unexplained alarms to EPC. Investigation results were reviewed - a passing operability test of the interstitial sensor was performed on 01/29/2019 with passing results. No further investigation required. Violation has been closed.

- Annual Overfill Protection Operability test for 2018 was not completed. Overfill protection devices must be

tested for operability every year, not exceeding 12 months between tests. Reviewed passing overfill protection operability test, performed by Guardian Fueling Technologies on 01/29/2019 with passing results. Violation has been closed. No further action necessary.

Reviewed inspection results onsite with facility operator, following the inspection.

Inspection Photos

Added Date 12/31/2019

2019-12-18 Site Photo



DRAFT

DRAFT

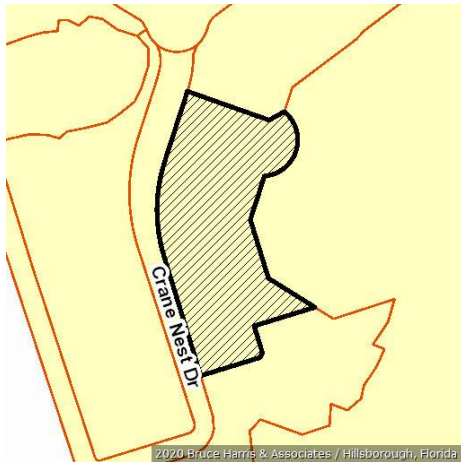
Site 99



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033583-1810



Owner Information

Owner Name	METROPOLITAN LIFE INSURANCE COMPANY
Mailing Address	PO BOX 130639 CARLSBAD, CA 92013-0639
Site Address	18210 CRANE NEST DR E, TAMPA
PIN	A-14-27-19-73Z-000000-00004.1
Folio	033583-1810
Prior PIN	A-14-27-19-5ER-000000-00001.0
Prior Folio	033582-1302
Tax District	TA - TAMPA
Property Use	1810 OFF MULT-STY A
Plat Book/Page	99/240
Neighborhood	216004.00 Rev New Richmond Area - N of BB Downs
Subdivision	73Z HIGHWOODS PRESERVE PHASE 1 REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$34,886,300	\$32,620,381	\$0	\$32,620,381
Public Schools	\$34,886,300	\$34,886,300	\$0	\$34,886,300
Municipal	\$34,886,300	\$32,620,381	\$0	\$32,620,381
Other Districts	\$34,886,300	\$32,620,381	\$0	\$32,620,381

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

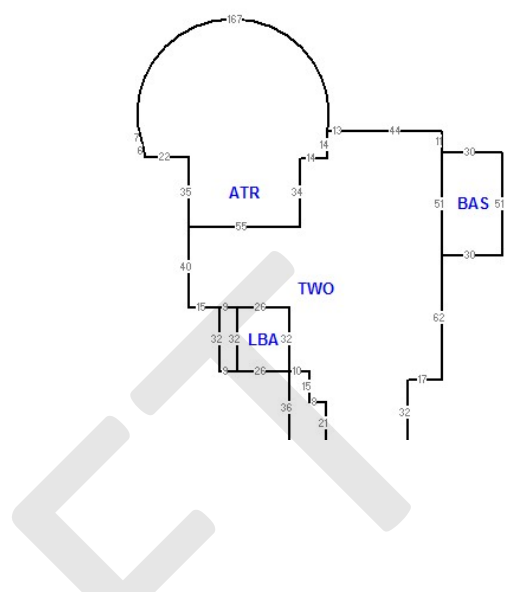
Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
15307	1229	07	2005	WD	Unqualified	Improved	\$100
15194	1327	06	2005	WD	Qualified	Improved	\$24,500,000
9453	0536	01	1999	WD	Unqualified	Vacant	\$10,000,000

Building 2 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,592	2,592	\$135,311
OPN			\$0
Totals	2,592	2,592	\$135,311

Building 3	
Type	50 OFFICE >2 STORY
Year Built	2000

Building 3 Construction Details		
Element	Code	Construction Detail
Class	A	Structural Steel Columns & Beams
Exterior Wall	10	Precast Panel
Exterior Wall	15	Glass Thermopane
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	2.0	
Units	1.0	
Wall Height	18.00	



Building 3 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
TWO	24,696	24,696	\$4,162,205
ATR	8,795	8,795	\$1,778,746
CAN	288		\$14,494
LBA	832	832	\$154,212
LBA	528	528	\$97,920
BAS	1,530	1,530	\$257,863
Totals	36,669	36,381	\$6,465,440

Extra Features							
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	1	2000	0	0	3,844.00	\$11,366
0020	ASPHALT PAVING	1	2004	0	0	5,420.00	\$7,774
0115	CONCRETE PAVERS	1	2004	0	0	2,783.00	\$17,633
0060	CONCRETE PAVEMENT	2	2004	0	0	2,320.00	\$9,146
0230	SEAWALL	1	2004	0	0	216.00	\$36,720
0115	CONCRETE PAVERS	3	2004	0	0	7,535.00	\$47,742
0060	CONCRETE PAVEMENT	3	2004	0	0	5,700.00	\$16,854
0020	ASPHALT PAVING	3	2004	0	0	1,690.00	\$3,232
0230	SEAWALL	3	2004	0	0	253.00	\$43,010

Land Information							
Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE2	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	147,708.80	\$861,393

Legal Description

HIGHWOODS PRESERVE PHASE 1 REPLAT LOT 4 AND A PORTION OF LOT 5 DESC AS FOLLOWS: COM AT THE SW COR OF SD LOT 5 SD PT BEING ON A CURVE CONCAVE TO THE SW A RAD OF 77.00 FT THN NLY ALG SD CURVE AND THE WLY LINE OF SD LOT 5, 20.16 FT THROUGH A CENTRAL ANGLE OF 15 DEG 00 MIN 00 SEC (CHORD BEARING N 09 DEG 34 MIN 23 SEC W, 20.10 FT) THN N 17 DEG 04 MIN 23 SEC W, 90.67 FT TO POB THN CONT ALG SD WLY LINE OF SD LOT 5 N 17 DEG 04 MIN 23 SEC W 302.35 FT TO A CURVE CONCAVE ELY A RAD OF 373.00 FT THN NLY ALG SD CURVE 226.28 FT THROUGH A CENTRAL ANGLE OF 34 DEG 45 MIN 28 SEC (CHORD BEARING N 00 DEG 18 MIN 21 SEC E 222.82 FT) TO THE NW COR OF SD LOT 5 THN ALG THE NLY AND ELY LINE OF SD LOT 5 THE FOLLOWING SIX (6) COURSES 1) S 72 DEG 02 MIN 45 SEC E 132.27 FT- 2) S 17 DEG 57 MIN 15 SEC W 7.17 FT - 3) S 72 DEG 02 MIN 45 SEC E 102.93 FT 4) S 17 DEG 48 MIN 17 SEC W 59.72 FT 5) S 17 DEG 04 MIN 48 SEC E 145.32 FT 6) S 58 DEG 00 MIN 00 SEC E 129.81 FT THN LEAVING SD ELY LINE S 72 DEG 55 MIN 37 SEC W 150.46 FT THN S 17 DEG 04 MIN 23 SEC E 67.41 FT THN S 30 DEG 08 MIN 28 SEC W 21.10 FT THN S 72 DEG 55 MIN 37 SEC W 140.00 FT TO THE POB

DRAFT

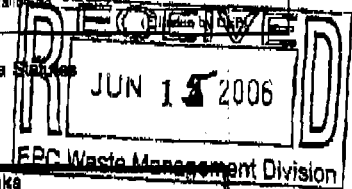


Florida Department of Environmental Protection
Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DEP Form # 62-761 908(2)
Form Title: Storage Tank Registration Form
Effective Date: July 13, 1998
DEP Approval: [Signature]

DATA ENTERED

Storage Tank Facility Registration Form



Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376.303, Florida Statutes.

JUL 26 '06

Please review Registration Instructions before completing the form.

Please check all that apply:
[] New Registration [] New Owner [] New Tanks
[] Facility Info Update/Correction [] Owner Info Update/Correction [] Tank Info Update/Correction

A. FACILITY INFORMATION

County: HILLSBOROUGH DEP Facility ID: NEW

Facility Name: METROPOLITAN LIFE INSURANCE CO. #9808306
Facility Address: 18210 CRANE NEST DRIVE City: TAMPA Zip: 33647
Facility Contact: SIMON OZER Business Phone: (813) 983-6455
Facility Type(s): ZC (See Attachment) NAICS Code: Financial Responsibility:

24 Hour Emergency Contact: SIMON OZER Emergency Phone: (813) 983-6455

B. RESPONSIBLE PERSON INFORMATION - Identify individual(s) or Business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. Provide additional information in an attachment if necessary.

Name: CUSHMAN & WAKEFIELD Facility - Responsible Person Relation Type: [] Facility Account Owner (pays fees) Effective Date
Mail address: 19210 CRANE NEST DRIVE [] Facility Account Owner information must be provided when the facility contains active (in-use) storage tanks on site.
City, ST, Zip: Tampa, FL 33647
Contact: SIMON OZER
Telephone: 813-983-6455
Identify other appropriate facility relationships for this party: [] Facility Owner/Operator [] Property Owner [X] Storage Tank Owner

Name: METROPOLITAN LIFE INSURANCE CO. Other owner, relationship type(s) Effective Date
Mail address: 1N17-01 [X] Facility Owner/Operator 60104
City, ST, Zip: LONG ISLAND, NEW YORK 11101 [] Property Owner
Contact: [] Storage Tank Owner
Telephone: [] Other:

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Table with 10 columns: Tank ID, TV, AU, Capacity, Installed, Content, Status/Effective Date, Construction, Piping, Monitoring. Row 1: 1, T, A, 7,000, 6/30/06, G, U, 6/30/06, C.R., M.O.P.N., A, B, F.O.1

Certified Contractor (performing tank installation or removal): JOEL SAMUEL DBPR License No.: PC046053

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.

Simon F Ozer Property Manager Signature Date: 6-13-06

DEP 62-761.908(2)

Northwest District
160 Government Center Blvd
Panama City, FL 32301
904-994-6660

Northwest District
7825 Baymeadows Way,
Suite 8200
Jacksonville, FL 32208
904-418-4300

Central District
3818 Maguire Blvd.,
Suite 333
Orlando, FL 32803
407-694-7330

Southwest District
3604 Colonial Palm Drive
Tampa, FL 33618
813-744-5100

Southeast District
400 North Congress Ave.,
Suite 204
West Palm Beach, FL 33410
561-961-6600

South District
3286 Victoria Ave.,
Suite 204
Fort Myers, FL 33901
941-332-9178

Allegan Branch Office
2750 Overseas Hwy.,
Suite 201
Islamorada, FL 33060
305-388-3310

Environmental Protection Commission of Hillsborough County

**EPC-Storage Tank Compliance, Waste Management Division
Roger P. Stewart Center, 3629 Queen Palm Dr. Tampa, FL 33619**

FAX TRANSMITTAL SHEET

DATE: June 21, 2006 Total pages with cover: 2

TO: Andrea McGill, Storage Tank Registration, FDEP-Tall.

FAX PHONE: (850) 245-8858

FROM: FROM: Michael McDaniel / Environmental Supervisor

COMMENTS: STRF is attached; Please update the STCM database for the facility listed below.

Facility Info:

**County: Hillsborough County
Facility #: New
Name: Metropolitan Life Insurance Co.
Facility Address: 18210 Crane Nest Drive, Tampa, FL 33647
Facility Contact/Phone #: Simon Ozer (813) 983-6455
Facility Type: C**

Owner Info:

**Business Name: Cushman & Wakefield
Mailing Address: 18210 Crane Nest Drive, Tampa, FL 33647
Owner Contact/Phone #: Simon Ozer (813) 983-6455**

Role(s):

Tank ID	T/V	A/U	Capacity	Installed	Content	Status	Effective Date	Construction	Piping	Monitoring
1	T	A	7000	Jun-06	G	U	30-Jun-06	GMNOPR	ABI	1FG

If more information is required, please call me at (813) 627-2600 ext. 1231 or SC 514-7360, Tues.-Fri., 7:30-6:00, Fax# (813) 627-2640

Thank you



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9808306 County: HILLSBOROUGH Inspection Date: 08/16/2007
Facility Name: METROPOLITAN LIFE INSURANCE CO Facility Type: C - Fuel user/Non-retail
18210 CRANE NEST DR # Of Inspected ASTs: 1
TAMPA, FL 33647 USTs: 0
Latitude: 28° 7' 48.1018" Mineral Acid Tanks: 0
Longitude: 82° 22' 29.2482"
L/L Method: DPHO

Inspection Result

Result : Major Out of Compliance

Description: Facility is out of compliance

A re-inspection will be scheduled on or after 90 days to verify correction of the non-compliance items noted.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: ZURICH-AMERICAN
Effective Date: 04/03/2007 Expiration Date: 04/03/2008

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

MONICA HAMBY

Mailed to Simon Ozer

Inspector Name

Facility Representative Name

Monica Hamby

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
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Completed Tests

Annual Operability Test	06/28/2006	06/28/2006	Passed
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Overdue Tests

Annual Operability Test	06/28/2007		
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New Violations

Significance Name: **SNC-B**

Rule Number(s): **62-762.601(1)(d)**

Violation Text: **Release detection not performed at least once a month.**

Explanation: **Monthly monitoring logs have not been completed since the final installation inspection 10/18/06. Informed operator that monthly monitoring must be conducted either by himself, an employee or a monitoring company and documented once a month to include: Visual inspections of tank system and components. Alarm status checks. Audible/visual alarm check. All inspections must be performed within 35 days; indicate month, day, and year for date on logs.**

Corrective Action: **Upon completion, submit monthly monitoring log for 9/07 to EPC (log included with this report).**

Significance Name: Minor

Rule Number(s): 62-762.701(1)(c)3.

Violation Text: Release detection devices not tested annually.

Explanation: Annual operability test of the interstitial sensor has not been completed since initial installation inspection 06/28/06.

Corrective Action: Perform annual operability test of the interstitial sensor and submit results to EPC.

Inspection Comments

08/16/2007 08/16/07, 1400hrs, MH/TCI Met on site with Simon Ozer of Metropolitan Life Insurance Company for annual compliance inspection.

Release Detection:

- Visual inspections of tank system and components.
- Electronic interstitial monitoring.

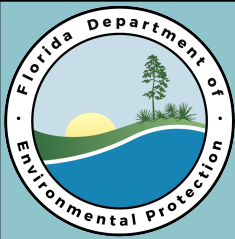
Caterpillar panels, one located at the generator and another in the switch gear room, monitor a Pnuemercator LS 600 (DEP EQ #240) interstitial sensor. No alarms noted. Audible/visual alarm tested-appears functional.

Tank: 7,000 gallon Phoenix Firesteel sub-base generator tank containing diesel fuel and equipped with:

- Product label.
 - Normal and emergency venting.
 - Spill containment bucket-appears intact. Top fill.
 - Overfill protection-Krueger fuel level sight gauge and flow shut off valve, according to plans.
 - Aboveground supply and return lines run directly to generator overhead.
 - Exterior coating-appears in good condition.
 - Electrical grounding present.
- No obvious signs of leakage noted.

Records:

- Current registration placard posted: (1) tank.
- Release Detection Response Level Statement present, complete, and accurate.
- Financial Responsibility: Zurich American, 04/03/07 to 04/03/2008.
- Certificate of Financial Responsibility: Not available. Complete and submit a copy to EPC.
- Monthly monitoring logs have not been completed since the final installation inspection 10/18/06. Informed operator that monthly monitoring must be conducted either by himself, an employee or a monitoring company and documented once a month to include: Visual inspections of tank system and components. Alarm status checks. Audible/visual alarm check. All inspections must be performed within 35 days; indicate month, day, and year for date on logs. Upon completion, submit monthly monitoring log for 9/07 to EPC (log included with this report).
- Annual operability test of the interstitial sensor has not been completed since initial installation inspection 06/28/06. Perform annual operability test of the interstitial sensor and submit results to EPC.



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
Division of Waste Management
Petroleum Storage Systems
Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9808306 County: HILLSBOROUGH Inspection Date: 12/13/2016
Facility Type: C - Fuel user/Non-retail
Facility Name: METROPOLITAN LIFE INSURANCE CO # of Inspected ASTs: 1
18210 CRANE NEST DR USTs: 0
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 48.1018"
Longitude: 82° 22' 29.2482"
LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Also Performed:

Financial Responsibility:

Financial Responsibility: INSURANCE
Insurance Carrier: ACE
Effective Date: 04/03/2016 Expiration Date: 04/03/2017

Findings:

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9808306

Austin J Alexander

Emailed to Derrick Hullum

INSPECTOR NAME

REPRESENTATIVE NAME



No Signature

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Completed Tests					
Annual Operability	12/21/2015	Passed	12/27/2016	12/21/2016	Performed monthly by on site personnel
Annual Operability	10/28/2016	Passed	12/27/2016	10/28/2017	Performed monthly by on site personnel

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	04/30/2016	12/13/2016	
Two Years	Electronic Release Detection Equip. Monthly Checks	12/23/2014	11/12/2016	
Two Years	Monthly Maint. Visual Examinations and Results	12/23/2014	11/12/2016	
Life Time	Written Release Detection Response Level Info	12/13/2016	12/13/2016	
Two Years	Certificate of Financial	04/30/2015	04/30/2016	

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
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Responsibility

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-762.401(2)(a)6.
 Violation Text: Registration placard is not displayed in plain view.
 Explanation: Current registration placard not displayed on site.
 Corrective Action: Operator must ensure that current registration placard is maintained on site. Current registration placard has been submitted to EPC. The violation is now closed. No further action required.

Type: Violation
 Significance: SNC-B
 Rule: 62-762.601(1)(d)
 Violation Text: Release detection not performed at least once a month.
 Explanation: Inspections not performed within 35 days. Monthly inspections exceeded 35 days from 8/16/15 – 9/29/15, 2/19/16 -3/26/16, 6/6/16 – 7/16/16, 7/16/16 – 8/31/16, 9/13/16 – 10/28/16. Monthly inspection records for April 2015 not available for review.
 Corrective Action: Monthly release detection inspections are to be performed once a month and are not to exceed 35 days in between. Submit December 2016 and January 2017 monthly inspection records to EPC.

Type: Violation
 Significance: Minor
 Rule: 62-762.601(1)(e)
 Violation Text: Visible storage tank system components and continuous electronic leak detection not inspected monthly.
 Explanation: Inspections not performed within 35 days. Monthly inspections exceeded 35 days from 8/16/15 – 9/29/15, 2/19/16 -3/26/16, 6/6/16 – 7/16/16, 7/16/16 – 8/31/16, 9/13/16 – 10/28/16. Monthly inspection records for April 2015 not available for review.
 Corrective Action: Monthly release detection inspections are to be performed once a month and are not to exceed 35 days in between. Submit December 2016 and January 2017 monthly inspection records to EPC.

Inspection Comments

12/13/2016

12/13/16 –AA/TCI - Met on site with Bill Pease of Metropolitan Life Insurance for the storage tank compliance inspection.

Release Detection:

- Visual inspections of tanks system and components.
 - Electronic interstitial monitoring.
 - (2) Caterpillar panels monitor Pneumercator LS 600 interstitial sensor, one located at the generator and one in the switch gear room.
- No current alarms noted.
Audible/visual alarm tested - functional.

Tank: (1) 7,000 gallon double walled Pheonix Firesteel sub-base generator tank containing diesel fuel with associated above ground single walled supply and return lines. Tank is located on a concrete pad and equipped with:

- Product label: Diesel.
 - Normal and emergency venting.
 - Overfill protection: Krueger fuel level sight gauge. According to plans, a flow shut off valve is also present.
 - Spill containment bucket- appeared dry and intact.
 - Exterior coating appeared in good condition.
 - Electrical grounding present.
 - Aboveground supply and return lines run directly to generator overhead. System does not produce a gravity head. No anti-siphon valve or manual isolation valve required.
- No obvious signs of leakage noted.

Records:

- Current registration placard not displayed on site. Operator must ensure that current registration placard is maintained on site. Current registration placard has been submitted to EPC. The violation is now closed. No further action required.
- Release Detection Response Level Statement present, complete, accurate.
- Monthly visual inspection logs reviewed and include:
Visual inspections of tank system and components.
Electronic monitoring of tanks interstitial space.
Audible/visual alarm test checks.
Alarm panel status checks.
- No problems noted on logs
- Inspections not performed within 35 days. Monthly inspections exceeded 35 days from 8/16/15 – 9/29/15, 2/19/16-3/26/16, 6/6/16 – 7/16/16, 7/16/16 – 8/31/16, 9/13/16 – 10/28/16. Monthly inspection records for April 2015 not available for review. Monthly release detection inspections are to be performed once a month and are not to exceed 35 days in between. Submit December 2016 and January 2017 monthly inspection records to EPC.

Inspection Photos

Added Date 12/27/2016

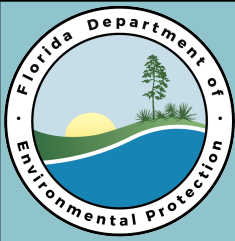
2016-12-13 Site photo



Added Date 12/27/2016

2016-12-13 Tank





Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
 Division of Waste Management
 Petroleum Storage Systems
 Storage Tank Facility Routine Compliance Site Inspection Report

Facility Information:

Facility ID: 9808306 County: HILLSBOROUGH Inspection Date: 10/24/2018
 Facility Type: C - Fuel user/Non-retail
 Facility Name: METROPOLITAN LIFE INSURANCE CO # of Inspected ASTs: 1
 18210 CRANE NEST DR USTs: 0
 TAMPA, FL 33647 Mineral Acid Tanks: 0
 Latitude: 28° 7' 48.1018"
 Longitude: 82° 22' 29.2482"
 LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Cody R Winter

Emailed Bill Pease on 10/31/2018

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

Cushman & Wakefield

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: ACE

Effective Date: 04/03/2018

Expiration Date: 04/03/2019

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	10/17/2018	Passed	10/29/2018	10/17/2019	Release Detection Performed Monthly by On-Site Personnel
Annual Operability Test	10/12/2017	Passed	10/29/2018	10/12/2018	Release Detection Performed Monthly by On-Site Personnel

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	12/14/2016	10/17/2018	
Two Years	Electronic Release Detection Equip. Monthly Checks	12/14/2016	10/17/2018	

New Violations

Type: **Violation**

Significance: **SNC-B**

Rule: **62-762.501(2)(e), 62-762.501(2)(e)1., 62-762.501(2)(e)2., 62-762.501(2)(e)2.a., 62-762.501(2)(e)2.b., 62-762.501(2)(e)2.c., 62-762.501(2)(e)2.d., 62-762.501(2)(e)3.**

Violation Text: **Failure to provide approved overfill protection for shop fabricated tank systems.**

Explanation: **Annual operability testing of all approved overfill protection devices not completed by due date of January 11th, 2018.**

Corrective Action: **Conduct operability testing on all approved overfill protection devices and submit documentation to EPC for review. In lieu of conducting operability tests on all approved overfill protection devices, a placard may be placed near the fill indicating which overfill protection device is the primary means of overfill protection.**

Type: Violation

Facility ID: 9808306

Significance: Minor

Rule: 62-762.421(3), 62-762.421(3)(a), 62-762.421(3)(b), 62-762.421(3)(c), 62-762.421(3)(d)

Violation Text: Incomplete documentation demonstrating financial responsibility.

Explanation: Certificate of Financial Responsibility for 2017-2018 and 2018-2019 not available for review.

Corrective Action: Submit a Certificate of Financial Responsibility for 2018-2019 to EPC for review.

Inspection Comments

10/24/2018

10/24/2018 CRW/TCI met on-site with Bill Pease of Cushman & Wakefield for the routine compliance inspection of the tank system and components.

Release Detection:

- Visual inspections of tank system and components.
 - Electronic monitoring of tank interstice using a Pneumercator LS 600 interstitial sensor monitored by (2) Caterpillar panels located in both the generator housing and the switch gear room.
 - Audible/visual alarm tested- appeared functional.
 - System does not have printing capabilities.
- No current alarms.

Tank: (1) 7,000 gallon double-walled Phoenix Firesteel sub-based generator aboveground storage tank containing diesel for emergency generator use. Tank is located on a concrete pad and is equipped with:

- Product label: Diesel.
- Normal and emergency venting.
- Spill containment bucket inspected- appeared dry and intact.
- Overfill protection: Krueger fuel level sight gauge. High level alarm is also present. According to plans, a flow shut-off valve is present in the fill port.
- Flexible supply and return lines from tank to generator above- appeared in good condition.
- System does not produce a gravity head, therefore no anti-siphon valve is required.
- Tank exterior appeared to be in good condition.
- Electrical grounding present.

No obvious signs of leakage noted.

Records:

- Current registration placard posted on-site: (1) tank.
- Certificate of Financial Responsibility for 2017-2018 and 2018-2019 not available for review. Submit a Certificate of Financial Responsibility for 2018-2019 to EPC for review.
- Monthly monitoring logs reviewed and include:
 - Visual inspections of tank system and components.
 - Audible/visual alarm test checks.
 - Alarm panel status checks.
- In the event of an alarm, facility will note it on monthly logs.
- No problems noted on logs. Inspections performed within 35 days.
- Annual operability testing of all approved overfill protection devices not completed by due date of

Facility ID: 9808306

January 11th, 2018. Conduct operability testing on all approved overflow protection devices and submit documentation to EPC for review. In lieu of conducting operability tests on all approved overflow protection devices, a placard may be placed near the fill indicating which overflow protection device is the primary means of overflow protection.

Reviewed inspection results with on-site operator, Bill Pease of Cushman & Wakefield.

DRAFT

COMMISSION

Pat Kemp
CHAIR
Lesley "Les" Miller, Jr.
VICE-CHAIR
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Sandra L. Murman
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Andy Schipfer, P.E. WETLANDS MGMT
Richard Tschantz, Esq. LEGAL/ADMIN
Sterlin Woodard, P.E. AIR MGMT

12/03/2018

Derrick Hullum
Metropolitan Life Insurance Co
18210 Crane Nest Dr
Tampa, FL 33647

RE: Return to Compliance

Metropolitan Life Insurance Co, 18210 Crane Nest Dr, Tampa
DEP Facility ID#: 29/9808306
Hillsborough County – Storage Tanks

Dear Derrick Hullum:

The Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection, will not need to issue another Compliance Assistance Offer letter to the above-referenced facility. Based on the documentation provided on 11/08/2018, the facility was determined to have returned to compliance with the Department's Storage Tank rules and regulations.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Cody Winter at 813-627-2600, ext. 1429 and/or winterc@epchc.org.

Sincerely,

Cody Winter

Environmental Scientist I

Site 100

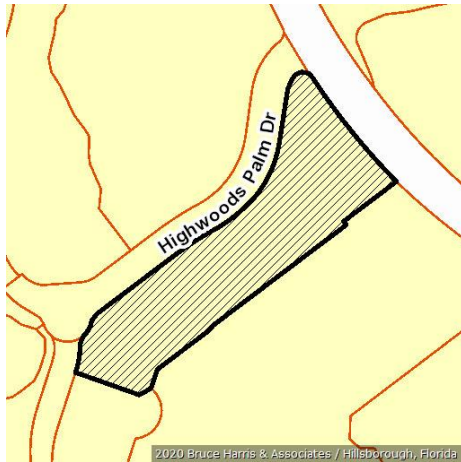
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 033583-1806



Owner Information

Owner Name	SOP 8125 HW PALM WAY LLC
Mailing Address	C/O STRATEGIC OFFICE PARTNERS 379 W BROADWAY STE 403 NEW YORK, NY 10012-5121
Site Address	8125 HIGHWOODS PALM WAY, TAMPA
PIN	A-14-27-19-73Z-000000-00003.0
Folio	033583-1806
Prior PIN	A-14-27-19-5ER-000000-00001.0
Prior Folio	033582-1302
Tax District	TA - TAMPA
Property Use	1810 OFF MULT-STY A
Plat Book/Page	99/240
Neighborhood	216004.00 Rev New Richmond Area - N of BB Downs
Subdivision	73Z HIGHWOODS PRESERVE PHASE 1 REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$31,249,000	\$31,249,000	\$0	\$31,249,000
Public Schools	\$31,249,000	\$31,249,000	\$0	\$31,249,000
Municipal	\$31,249,000	\$31,249,000	\$0	\$31,249,000
Other Districts	\$31,249,000	\$31,249,000	\$0	\$31,249,000

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26297	1503	12	2018	WD	Qualified	Improved	\$37,500,000
19333	1719	06	2009	WD	Unqualified	Improved	\$114,200
9453	0536	01	1999	WD	Unqualified	Vacant	\$10,000,000

Building Information

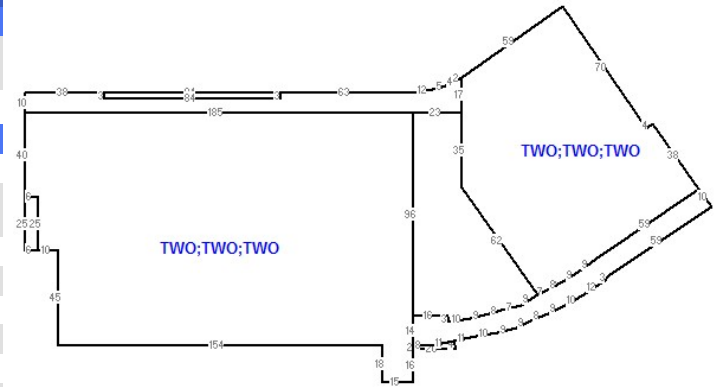
Building 1

Type 50 | OFFICE >2
STORY

Year Built 2000

Building 1 Construction Details

Element	Code	Construction Detail
Class	A	Structural Steel Columns & Beams
Exterior Wall	10	Precast Panel
Exterior Wall	15	Glass Thermopane
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	6.0	
Units	1.0	
Wall Height	16.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	17,960	17,960	\$2,837,752
TWO	17,960	17,960	\$2,837,752
TWO	17,960	17,960	\$2,837,752
CAN	1,888		\$89,430
TWO	3,776	3,776	\$596,623
TWO	3,776	3,776	\$596,623
CAN	252		\$12,008
TWO	504	504	\$79,634
FUS	252		\$39,817
TWO	39,500	39,500	\$6,241,158
TWO	39,500	39,500	\$6,241,158
TWO	39,500	39,500	\$6,241,158
CAN	150		\$7,110
TWO	300	300	\$47,401
TWO	300	300	\$47,401
FUS	150	150	\$23,701
CAN	51		\$2,370
CAN	1,614		\$76,474
TWO	3,228	3,228	\$510,037
TWO	3,228	3,228	\$510,037
LBG	3,404	3,404	\$672,307
TWO	6,808	6,808	\$1,075,691
TWO	6,808	6,808	\$1,075,691
Totals	208,869	204,914	\$32,699,085

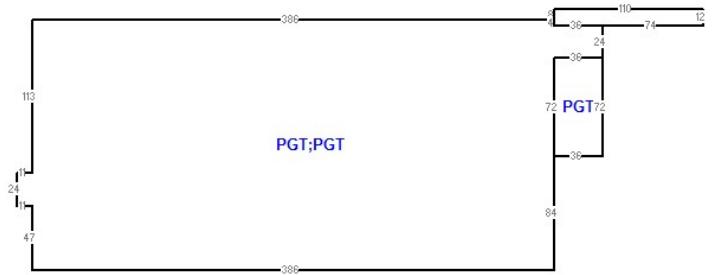
Building 2

Type 94 | PARKING GARAGE

Year Built 2000

Building 2 Construction Details

Element Class	Code	Construction Detail
	B	Reinforced Concrete Columns and Beams
Exterior Wall	10	Precast Panel
Roof Structure	13	Prestress Concrete
Roof Cover	1	Minimum
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Plumbing	3	Typical
Condition	3	Average
Units	1.0	
Stories	4.0	
Wall Height	8.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	1,320		\$9,500
PGT	144,304		\$3,461,911
PGT	144,304		\$3,461,911
PGT	5,184		\$124,366
Totals	295,112		\$7,057,688

Extra Features

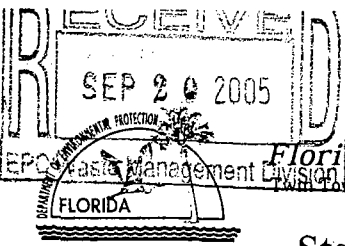
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0230	SEAWALL	1	2004	0	0	786.00	\$133,620
0020	ASPHALT PAVING	1	2004	0	0	2,595.00	\$4,962
0060	CONCRETE PAVEMENT	1	2004	0	0	4,055.00	\$11,990
0115	CONCRETE PAVERS	1	2004	0	0	11,800.00	\$74,765
0020	ASPHALT PAVING	2	2004	0	0	43,605.00	\$62,540
0060	CONCRETE PAVEMENT	2	2004	0	0	5,840.00	\$17,268
0060	CONCRETE PAVEMENT	2	2007	0	0	1,610.00	\$6,636

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE2	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	291,721.32	\$1,604,292

Legal Description

HIGHWOODS PRESERVE PHASE 1 REPLAT LOT 3



Florida Department of Environmental Protection
Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

File

DEP Form # 62-761.900(2)
Form Title <u>Storage Tank Registration Form</u>
Effective Date <u>July 13, 1998</u>
DEP Application No. _____ (Filled in by DEP)

Storage Tank Facility Registration Form

Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376.303, Florida Statutes

Please review *Registration Instructions* before completing the form.

9808015

Please check all that apply	<input checked="" type="checkbox"/> New Registration	<input type="checkbox"/> New Owner	<input type="checkbox"/> New Tanks
	<input type="checkbox"/> Facility Info Update/Correction	<input type="checkbox"/> Owner Info Update/Correction	<input type="checkbox"/> Tank Info Update/Correction

A. FACILITY INFORMATION

County: Hillsborough DEP Facility ID: Permitting 29980875

Facility Name: Syniverse Technologies Inc.

Facility Address: 8125 Highwoods Palm Way City: Tampa Zip: 33647-1765

Facility Contact: Jean Olsen Business Phone: (813) 431-5419

Facility Type(s): Z - General Office NAICS Code: 332420 Financial Responsibility: Insurance Carrier

24 Hour Emergency Contact: Jean Olsen Emergency Phone: (813) 431-5419

B. RESPONSIBLE PERSON INFORMATION - Identify Individual(s) or Business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. Provide additional information in an attachment if necessary.

Name: <u>Syniverse Technologies, Inc.</u>	Facility - Responsible Person Relation Type: <input checked="" type="checkbox"/> Facility Account Owner (pays fees)	Effective Date: <u>12/05</u>
Mail address: <u>8125 Highwoods Palm Way</u>	Facility Account Owner information must be provided when the facility contains active or out of service storage tanks on site.	
City, ST, Zip: <u>Tampa, FL 33647-1765</u>	STCM Account Number (if known): <u>59631</u>	
Contact: <u>Jean Olsen</u>	Identify other appropriate facility relationships for this party: <input type="checkbox"/> Facility Owner/Operator <input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Storage Tank Owner	
Telephone: <u>431-5419</u>		

Name:	Other owner, relationship type(s)	Effective Date
Mail address:	<input type="checkbox"/> Facility Owner/Operator	
City, ST, Zip:	<input type="checkbox"/> Property Owner	
Contact:	<input type="checkbox"/> Storage Tank Owner	
Telephone:	<input type="checkbox"/> Other:	

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Tank ID	TV	A/U	Capacity	Installed	Content	Status/Effective Date	Construction	Piping	Monitoring
<u>Planashell EQ-434</u>	<u>T</u>	<u>A</u>	<u>12,000 gal</u>	<u>12/05</u>	<u>H</u>	<u>U 12/05</u>	<u>N, C, M, I</u>	<u>A, B, S</u>	<u>F, O, B</u>

Certified Contractor (performing tank installation or removal): ABI Construction DBPR License No.: n/a

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.
Jean L. Olsen, Facility Mgr. Jean L. Olsen Date: 9/15/05

- DEP 62-761.900(2)
- Northwest District: 160 Governmental Center Blvd., Pensacola, FL 32501, 850-595-8360
 - Northeast District: 7825 Baymeadows Way, Suite B200, Jacksonville, FL 32256, 904-448-4300
 - Central District: 3319 Maguire Blvd., Suite 232, Orlando, FL 32803, 407-894-7555
 - Southwest District: 3804 Coconut Palm Drive, Tampa, FL 33619, 813-744-6100
 - Southeast District: 400 North Congress Ave., W Palm Beach, FL 33416, 561-681-6600
 - South District: 2295 Victoria Ave., Suite 364, Fort Myers, FL 33901, 941-332-6975
 - Marathon Branch Office: 2796 Overseas Hwy., Suite 221, Marathon, FL 33050, 305-289-2310

Forwarded to Tall 4/13/06
~430
8



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9808015 County: HILLSBOROUGH Inspection Date: 04/19/2007
Facility Name: SYNIVERSE TECHNOLOGY INC Facility Type: C - Fuel user/Non-retail
8125 HIGHWOODS PALM WAY # Of Inspected ASTs: 1
TAMPA, FL 33647 USTs: 0
Latitude: 28° 7' 52.8498" Mineral Acid Tanks: 0
Longitude: 82° 22' 24.954"
L/L Method: DPHO

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 04/03/2007 Expiration Date: 04/03/2008

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

ANDREA MURLEY

Inspector Name

Inspector Signature

(813) 627-2600

Storage Tank Program Office Phone Number

Mailed to Jean Olsen

Facility Representative Name

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
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To be completed

Annual Operability Test 04/20/2008

Completed Tests

Annual Operability Test 10/30/2007 04/20/2007 Passed

Reviewed Records

Record Category	Record Type	From Date	To Date
Life Time	Written Release Detection Response Level Info	04/19/2007	04/19/2007
Two Years	Monthly Maint. Visual Examinations and Results	10/30/2006	04/09/2007
Two Years	Electronic Release Detection Equip. Monthly Checks	10/30/2006	04/09/2007

New Violations

Significance Name: Minor

Rule Number(s): 62-762.711(2)(a), 62-762.711(2)(b), 62-762.711(2)(c), 62-762.711(2)(d), 62-762.711(2)(e), 62-762.711(2)(f), 62-762.711(2)(g), 62-762.711(2)(h)

Violation Text: Records requiring 2 year documentation period not kept by facility.

Explanation: Commerce & Industry letter of renewal on site, but policy not available yet.
Current Certification of Financial Responsibility Form not available on site.

Corrective Action: Current pollution liability insurance policy (declarations page and list of covered tanks) must be submitted to EPC.
Current Certification of Financial Responsibility Form must be submitted to EPC.

Significance Name: Minor

Rule Number(s): 62-761.450(2)(a)1., 62-761.450(2)(a)2., 62-761.450(2)(a)3., 62-761.450(2)(a)4., 62-761.450(2)(a)5., 62-761.450(2)(a)6., 62-761.450(2)(a)7.

Violation Text: Incident not reported within 24-hours or by next business day.

Explanation: Incident Notification Forms not filed for tank interstitial alarms.

Corrective Action: Ensure Incident Notification Forms are submitted for tank interstitial alarms in the future. If an investigation is performed within 24 hours, indicating a discharge did not occur, an Incident Notification Form is not required.

Inspection Comments

04/19/2007 04/19/07 - Met on site with Robert Humphries for compliance inspection.
Release Detection: Visual inspection of A S T system and components and electronic monitoring of tank interstice (Veeder Root 794390-420 sensor DEP EQ-614).
Veeder Root T L S - 300C panel checked, All Functions Normal.
Audible / visual alarm tested, appears operational.
Sensor alarm history printed.
Tanks:
1 - 12,000 gallon double walled steel Fireguard A S T containing diesel fuel for two emergency generators. Tank located in a room within parking garage building / ground level. Tank room floor appears to act as containment area, sealed, sensor present on floor.
Tank equipped with:
-Product label at remote fill
-Exterior coating.
-Emergency venting. Normal venting outside tank room.
-Remote fill within spill containment box outside building. Very slight rust noted at remote fill (e mail from operator 04/23/07 indicates fill pipe has been repainted).
-Veeder Root high level alarm at remote fill. Test button pressed, audible/visual alarm functional.
-Morrison clock sight gauge not visible from fill. Morrison overflow prevention valve in fill according to plans.
-Aboveground coated steel supply and return lines
-(3)Supply lines (two generators and one fuel filtering system) equipped with antisiphon valves present downstream and adjacent to manual isolation valves at top of tank.
-Fuel filtration system located within containment box within tank room. Maintenance records indicate Techniflow has replaced o ring at flange on water filter inlet due to slight seepage. No obvious leakage noted presently, but very slight wetness at flange noted. Operator states flange to be replaced by Techniflow, part on order.

Inspection Comments

-Interstitial sensor

No obvious signs of leakage observed at tank system.

Generators located outside garage, no obvious leakage noted.

File indicates one generator is equipped with a sub base generator tank which was sealed at the manufacturer and in use (west generator according to operator).

04/27/2007

Records:

-Current registration placard posted - 2 tanks.

-Financial Responsibility: Commerce & Industry 04/03/06 to 04/03/07, letter of renewal on site, but policy not available yet.

Current pollution liability insurance policy (declarations page and list of covered tanks) must be submitted to EPC.

-Current Certification of Financial Responsibility Form not available on site, must be submitted to EPC.

-Monthly visual inspection log reviewed 10/30/06 to 04/09/07. Tank installed 04/06, but operator states tank was not in use until months later. Inspections were required monthly after first fuel delivery. Monthly inspections currently performed by Techniflow and include visual inspection of tank/piping system, tank interstitial sensor status, audible/visual alarm test. Seepage and repair at o ring of fuel filtration system documented. More than 35 days passed prior to 12/06 and 02/07 inspections. Operator has submitted documentation stating that he understands the requirement that no more than 35 days must pass between monthly inspections.

-Release Detection Response Level statement present, complete, and accurate.

-Annual operability test of interstitial sensor performed by Techniflow on 10/30/06 and 04/20/07.

-Alarm history report indicated floor sump sensor alarms 06/21/06, 09/22/06, and 10/30/06. Documentation indicates 10/30/06 was operability test. Operator states 06/21/06 and 09/22/06 were also operability tests. Please retain all documentation of operability tests.

Tank interstitial alarms were noted 12/20/06 and 04/13/07. Operator states both these alarms cleared on their own. Techniflow work order 11/16/06 indicated 1/16 inch of water in interstice, cleared alarm.

Techniflow work order 04/20/07 submitted to EPC indicated sensor float sticks - 3rd time out for same problem. Tank interstitial sensor replaced and tested for operability 04/20/07.

Reviewed incident notification procedure with operator.

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9808015 County: HILLSBOROUGH Inspection Date: 05/18/2010
Facility Type: C -Fuel user/Non-retail
Facility Name: SYNIVERSE TECNOLOGY INC # Of Inspected ASTs: 1
8125 HIGHWOODS PALM WAY USTs: 0
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 52.8498"
Longitude: 82° 22' 24.954"
LL Method:

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 04/06/2010 Expiration Date: 04/06/2011

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Christy Jacobs
INSPECTOR NAME

Mailed to: Jean Olsen
REPRESENTATIVE NAME


INSPECTOR SIGNATURE

NO SIGNATURE
REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Operability Test	05/06/2008	Passed	06/08/2010	04/20/2008	
Annual Operability Test	04/20/2007	Passed	04/27/2007	10/30/2007	
Annual Operability Test	05/12/2009	Passed	06/08/2010	05/12/2010	
Annual Operability Test	05/05/2010	Passed	06/08/2010	05/05/2011	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
-----------------	-------------	-----------	---------	-------------------------

Two Years	Certificate of Financial Responsibility	04/06/2010	04/06/2011	
Two Years	Monthly Maint. Visual Examinations and Results	04/01/2009	05/10/2010	
Life Time	Written Release Detection Response Level Info	05/18/2010	05/18/2010	
Two Years	Electronic Release Detection Equip. Monthly Checks	04/01/2009	05/10/2010	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-762.701(1)(a)1.d., 62-762.701(1)(a)1.c., 62-762.701(1)(a)1.b., 62-762.701(1)(a)1.a.
 Violation Text: Not repaired component which has or could cause a discharge or release.
 Explanation: No cap on remote fill which could cause a release
 Corrective Action: Replace cap on remote fill to prevent a release

Inspection Comments

05/18/2010

LOCATION: Highwoods Preserve/Highwoods Palm

On 5/18/10 - TCI/CJ - I met with Robert Humphries, Staff, to conduct the Annual Compliance Inspection.

TANK: (1) 12,000 gallon Modern Welding Fireguard (EQ-#352) double-walled AST containing diesel fuel for emergency generator.

RELEASE DETECTION:

- Monthly visual inspections of tank system and components
- Electronic monitoring of tank's interstice

Inspection Comments

- Veeder Root TLS-350 Panel indicated "All Functions Normal"
- Audible/visual alarm tested - functional

Tank is located on a concrete and equipped with:

- Product label - diesel
- Normal and emergency vents run outside tank room
- Electronic interstitial monitoring - sensor tested functional
- Overfill protection - Morrison fuel sight level gauge marked @ 90%
- Remote fill - no cap (equipped with high level alarm)
- Audible/visible alarms tested operable
- Spill containment bucket - dry and appeared intact
- Sensor on floor in room
- Exterior coating - good
- Electrical grounding present
- Return/Supply lines labeled
- Supply lines (3) and fuel filtering system (1) equipped with solenoid valve downstream of manual isolation valve at point of connection on top of tank
- Aboveground piping run outside to (2) generators sit in an enclosed area. (West generator is equipped with a sub-base generator tank (Manufacturer by Silex) >550 was sealed at the manufacturer and not to be placed in service. Cap is sealed

No obvious signs of leakage noted

RECORDS:

Current Registration Placard: 5/20/09 - 6/30/10 (1) Tank

Insurance: Commerce & Industry 4/06/10 - 4/06/11

Certification of Financial Responsibility Form (CFR): Current & on site

Monthly monitoring records for period 4/01/09 - 5/10/10 reviewed and includes:

- Visual inspections of tank's system and components
- Alarm status checks (light checks)
- Audible/visual alarm checks
- Alarm history printed
- Electronic monitoring inspection of tank's interstitial space
- Inspections performed within 35 days

Last Annual operability test of interstitial & floor sensors performed: 5/12/09 & 5/05/10

Next Annual Operability test due: 5/05/11

Last Veeder Root Monitoring Certification performed: 5/12/09 & 5/05/10

Next Annual Operability test due: 5/05/11

Written Release Detection Response Level Statement (RDRL) current and accurate

Inspection Photos1

Facility ID: 9808015

Added Date 05/28/2010

1. 2010-05-18 Tank & Generators enclosed



Added Date 05/28/2010

3. 2010-05-18 Remote fill without cap



Added Date 05/28/2010

5. 2010-05-18 Generators systems



Added Date 05/28/2010

2. 2010-05-18 Spill Bucket outside tank room



Added Date 05/28/2010

4. 2010-05-18 AST in room





Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9808015 County: HILLSBOROUGH Inspection Date: 04/11/2011
Facility Type: C -Fuel user/Non-retail
Facility Name: SYNIVERSE TECNOLOGY INC # Of Inspected ASTs: 1
8125 HIGHWOODS PALM WAY USTs: 0
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 7' 52.8498"
Longitude: 82° 22' 24.954"
LL Method:

Inspection Result:

Result : Major Out of Compliance
Description: Facility is Major Out of Compliance.

Financial Responsibility

Over Due

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 04/06/2010 Expiration Date: 04/06/2011

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Monica L. Hamby
INSPECTOR NAME

Jean Olsen
REPRESENTATIVE NAME

NO SIGNATURE
REPRESENTATIVE SIGNATURE

INSPECTOR SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
------	----------------	---------	----------	---------------	---------

Completed Tests

Annual Operability Test	05/06/2008	Passed	06/08/2010	04/20/2008	
Annual Operability Test	04/20/2007	Passed	04/27/2007	10/30/2007	
Annual Operability Test	05/12/2009	Passed	06/08/2010	05/12/2010	
Annual Operability Test	05/05/2010	Passed	06/08/2010	05/05/2011	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
-----------------	-------------	-----------	---------	-------------------------

Two Years	Monthly Maint. Visual Examinations and Results	06/07/2010	04/07/2011	
Life Time	Written Release Detection Response Level Info	04/11/2011	04/11/2011	
Two Years	Electronic Release Detection Equip. Monthly Checks	06/07/2010	04/07/2011	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-762.711(2)(h), 62-762.711(2)(g), 62-762.711(2)(f), 62-762.711(2)(e), 62-762.711(2)(d), 62-762.711(2)(c), 62-762.711(2)(b), 62-762.711(2)(a)
 Violation Text: Records requiring 2 year documentation period not kept by facility.
 Explanation: Certification of Financial Responsibility Form not available.
 Corrective Action: Upon receipt of current insurance policy, complete and submit a copy of the Certification of Financial Responsibility Form to EPC.

Type: Violation
 Significance: **SNC-B**
 Rule: **62-762.401(3)(a)1.**
 Violation Text: **No financial responsibility**
 Explanation: **Current financial responsibility mechanism not available.**
 Corrective Action: **Immediately obtain current pollution liability policy and submit a copy to EPC.**

Inspection Comments

04/11/2011
 04/11/2011, 0900hrs, MH/TCI Met on site with Robert Humphries for the annual compliance inspection.

Inspection Comments

Release Detection:

- Visual inspection of AST system and components.
- Electronic monitoring of tank interstice.

Veeder Root TLS-300C panel monitors (1) Veeder Root 794390-420 interstitial sensor (DEP EQ #614).
Display indicates =All Functions Normal=.

Audible/visual alarm tested, appears operational.

Alarm history printed/on file.

Tanks: (1) 12,000 gallon double walled steel Fireguard AST containing diesel fuel for two emergency generators. Tank located in a room within parking garage building/ground level. Tank room floor appears to act as containment area, sealed, sensor present on floor. Tank equipped with:

- Product label at remote fill.
- Emergency venting. Normal venting outside tank room.
- Spill containment box outside building-appears in good condition.
- Overfill protection-Veeder Root high level alarm at remote fill. Test button pressed, audible/visual alarm functional. Morrison clock sight gauge not visible from fill. Morrison overfill prevention valve in fill according to plans.
- Aboveground coated steel supply and return lines.
- (3)Supply lines (two generators and one fuel filtering system) equipped with antisiphon valves present downstream and adjacent to manual isolation valves at top of tank.
- Fuel filtration system located within containment box within tank room.
- Exterior coating-appears in good condition.
- Electrical grounding present.

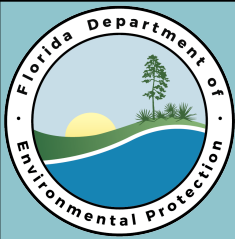
No obvious signs of leakage observed at tank system.

Generators located outside garage, no obvious leakage noted.

File indicates one generator is equipped with a sub base generator tank which was sealed at the manufacturer and not to be placed in service (west generator according to operator).

Records:

- Current registration placard posted: (2) tanks.
 - Release Detection Response Level statement present, complete, and accurate.
 - Financial Responsibility: Not available. Immediately obtain current pollution liability policy and submit a copy to EPC.
 - Certification of Financial Responsibility Form: Not available. Upon receipt of current insurance policy, complete and submit a copy of the Certification of Financial Responsibility Form to EPC.
 - Monthly visual inspection log (06/07/10 to 04/07/11) reviewed and include:
Visual inspections of AST system and components.
Audible/visual alarm checks.
Alarm panel status checks.
- No problems noted. Inspections performed within 35 days.
- Annual operability test of interstitial sensor performed 05/05/10 passed. Next test due 05/05/11.



Facility Information:

Facility ID: 9808015 County: HILLSBOROUGH Inspection Date: 09/20/2017
 Facility Type: C - Fuel user/Non-retail
 Facility Name: SYNIVERSE TECHNOLOGIES LLC # of Inspected ASTs: 1
 8125 HIGHWOODS PALM WAY USTs: 0
 TAMPA, FL 33647-1776 Mineral Acid Tanks: 0
 Latitude: 28° 7' 52.8498"
 Longitude: 82° 22' 24.954"
 LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to Geoff Rauchmiller on 9/25/2017

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature
Syniverse Technologies

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit:
http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

Financial Responsibility:

Financial Responsibility: INSURANCE
 Insurance Carrier: COMMERCE & INDUSTRY
 Effective Date: 02/14/2017 Expiration Date: 02/14/2018

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	06/16/2016	Passed	09/25/2017	06/16/2017	Performed by Techniflow
Annual Operability Test	06/14/2015	Passed	09/25/2017	06/14/2016	Performed by Techniflow

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Electronic Release Detection Equip. Monthly Checks	09/22/2015	09/18/2017	
Two Years	Certificate of Financial Responsibility	02/14/2017	09/20/2017	
Two Years	Monthly Maint. Visual Examinations and Results	09/22/2015	09/18/2017	
Two Years	Certificate of Financial Responsibility	02/14/2016	02/14/2017	

Areas of Concern

Type: Area of Concern

Rule: 62-762.501(1)(f)

Violation Text: Exterior portions of tanks and integral piping not protected from external corrosion, deterioration or degradation for shop fabricated tank systems.

Explanation: Supply and return lines to generator tanks were mildly rusted.

Corrective Action: Monitor rust and make repairs as necessary.

Area of Concern Photos

Facility ID: 9808015

Added Date 09/25/2017

2017-09-20 AOC piping



New Violations

Type: Violation

Significance: SNC-B

Rule: 62-762.601(1)(d), 62-762.601(1)(e)

Violation Text: Release detection, including visual inspections not being conducted monthly (not to exceed 35 days) for shop fabricated tank systems. For electronically monitored sumps, visual inspections not conducted every 6 months.

Explanation: Monthly visual inspection logs for November 2015 and July 2016 were not available for review. October 2016 monthly monitoring log was not completed within 35 days of the previous inspection

Corrective Action: Complete October 2017 monthly visual inspection log within 35 days of previous inspection and submit to EPC for review.

Type: Violation

Significance: SNC-B

Rule: 62-762.601(1)(g)

Violation Text: Electronic release detection devices not inspected monthly for shop fabricated storage tank systems.

Explanation: Monthly electronic inspection logs for November 2015 and July 2016 were not available for review. October 2016 monthly monitoring log was not completed within 35 days of the previous inspection

Corrective Action: Complete October 2017 monthly inspection log within 35 days of previous inspection and submit to EPC for review.

Facility ID: 9808015

Type: Violation

Significance: Minor

Rule: 62-762.601(7)

Violation Text: Shop fabricated storage tank system release detection devices not tested annually.

Explanation: Annual operability testing of interstitial sensor was due on 06-16-2017. Operability testing results were not available for review

Corrective Action: Complete annual operability test of interstitial sensor and submit results to EPC for review.

Inspection Comments

09/20/2017

2017-09-20 AJM/GN met on site with Geoff Rauchmiller of Syniverse Technologies for compliance inspection of storage tank system

Release detection:

- Visual inspections of tank system and components
- Electrical monitoring of tank interstitial space and containment room using Veeder root panel Panel currently indicates 'All functions normal' -no current alarms
- Audible/Visual alarm tested- appeared operational
- Alarm history report printed and on file
- No unexplained alarms noted

Tank: (1) 12,000 gallon double walled Fireguard AST containing diesel fuel for two emergency generators. There is a sensor in the low spot of the tank room floor. Tank equipped with:

- Product label: Diesel
- Normal and emergency venting
- Remote spill containment bucket- appeared dry and intact
- Overfill protection: Veeder root high level alarm located near fill. Morrison clock gauge marked at 90 % located on tank, not visible from fill.
- (3 sets of) Aboveground coated steel supply and return lines. One set of supply and return lines run to fuel filtration system located in containment room. One set runs to each generator in generator housing. Each supply line equipped with manual isolation and anti-siphon valve. Piping runs located outside of tank room appear to be mildly rusted. Monitor rust and make repairs as necessary
- Electrical grounding present
- Tank exterior appears to be in good condition

No obvious signs of leakage noted

Records:

- Current registration placard: (1) tank
- Monthly inspection logs include:
Visual inspection of tank system and components
Electronic interstitial monitoring
Alarm panel status checks
Audible/visual alarm test checks

Monthly logs for November 2015 and July 2016 were not available for review. October 2016

Facility ID: 9808015

inspection log was not completed within 35 days of previous inspection. Complete October 2017 monthly inspection log within 35 days of previous inspection and submit to EPC for review. Annual operability testing was due on 06/16/2017. Operability testing results were not available for review. Complete operability testing of interstitial sensor and submit results to EPC for review.

Reminders:

**Overfill protection devices must be tested for operability prior to January 11, 2018 and every 12 months thereafter.

**Upon renewal or expiration of existing pollution liability insurance policy, the following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3) must be used to demonstrate Financial Responsibility: the updated CFR form (Part P) along with either Part C or Part D (completed by insurer) and a signed copy of the policy.

http://www.dep.state.fl.us/waste/categories/tanksfr/pages/all_forms.htm

**An alarm history report must be kept for all facilities using electronic monitoring. For systems with printing capabilities this report is required to be printed every month. For systems without printing capabilities a written journal of alarms must be kept.

Inspection Photos

Added Date 09/25/2017

2017-09-20 Site Photo



COMMISSION

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10/11/2017

Julio Patino
Syniverse Technologies, LLC
8125 Highwoods Palm Way
Tampa, FL 33647

RE: Return to Compliance
Syniverse; 8125 Highwoods Palm Way
DEP Facility ID#: 29/9808015
Hillsborough County – Storage Tanks

Dear Mr. Julio Patino:

The Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection, will not need to issue a Compliance Assistance Offer letter to the above-referenced facility. Based on the findings of the documentation submitted on 10/11/2017, the facility was determined to have returned to compliance with the Department's Storage Tank rules and regulations.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Gabrielle Nataline at 813-627-2600, ext. 1226 and/or natalineg@epchc.org.

Sincerely,

Gabrielle Nataline

Environmental Scientist I

Detailed Facility Report

Facility Summary

HIGHWOODS PROPERTIES
8125 HIGHWOODS PALM WAY,
TAMPA, FL 33647

FRS (Facility Registry Service) ID:
110039627437
EPA Region: 04
Latitude: 28.13162
Longitude: -82.374427
Locational Data Source: FRS
Industry:
Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
CAA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA):
Operating Minor
(FL0000001205701364)
Clean Water Act (CWA): No
Information
Resource Conservation and
Recovery Act (RCRA): No
Information
Safe Drinking Water Act
(SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No
Information
Greenhouse Gas Emissions (eGGRT):
No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data
Reporting Interface (CEDRI): No
Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110039627437					N	28.13162	-82.374427
ICIS-Air	CAA	FL0000001205701364	Minor Emissions	Operating	CAASIP		N	28.13162	-82.374427

Facility Address

System	Statute	Identifier	Facility Name	Facility Address
FRS		110039627437	HIGHWOODS PROPERTIES	8125 HIGHWOODS PALM WAY, TAMPA, FL 33647
ICIS-Air	CAA	FL0000001205701364	HIGHWOODS PROPERTIES	8125 HIGHWOODS PALM WAY, TAMPA, FL 336471776

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
ICIS-Air	FL0000001205701364	4931	Electric And Other Services Combined

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
ICIS-Air	FL0000001205701364	221118	Other Electric Power Generation

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
Tampa Reservation	Seminole Tribe of Florida	100000266	9.36

Enforcement and Compliance

Compliance Monitoring History (5 years)

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
No data records returned							

Entries in italics are not counted in EPA compliance monitoring strategies or annual results.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
CAA	FL0000001205701364	No	01/04/2020	0	01/03/2020

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
CAA (Source ID: FL0000001205701364)		01/01-03/31/17	04/01-06/30/17	07/01-09/30/17	10/01-12/31/17	01/01-03/31/18	04/01-06/30/18	07/01-09/30/18	10/01-12/31/18	01/01-03/31/19	04/01-06/30/19	07/01-09/30/19	10/01-12/31/19
Facility-Level Status		No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified	No Violation Identified
HPV History													
Violation Type	Agency	Programs	Pollutants										

Informal Enforcement Actions (5 Years)

Statute	System	Source ID	Type of Action	Lead Agency	Date
No data records returned					

Formal Enforcement Actions (5 Years)

Statute	System	Law/Section	Source ID	Action Type	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty	State/Local Penalty	SEP Cost	Comp Action Cost
No data records returned														

Environmental Conditions

Water Quality

Permit ID	Combined Sewer System?	Number of CSO (Combined Sewer Overflow) Outfalls	12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Impaired Waters	Impaired Class	Causes of Impairment(s) by Group(s)	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
No data records returned									

Water Body Designated Uses

Reach Code	Water Body Name	Exceptional Use	Recreational Use	Aquatic Life Use	Shellfish Use	Beach Closure Within Last Year	Beach Closure Within Last Two Years
No data records returned							

Air Quality

Nonattainment Area?	Pollutant(s)	Applicable Nonattainment Standard(s)
No	Ozone	
No	Lead	
No	Particulate Matter	
No	Carbon Monoxide	
No	Nitrogen Dioxide	
No	Sulfur Dioxide	

Pollutants

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-site Releases	Total Off-site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI
Facility
ID

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
No data records returned

Demographic Profile

EJSCREEN EJ Indexes

Eleven primary environmental justice (EJ) indexes of EJSCREEN, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJSCREEN provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJSCREEN home page](#).

Census Block Group EJ Indexes (percentile)	
Particulate Matter (PM 2.5)	64.3
Ozone NATA Diesel PM	64.1
NATA Air Toxics Cancer Risk	64.9
NATA Respiratory Hazard Index (HI)	65.1
Traffic Proximity	67.8
Lead Paint Indicator	62.5
Superfund Proximity	72.4
Risk Management Plan (RMP) Proximity	66.9
Hazardous Waste Proximity	63.5
Wastewater Discharge Proximity	76.1

Number of EJ Indexes Above 80th Percentile
0

[View EJSCREEN Report](#)

Demographic Profile of Surrounding Area (3 Miles)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 US Census and American Community Survey data, and are accurate to the extent that the facility latitude and longitude listed below are correct. The latitude and longitude are obtained from the EPA Locational Reference Table (LRT) when available.

General Statistics	
Total Persons	33,786

Age Breakdown - Persons (%)	
Children 5 years and younger	2,090 (6%)

General Statistics	
Population Density	1,232/sq.mi.
Percent Minority	41%
Households in Area	12,882
Housing Units in Area	14,318
Households on Public Assistance	53
Persons Below Poverty Level	7,086

Geography	
Radius of Selected Area	3 mi.
Center Latitude	28.13162
Center Longitude	-82.374427
Land Area	96%
Water Area	4%

Income Breakdown - Households (%)	
Less than \$15,000	794 (6.39%)
\$15,000 - \$25,000	762 (6.14%)
\$25,000 - \$50,000	2,556 (20.59%)
\$50,000 - \$75,000	2,198 (17.7%)
Greater than \$75,000	6,106 (49.18%)

Age Breakdown - Persons (%)	
Minors 17 years and younger	8,942 (26%)
Adults 18 years and older	24,844 (74%)
Seniors 65 years and older	2,355 (7%)

Race Breakdown - Persons (%)	
White	23,636 (70%)
African-American	4,135 (12%)
Hispanic-Origin	5,269 (16%)
Asian/Pacific Islander	3,765 (11%)
American Indian	77 (0%)
Other/Multiracial	2,174 (6%)

Education Level(Persons 25 & older) - Persons (%)	
Less than 9th Grade	426 (2.08%)
9th through 12th Grade	280 (1.37%)
High School Diploma	2,793 (13.65%)
Some College/2-year	5,515 (26.94%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	11,455 (55.96%)

DRAFT

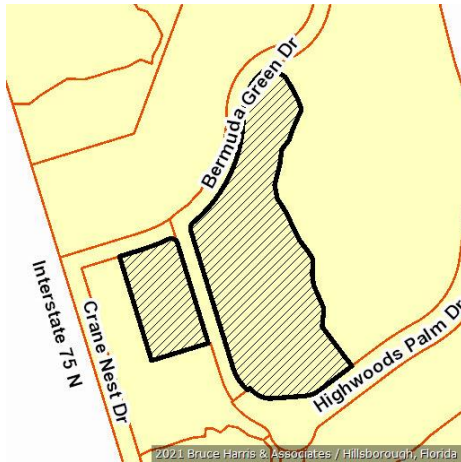
Site 101



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 033583-1804



Owner Information

Owner Name DEPOSITORY TRUST COMPANY
 FIXED INCOME CLEARING CORPORATION
 NATIONAL SECURITIES CLEARING CORPORATION

Mailing Address C/O RYAN PROPERTY TAX DEPT
 100 N TAMPA ST STE 1850
 TAMPA, FL 33602-5855

Site Address 18301 BERMUDA GREEN DR, TAMPA

PIN A-14-27-19-73Z-000000-00002.0

Folio 033583-1804

Prior PIN A-14-27-19-5ER-000000-00001.0

Prior Folio 033582-1302

Tax District TA - TAMPA

Property Use 1810 OFF MULT-STY A

Plat Book/Page 99/240

Neighborhood 216004.00 | Rev New Richmond Area - N of BB Downs

Subdivision 73Z | HIGHWOODS PRESERVE PHASE 1 REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$26,805,000	\$26,805,000	\$0	\$26,805,000
Public Schools	\$26,805,000	\$26,805,000	\$0	\$26,805,000
Municipal	\$26,805,000	\$26,805,000	\$0	\$26,805,000
Other Districts	\$26,805,000	\$26,805,000	\$0	\$26,805,000

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
13944 / 1473	2004232471	06	2004	WD	Unqualified	Improved	\$20,190,000
9453 / 0536	99025863	01	1999	WD	Unqualified	Vacant	\$10,000,000

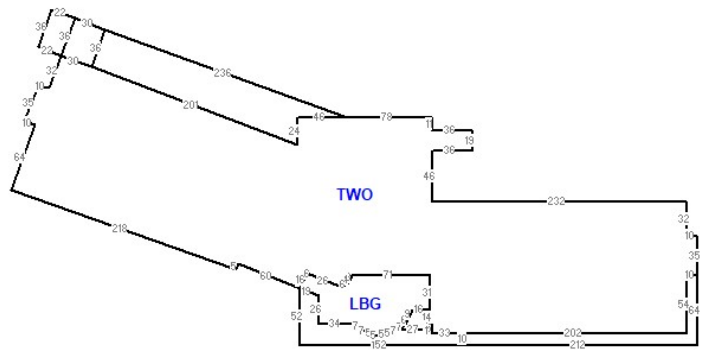
Building Information

Building 1

Type	49 OFFICE <3 STORY
Year Built	2000

Building 1 Construction Details

Element	Code	Construction Detail
Class	A	Structural Steel Columns & Beams
Exterior Wall	10	Precast Panel
Exterior Wall	15	Glass Thermopane
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	2.0	
Units	1.0	
Wall Height	16.00	



Building 1 subarea

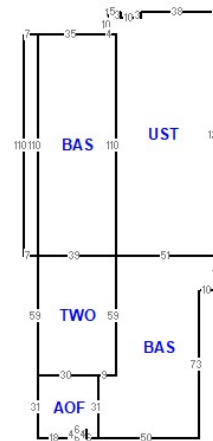
Area Type	Gross Area	Heated Area	Depreciated Value
TWO	160,352	160,352	\$22,300,922
BAS	7,597	7,597	\$1,056,551
CLP	1,072		\$44,782
ULP	810		\$16,967
CAN	2,669		\$111,399
CAN	2,660		\$110,982
FUS	2,660	2,660	\$369,939
CAN	10		\$417
FUS	10	10	\$1,391
LBG	4,581	4,581	\$796,342
Totals	182,421	175,200	\$24,809,692

Building 2

Type	67 SERVICE/REPAIR SHOP
Year Built	2000

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	13	Prestress Concrete
Roof Cover	12	Rubber or Plastic
Interior Walls	1	Masonry or Minimum
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Units	1.0	
Stories	2.0	
Wall Height	14.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
UST	6,183		\$152,663
BAS	4,290	4,290	\$211,812
UST	770		\$19,009

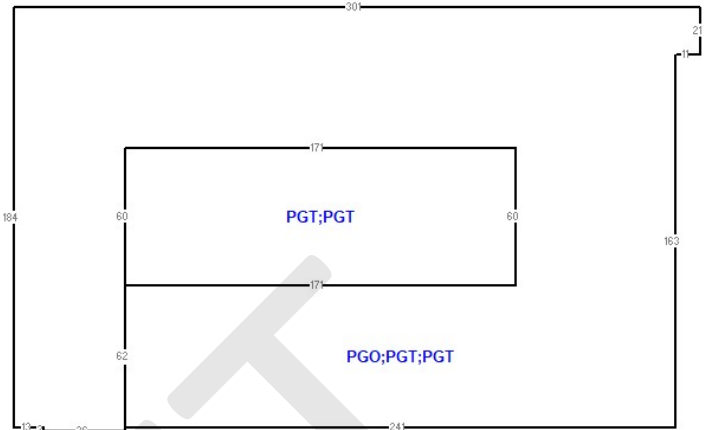
TWO	4,602	4,602	\$227,216
AOF	906	906	\$93,958
CAN	24		\$346
BAS	4,139	4,139	\$204,357
Totals	20,914	13,937	\$909,361

Building 3

Type	94 PARKING GARAGE
Year Built	2000

Building 3 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	10	Precast Panel
Roof Structure	13	Prestress Concrete
Roof Cover	1	Minimum
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Plumbing	3	Typical
Condition	3	Average
Stories	5.0	
Units	1.0	
Wall Height	8.00	



Building 3 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
PGO	43,403		\$1,323,444
PGT	86,806		\$2,646,889
PGT	86,806		\$2,646,889
PGT	20,520		\$625,696
PGT	20,520		\$625,696
Totals	258,055		\$7,868,614

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0870	GUARD HOUSE	1	2006	8	6	48.00	\$5,549
0020	ASPHALT PAVING	1	2000	0	0	9,180.00	\$15,808
0060	CONCRETE PAVEMENT	1	2000	0	0	2,035.00	\$9,490
0115	CONCRETE PAVERS	1	2000	0	0	8,297.00	\$65,687
0060	CONCRETE PAVEMENT	2	2004	0	0	2,392.00	\$11,154
0250	FENCE CL4	3	2000	0	0	2,394.00	\$12,545
0060	CONCRETE PAVEMENT	3	2004	0	0	1,680.00	\$7,834
0115	CONCRETE PAVERS	3	2004	0	0	240.00	\$1,900
0020	ASPHALT PAVING	3	2004	0	0	2,100.00	\$4,822
0500	OPEN CABANA	1	2008	0	0	400.00	\$4,166

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COF0	Comm Class 6	PD-A	0.0	0.0	SF SQUARE FEET	342,860.76	\$2,107,222

Legal Description

HIGHWOODS PRESERVE PHASE 1 REPLAT LOTS 1 2 AND 10

#9802556

Florida Department of Environmental Protection

Tallahassee Office Bldg. • 2400 Blair Stone Road • Tallahassee, Florida 32399-3400

DEP Form # 12-261 (Rev. 7/97)
Form Title: Storage Tank Registration Form
Effective Date:
DEP Application No. (Filled in by DEP)

Storage Tank Facility Registration Form

This completed form for the facility when registration of on-site storage tanks or compression vessels is required by Chapter 370.303, Florida Statutes, and/or when the site operates as a petroleum retail/distribution facility and must comply with EPCRA, Section 312 Chemical Inventory reporting requirements.

Please review Registration Instructions before completing the form.

APR 07 1999

Check all that apply:
[] New Registration
[] Facility Info Update/Correction
[] New Owner
[] Owner Info Update/Correction
[] New Tanks
[] Tank Info Update/Correction

FACILITY INFORMATION
County: HILLSBOROUGH DEP Facility ID: PENDING

Facility Name: HIGHWOODS PRESERVE ENERGY PLANT BLDG.
Location Address: 18202 RICHMOND PARK DR City: TAMPA
Facility Type(s): C: FUEL USED SIC Code:
In-Site Manager/Contact: (813) 612-7700 Business Phone: (813) 612-7700

24 Hour Emergency Contact: (813) 612-7700 Emergency Phone: (813) 612-7700

RESPONSIBLE PERSON INFORMATION - Identify individual(s) or Business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. Provide additional information in an attachment if necessary.

Name: HIGHWOODS PRESERVE
Address: 18202 RICHMOND PARK DR TAMPA, FLORIDA 33647
Contact: SKIPPER PEEK
Phone: (813) 612-7700
Facility - Responsible Person Relation Type: [] Facility Account Owner (pays fees)
This information must be provided when the facility contains active (in-use) storage tanks on site.
STCW Account Number (if known): 19846

Name:
Address:
City, ST, Zip:
Contact:
Telephone:
Other owner, relationship type(s): [] Facility Owner/Operator [] Property Owner [] Storage Tank Owner [] Other

TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Table with columns: Tank ID, TV, AU, Capacity, Installed, Content, Status/Effective Date, Construction, Piping, Monitoring, Hazards. Contains two rows of data for tanks 1 and 2.

Registered Contractor (performing tank installation or removal): JAMES L. HANSEN JR DBPR License No.: FC-C047145

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.

Name & Title: Skipper PEEK Signature: Date: 3/2/99



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems
Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9802556 County: HILLSBOROUGH Inspection Date: 11/03/2006
Facility Name: THE DEPOSITORY TRUST & CLEARING CORP Facility Type: C - Fuel user/Non-retail
Latitude: 28° 8' 2.486" # Of Inspected ASTs: 3
Longitude: 82° 22' 31.2002" USTs: 0
L/L Method: DGPS Mineral Acid Tanks: 0

Inspection Result

Result : Major Out of Compliance

Description: Facility is out of compliance

A re-inspection will be scheduled on or after 90 days to verify correction of the non-compliance items noted.

Financial Responsibility

Financial Responsibility: Insurance

Insurance Carrier: Illinois Union

Effective Date: 06/16/2006

Expiration Date: 06/16/2007

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

ANDREA MURLEY

Inspector Name

Mailed to Craig Bernie

Facility Representative Name

Inspector Signature

No signature available

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
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Completed Tests (in last year)

Annual Operability Test	11/02/2007	11/03/2006	Failed
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Reviewed Records

Record Category	Record Type	From Date	To Date
Life Time	Written Release Detection Response Level Info	11/03/2006	11/03/2006
Two Years	Electronic Release Detection Equip. Monthly Checks	10/04/2005	10/19/2006
Two Years	Monthly Maint. Visual Examinations and Results	10/04/2005	10/19/2006
Two Years	Certificate of Financial Responsibility	06/16/2006	06/16/2007

New Violations

Significance Name: **SNC-B**

Rule Number(s): **62-762.601(1)(h)**

Violation Text: **No Interstitial Monitoring For Secondary Containment.**

Explanation: **Interstitial Sensor In Tank #2, Labeled Sensor 5 On Pnuemercator Panel, Not Functioning.**

Corrective Action: **Interstitial Sensor Must Be Repaired And An Operability Test Conducted. Please Submit Documentation To E P C.**

Inspection Comments

11/03/2006 11/03/06, 0900 T I N / T C I / A M, M H & S J Met On Site With Craig Bernie (D T C C, Project Manager) And Mike Butler (D T C C, Sr. Facilities Engineer) For Annual Compliance Inspection.

Release Detection:
 Electronic Tank Interstitial Sensors.
 Electronic Leak Sensor In Piping Transition Sumps.
 Pneumercator Ls 600 Sensors D E P E Q # 240.
 Visual Inspections Of A S T System And Accessible Components.

Pneumercator Tms 3000 Monitors (3) Tank Interstitial Sensors And (1) Supply/Return Piping Sump Sensor.
 Double Wall Sensor 1 = Tank 1(South) Interstitial.
 Double Wall Sensor 5 = Tank 2(Middle) Interstitial.
 Double Wall Sensor 6 = Tank 3 (North) Interstitial.
 Piping Sensor 2 = Generator (Supply And Return) Piping Sump.
 No Alarms Noted On Pneumercator Panel.
 Audible Visual Alarm Tested, Appears Operational.
 The Recirculation Piping Sump Sensor Is Monitored By The Building Automation System.
 Sensor Status Checked On Bas Computer System, No Piping Leak Noted.
 No Audible/Visual Alarm Test Possible According To Operator, Status Of Sensor Is Checked During Monthly Inspection.
 Operability Test Performed Of All Sensors During Inspection. Sensors Operable Except For Interstitial Sensor In Tank #2, Labeled Sensor 5 On Pnuemercator Panel, Not Functioning. Must Be Repaired / Replaced And An Operability Test Conducted, Results Must Be Sent To E P C Upon Completion.

Tanks:
 Tanks #1 And #2: Two Existing 10,000 Gallon Duotank A S Ts
 Tank #3: New 10,000 Highland Fireguard D E P E Q # 268 Double Walled A S T.
 Tanks Contain Diesel Fuel For (3) Emergency Generators.
 Tanks Are Located On A Concrete Foundation And Are Equipped With:
 -Product Labels.
 -Normal And Emergency Venting.
 -Interstitial Sensors.
 -Remote Fills With Highland Remote Spill Containment Buckets D E P E Q # 268.
 -Since Remote Fills Were Installed On Existing A S Ts, Krueger Fuel Level Sight Gauges Are No Longer Visible From Fill.
 -High Level Alarm On Pnuemercator L C 1004 Monitoring Panel Outside Near Fills.
 -O P W 61 F S T O P 3050 Overfill Prevention Valves D E P E Q # 225 Installed In All Fills According To Contractor.
 -Electrical Grounding.
 -Exterior Tank Coatings In Good Condition.

Piping:
 -Painted Steel Supply And Return Product Lines Transition To Underground Steel Within Ameron Fiberglass Piping.

Inspection Comments

- Four Underground Lines In Use: Generator Supply, Generator Return, Recirculation Supply, Recirculation Return.
- Existing Recirculation Piping Transition Sump And Generator Piping Transition Sump. New Piping From Tank #3 Has Been Tied Into Aboveground Piping, No Work Has Been Done To Underground Piping.
- On Tanks #1 & 2, The Generator Supply Lines Are Equipped With Mechanical Anti-Siphon Valves And The Re-Circulating Lines Are Equipped With Solenoid Valves.
- On Tank #3, The Generator Supply And Re-Circulating Supply Lines Are Equipped With Mechanical Anti-Siphon Valves.
- All Piping Is Equipped With Solenoid Valves At The Top Of The Tanks Which Are Operated In Association With The Building Automation System / Can Be Controlled By Operator.
- Two Piping Transition Sumps Checked By Operator During Sensor Operability Test, Sumps Dry And No Problems Noted According To Mike Butler. Inspector Was Unable To Check Sumps Due To Painting In Process.
- Valve Box Checked, Contains Emergency Isolation Valves, No Opening To Secondary Piping Unless Tool Is Used To Access Isolation Valves On Primary Lines.
- Piping Inside Of Generator Rooms Are In Concrete Trenches, Dry.

Generator Rooms:

- (3) Generator Rooms, No Leakage Noted.
- Pyrco Day Tanks With Secondary Containment.
- Piping Runs Under Removable Floor Panels In Concrete Trench, No Leakage Noted.

11/11/2006

Records:

- Copy Of Current Registration Placard Posted. Issued 08/09/06. (2) Tanks.
- Storage Tank Registration Form Has Been Submitted To Add Tank #3.
- Financial Responsibility: Illinois Union, 06/16/06 To 06/16/07. All Three Tanks Covered.
- Certification Of Financial Responsibility Form On Site.
- Monthly Monitoring Logs (10/04/05 To 10/19/06) Reviewed And Includes:
 - Visual Inspection Of Tank Systems
 - Piping Sump Sensors
 - Alarm Panel Status
 - Audible/Visual Alarm Check
- Operator Was Reminded To Include Visual Inspections Of Valve Box On The Monthly Monitoring Logs.
- Release Detection Response Level Statement On Site.
- Annual Operability Test Of Interstitial Sensors And Sump Sensors Performed Today 11/03/06, Next Test Due 11/03/07.
- S P C C Plan On Site, Issued 11/30/04.

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9802556 County: HILLSBOROUGH Inspection Date: 09/11/2007
Facility Name: THE DEPOSITORY TRUST & CLEARING CORP Facility Type: C - Fuel user/Non-retail
18335 BERMUDA GREEN DR # Of Inspected ASTs: 3
TAMPA, FL 33647 USTs: 0
Latitude: 28° 8' 2.486" Mineral Acid Tanks: 0
Longitude: 82° 22' 31.2002"
L/L Method: DGPS

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance

A re-inspection will be scheduled on or after 90 days to verify correction of the non-compliance items noted.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: ILLINOIS UNION
Effective Date: 06/16/2007 Expiration Date: 06/16/2008

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

MONICA HAMBY

Mailed to Craig Bernie

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
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To be completed

Annual Operability Test 08/06/2008

Completed Tests

Test Name	Due Date	Completed Date	Result
Annual Operability Test	10/31/2007	11/03/2006	Failed
Annual Operability Test	11/17/2006	11/17/2006	Passed
Annual Operability Test	11/17/2007	08/06/2007	Passed

Reviewed Records

Record Category	Record Type	From Date	To Date
Two Years	Monthly Maint. Visual Examinations and Results	03/28/2007	08/20/2007
Two Years	Certificate of Financial Responsibility	06/16/2007	06/16/2008
Life Time	Written Release Detection Response Level Info	09/11/2007	09/11/2007
Two Years	Electronic Release Detection Equip. Monthly Checks	03/28/2007	08/20/2007

New Violations

Significance Name: Minor

Rule Number(s): 62-762.711(2)(a), 62-762.711(2)(b), 62-762.711(2)(c), 62-762.711(2)(d), 62-762.711(2)(e), 62-762.711(2)(f), 62-762.711(2)(g), 62-762.711(2)(h)

Violation Text: Records requiring 2 year documentation period not kept by facility.

Explanation: Monthly monitoring logs for 12/07, 01/07 and 02/07 are missing.

Corrective Action: Submit monthly monitoring log for 09/07 to EPC.

Significance Name: Minor

Rule Number(s): 62-762.701(1)(a)1.a., 62-762.701(1)(a)1.b., 62-762.701(1)(a)1.c., 62-762.701(1)(a)1.d.

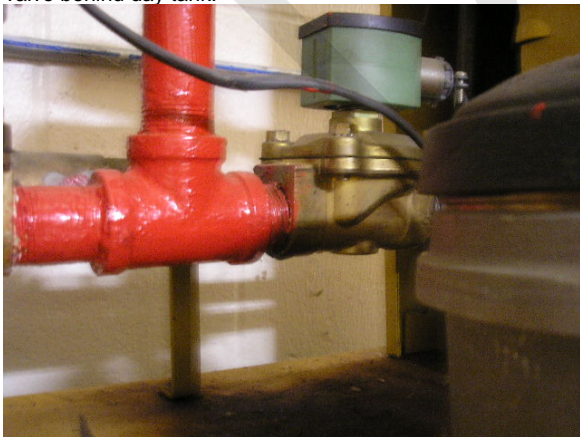
Violation Text: Not repaired component which has or could cause a discharge or release.

Explanation: Slight seepage noted on elbow joint at solenoid valve before the day tank in generator room #1.

Corrective Action: Repair seepage and contact EPC for re-inspection.

Attachments:

Slight leakage noted at solenoid valve behind day tank.



Inspection Comments

Inspection Comments

09/18/2007 09/11/07, 0900hrs, MH/TCI Met on site with Craig Bernie and Mike Butler of DTCC for annual compliance inspection.

Release Detection:

- Visual inspections of tank system and accessible components.
- Electronic monitoring of tank interstices and piping sump.

Pnuemercator TMS panel monitors (3) tank interstitial and (1) supply/return piping sump sensors. Labeled on panel as follows:
Double Wall Sensor1 = Tank 1 (South) Interstitial.
Double Wall Sensor 5 = Tank 2 (Middle) Interstitial
Double Wall Sensor 6 = Tank 3 (North) Interstitial
Piping Sensor 2 = Generator (supply and return) Piping Sump
No alarms noted on Pnuemercator panel.
Audible/visual alarm tested-appears functional.
The Building Automation System monitors (1) recirculating piping sump sensor.
No piping leak noted on BAS computer system.
No audible/visual alarm test possible. According to operator, status of sensor is checked during monthly inspections.

Tanks: (2) 10,000 gallon Duotank ASTs and (1) 10,000 gallon Highland Fireguard AST contain diesel fuel for (3) emergency generators. Tanks are located on concrete foundation and are equipped with:

- Product labels.
- Normal and emergency venting.
- (3) Spill containment boxes-appear intact, remote fills.
- Overfill protection-high level alarm on Pnuemercator LC 1004 monitoring panel, tested-appears operational. Flow shut off valves present according to contractor.
- Pnuemercator LS 600 sensors (DEP EQ #240).
- Exterior coating-appears in good condition.
- Electrical grounding present.

No obvious signs of leakage noted.

Piping:

- Painted steel supply and return lines transition to underground steel within Ameron Dualoy 3000L (DEP EQ #378) fiberglass.
- Four underground lines in use: generator supply, generator return, recirculation supply, recirculation return.
- (1) Recirculation piping transition sump and (1) generator piping transition sump checked-appear dry and intact. Valve box checked, contains emergency isolation valves, no opening to secondary piping unless tool is used to access valves.
- On Tanks #1 & 2, the generator supply lines are equipped with mechanical anti-siphon valves and the recirculating supply lines are equipped with solenoid valves.
- On Tank #3, the generator supply and recirculating supply lines are equipped with mechanical anti-siphon valves.

All return lines are equipped with solenoid valves at the top of the tanks which are operated in association with the Building Automation System, can be controlled by operator.
No obvious signs of leakage noted.

09/11/2007

Generator Rooms:

- (3) Generator rooms inspected-no leakage noted.
- Pyrco day tanks within secondary containment.
- Piping runs under removable floor panels in concrete trench, no leakage noted.
- Generator Room #1-slight seepage noted on elbow joint at the back of the day tank. Repair seepage and contact EPC for re-inspection.

Records:

- Current registration placard posted: (3) tanks.
- Release Detection Response Level Statement present, complete, and accurate.
- Financial Responsibility: Illinois Union, 06/16/07 to 06/01/08.
- Certificate of Financial Responsibility: On site and current.
- Monthly monitoring logs (03/28/07 to 08/20/07) reviewed and include:
Visual inspections of tank systems and accessible components.
Piping sump sensors.
Audible/visual alarm (test button) checks.
Alarm panel (lights) status checks.

No problems noted. Inspections for 12/06, 01/07, and 02/07 are missing. Submit monthly monitoring record for 09/07 to EPC.
-Annual operability test of tank interstitial and sump sensors performed 08/06/07, next test due 08/06/08.
-SPCC plan on site, dated 11/30/04.



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9802556 County: HILLSBOROUGH Inspection Date: 05/18/2010
 Facility Type: C -Fuel user/Non-retail
 Facility Name: THE DEPOSITORY TRUST & CLEARING CORP # Of Inspected ASTs: 3
 18335 BERMUDA GREEN DR USTs: 0
 TAMPA, FL 33647 Mineral Acid Tanks: 0
 Latitude: 28° 8' 2.486"
 Longitude: 82° 22' 31.2002"
 LL Method: AGPS

Inspection Result:

Result : Minor Out of Compliance
 Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
 Insurance Carrier: ILLINOIS UNION
 Effective Date: 06/01/2009 Expiration Date: 06/01/2010

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Christy Jacobs
 INSPECTOR NAME

Mailed to: Craig Bernie
 REPRESENTATIVE NAME


 INSPECTOR SIGNATURE

NO SIGNATURE
 REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Operability Test	11/03/2006	Failed	11/16/2006	10/31/2007	
Annual Operability Test	11/17/2006	Passed	09/19/2007	11/17/2006	
Annual Operability Test	10/30/2008	Passed	03/31/2009	08/06/2008	
Annual Operability Test	08/06/2007	Passed	09/19/2007	11/17/2007	
Annual Operability Test	01/28/2010	Passed	05/31/2010	10/30/2009	
Annual Operability Test	01/28/2010	Passed	05/31/2010	01/28/2011	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
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Two Years	Electronic Release Detection Equip. Monthly Checks	03/25/2009	05/17/2010	
Two Years	Monthly Maint. Visual Examinations and Results	03/25/2009	05/17/2010	
Two Years	Certificate of Financial Responsibility	06/01/2009	06/01/2010	
Life Time	Written Release Detection Response Level Info	05/18/2010	05/18/2010	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-762.701(1)(c)3.
 Violation Text: Release detection devices not tested annually.
 Explanation: Annual operability test on interstitial sensors past due 10/30/09
 Corrective Action: Annual operability test on interstitial sensors performed by JMP Solutions 1/28/10

Inspection Comments

05/18/2010

On 5/18/10 - TCI/CJ - I met with Craig Bernie & Mike Butler, employees, to conduct the Annual Compliance Inspection.

TANKS: (3) 2=Duotank (EQ-#031) & 1=Fireguard Highland Steel double-walled ASTs containing diesel fuel for emergency generators with aboveground single-walled steel piping transition to underground Ameron Dualoy 3000 piping (EQ-#278)

Inspection Comments

RELEASE DETECTION:

- Monthly visual inspections of tank system and components
- Electronic monitoring of tanks' interstitial spaces
- Pneumercator Model LC 1001 TMS 3000 (EQ-#319)
- Audible/visual alarm tested - functional

Tanks are equipped with:

- Product label - Diesel
- Normal & emergency vents
- Electronic interstitial monitoring
- Overfill protection - Krueger fuel level gauge & Morrison Clock gauge on Highland
- Remote fills on all tanks
- Spill containment bucket - dry and appeared intact
- Exterior coating
- Electrical grounding
- Stable foundation
- Return and Supply lines labeled
- Supply lines equipped with anti-siphon, solenoid valves and manual valves on piping at top of tank connection
- Aboveground single-walled steel piping transition to underground Ameron Dualoy 3000 piping then transition to single-walled steel piping runs to Pyrco (unregulated) day tanks then to each generator in separate rooms
- (3) Sumps (supply polishing fuel system-north, fuel supply line to generator-south, and shut-off valve pit-west
- Pneumercator LC 1000

No obvious signs of leakage detected

RECORDS:

Current registration placard: 6/29/09 - 6/30/10 (3) Tank s

Insurance: Illinois Union 6/01/09 - 6/01/10

Certification of Financial Responsibility Form (CFR): on site

Monthly monitoring records reviewed for period of (3/25/09 - 5/17/10)

- Visual inspections of tank system and components
- Alarm status checks - functional
- Audible/visual alarm - functional
- Electronic printouts of tanks' interstitial spaces
- No problems noted. Inspections performed within 35 days

Last Annual Operability test of interstitial sensors past due: 10/30/09

Annual Operability test of interstitial sensors performed by JMP Solutions: 1/28/10

Next annual operability test due: 1/28/11

Written Release Detection Response Level Statement (RDRL) present

Inspection Photos1

Facility ID: 9802556

Added Date 05/28/2010

1. 2010-05-18 Facility Photo - DuoTanks/west sump



Added Date 05/28/2010

3. 2010-05-18 Facility Photo - DuoTank/sumps



Added Date 05/28/2010

5. 2010-05-18 West piping sump



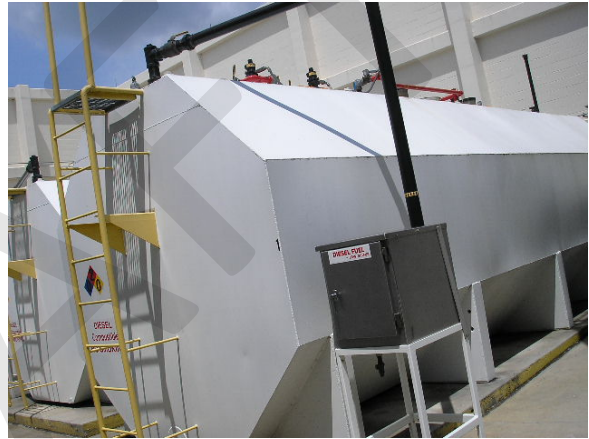
Added Date 05/28/2010

2. 2010-05-18 Facility Photo - piping sumps



Added Date 05/28/2010

4. 2010-05-18 DuoTanks/spill buckets



Added Date 05/28/2010

6. 2010-05-18 Facility Photo - Fireguard Highland AST



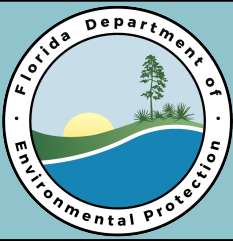
Facility ID: 9802556

Added Date 05/28/2010

7. 2010-05-18 Day Tank & Generator per room



DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
Division of Waste Management
Petroleum Storage Systems
Storage Tank Facility Closure Site Inspection Report

Facility Information:

Facility ID: 9802556 County: HILLSBOROUGH Inspection Date: 01/04/2017
Facility Type: C - Fuel user/Non-retail
Facility Name: THE DEPOSITORY TRUST & CLEARING # of Inspected ASTs: 3
18335 BERMUDA GREEN DR USTs: 0
TAMPA, FL 33647 Mineral Acid Tanks: 0
Latitude: 28° 8' 2.486"
Longitude: 82° 22' 31.2002"
LL Method: DGPS

Inspection Result:

Result: Major Out of Compliance

Also Performed:

Financial Responsibility: Over Due

Financial Responsibility: INSURANCE
Insurance Carrier: ILLINOIS UNION
Effective Date: 06/30/2014 Expiration Date: 06/30/2015

Findings:

Signatures:

PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9802556

Austin Alexander

Emailed to Craig Defelice

INSPECTOR NAME

REPRESENTATIVE NAME



No Signature

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Completed Tests					
Annual Operability	03/29/2016	Passed	02/15/2017	03/29/2017	Performed by Guardian Fueling Technologies

Existing Violations

Type: Violation
Significance: Minor
Rule: 62-762.711(2)(h), 62-762.711(2)(g), 62-762.711(2)(f), 62-762.711(2)(e), 62-762.711(2)(d), 62-762.711(2)(c), 62-762.711(2)(b), 62-762.711(2)(a)
Violation Text: Records requiring 2 year documentation period not kept by facility.
Explanation: Current Certificate of Financial Responsibility Form not available for review.
Corrective Action: Upon providing Financial Responsibility documentation, complete Certificate of Financial Responsibility Form and submit to EPC.

Type: Violation
Significance: SNC-B
Rule: 62-762.401(3)(a)1.

Facility ID: 9802556

Violation Text: No financial responsibility

Explanation: Current Financial Responsibility not provided.

Corrective Action: Complete appropriate part(s) of Form 62-761.900(3) and submit to EPC.

Inspection Comments

01/04/2017

On 1/4/2017 MP Met on site with Ernie Mendenhall of Guardian to conduct a closure inspection .

Hydrostatic testing of two transition sumps was done to verify their integrity. Water was placed in transition sumps at 11:15am on 1/3/17. Water line was marked. Inspector checked on 1/4/17 at 11:30am. Water line static. Test passed.

Next inspection: Piping closure.

02/01/2017

02/01/2017 – AA/TXI – Met on site with Earnie Mendenhall of Guardian Fueling Technologies for the closure inspection.

-Closure of approximately 120ft of Ameron Dualoy 3000L double walled fiberglass piping (DEP EQ #378) of DEP Tanks #1-3 and (2) Transition sumps (DEP EQ # unknown). Piping and sumps are being closed in place and replaced with aboveground single walled steel piping.

-Closure Assessment not required. 24hr hydrostatic test was performed on each transition sump on 1/4/17 by Guardian Fueling Technologies with passing results. EPC present for conclusion of hydrostatic test.

-No Cleanup Program eligibility – no previous discharges noted in STCM.

-Piping appeared in good condition and verified as capped at time of inspection. No spillage occurred according to representative on site. No signs of contamination (free product, petroleum odor, soil staining) observed at time of inspection.

-Transition sumps are to be filled with pea gravel and covered with concrete at a later date.

-Depth to groundwater is unknown.

Records:

-Current registration placard posted: (3) Tanks.

-Current Financial Responsibility not provided. Complete appropriate part(s) of Form 62-761.900(3) and submit to EPC.

-Current Certificate of Financial Responsibility Form not available for review. Upon providing Financial Responsibility documentation, complete Certificate of Financial Responsibility Form and submit to EPC.

Facility ID: 9802556

Inspection Photos

Added Date 01/20/2017

Transition Sump 1



Added Date 01/20/2017

Transition Sump 2



Added Date 01/20/2017

Facility



Added Date 02/15/2017

2017-02-01 Piping capped



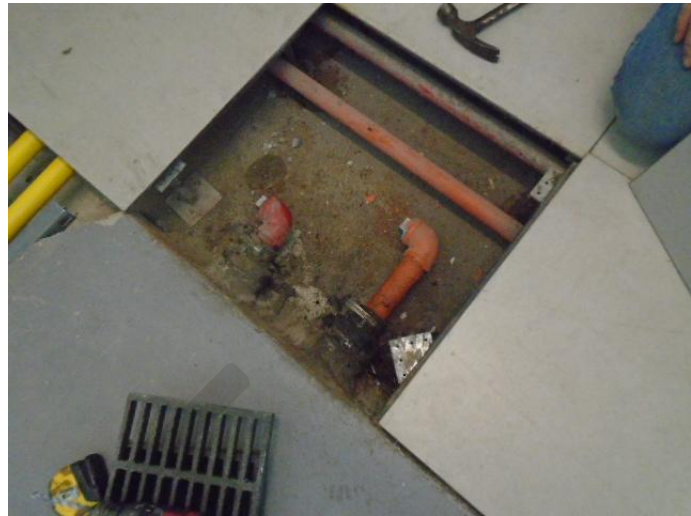
Facility ID: 9802556
Added Date 02/15/2017

2017-02-01 Piping capped



Added Date 02/15/2017

2017-02-01 Piping capped



Added Date 02/15/2017

2017-02-01 Transition sump to be filled



COMMISSION

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Sam Elrabi, P.E.

8/30/2017

Craig DeFelice
The Depository Trust and Clearing Corp
18335 Bermuda Green Drive
Tampa, FL 33647

RE: In Compliance
DTCC; 18335 Bermuda Green Drive
DEP Facility ID#: 29/9802556
Hillsborough County – Storage Tanks

Dear Mr. Craig DeFelice:

The Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection, will not need to issue a Compliance Assistance Offer letter to the above-referenced facility. Based on the findings of the compliance inspection performed on 08/28/2017, the facility was determined to be in compliance with the Department's Storage Tank rules and regulations.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Gabrielle Nataline at 813-627-2600, ext. 1226 and/or natalineg@epchc.org.

Sincerely,

Gabrielle Nataline

Environmental Scientist I

Site 102

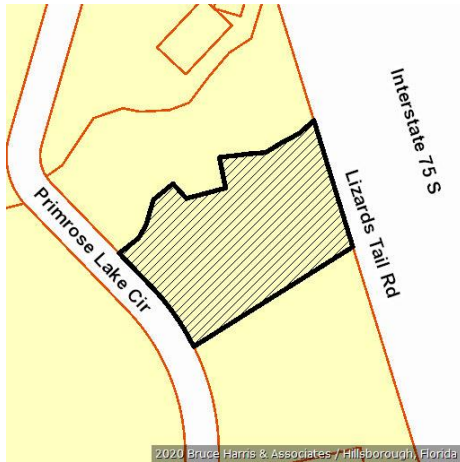
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 033583-1714



Owner Information

Owner Name	INUJA LLC
Mailing Address	10693 CROSS CREEK BLVD TAMPA, FL 33647-4043
Site Address	5365 PRIMROSE LAKE CIR, TAMPA
PIN	A-14-27-19-650-000000-000B3.0
Folio	033583-1714
Prior PIN	A-14-27-19-ZZZ-000001-17060.0
Prior Folio	033582-0200
Tax District	TA - TAMPA
Property Use	7200 PRIVATE SCHOOL
Plat Book/Page	94/89
Neighborhood	216003.00 Tampa Palms North Area
Subdivision	650 TAMPA TECHNOLOGY PARK WEST-FLEX B

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$2,203,768	\$2,203,768	\$2,203,768	\$0
Public Schools	\$2,203,768	\$2,203,768	\$2,203,768	\$0
Municipal	\$2,203,768	\$2,203,768	\$2,203,768	\$0
Other Districts	\$2,203,768	\$2,203,768	\$2,203,768	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
24590	0718	12	2016	WD	Qualified	Vacant	\$747,500
21565	0045	12	2012	QC	Unqualified	Vacant	\$100
17161	1805	11	2006	WD	Unqualified	Vacant	\$100
17017	1945	09	2006	WD	Unqualified	Vacant	\$100
16146	0384	02	2006	WD	Unqualified	Vacant	\$5,670,600
8792	0642	10	1997	WD	Unqualified	Vacant	\$5,290,600

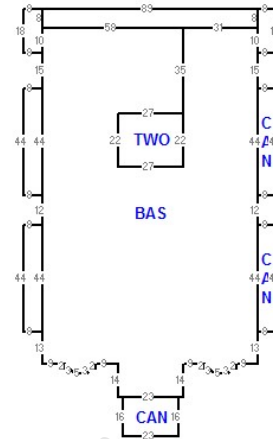
Building Information

Building 1

Type	72 DAY CARE CENTER
Year Built	2017

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	6	Wd/Mtl Frm: Stucco
Exterior Wall	9	Stone
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	10.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FST	144		\$8,212
CAN	712		\$24,409
FST	144		\$8,212
BAS	12,146	12,146	\$1,385,399
CAN	352		\$12,091
CAN	352		\$12,091
CAN	368		\$12,547
CAN	352		\$12,091
CAN	352		\$12,091
TWO	1,188	1,188	\$135,506
Totals	16,110	13,334	\$1,622,649

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2018	0	0	16,306.00	\$27,895
0060	CONCRETE PAVEMENT	0	2018	0	0	6,605.00	\$21,971
0520	CANOPY	0	2018	0	0	820.00	\$7,076

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE2	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	86,438.00	\$524,177

Legal Description

TAMPA TECHNOLOGY PARK WEST-FLEX B LOT B3 LESS TRACT DESC AS FOLLOWS: BEG AT SELY COR OF LOT B3 THN RUN S 72 DEG 54 MIN 34 SEC W 318.53 FT THN CURVE LEFT RAD 430 FT CB N 24 DEG 30 MIN 52 SEC W 27.86 FT THN N 57 DEG 49 MIN 39 SEC E 333.64 FT THN S 17 DEG 04 MIN 59 SEC E 114.44 FT TO POB



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Secretary

December 13, 2016

Bobby Singh
Ekom Care, Inc.
10693 Cross Creek Blvd
Tampa, FL 33647 4043

RE: Facility ID: FLR20BB82-001

Creative World School
County: Hillsborough

Dear Permittee:

The Florida Department of Environmental Protection has received and processed your *Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities and Dewatering Operations* (NOI) and the accompanying processing fee. This letter acknowledges that:

- your NOI is complete;
- your processing fee is paid-in-full; and
- you are covered under the *Generic Permit for Stormwater Discharge from Large and Small Construction Activities and Dewatering Operations from non-contaminated sites* (CGD), DEP Document No. 62-621.300(4)(a).

Your project identification number is **FLR20BB82-001**. Please include this number on all future correspondence to the Department regarding this permit.

This letter is **not** your permit; however, this letter does serve as **verification of permit coverage**. A copy of the permit language is available online at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04265> or by contacting the NPDES Stormwater Notices Center.

Your permit coverage becomes effective **December 16, 2016** and will expire **December 15, 2021**. To terminate your coverage prior to this expiration date, you must file a *National Pollutant Discharge Elimination System (NPDES) Stormwater Notice of Termination*, DEP Form 62-621.300(6) (NOT). An NOT must be filed within 14 days of either (a) your final stabilization of the site or (b) your relinquishment of control of the construction activities to a new operator. Terminating coverage under the CGP will also

terminate your dewatering operations. You may not exclusively terminate dewatering operation under this form.

To renew your coverage beyond the expiration date, you must submit a new NOI and processing fee to the Department no later than two days before coverage expires.

Until your permit coverage is terminated, modified, or revoked, you are authorized to discharge stormwater from the construction site referenced in your NOI to surface waters in accordance with the terms and conditions of the CGP. Some key conditions of the CGP are:

- implementation of your stormwater pollution prevention plan (SWPPP);
- implementation of appropriate construction and dewatering best management practices (BMPs);
- conducting and documenting routine inspections; and
- retaining all records required by the permit (including your SWPPP) at the construction site or the alternate location specified in your NOI.

Projects that discharge stormwater associated with construction activity to a municipal separate stormwater system (MS4) shall submit a copy of the NOI or the Acknowledgment Letter within 7 days of receipt to the operator of the MS4.

If you have any questions concerning this Acknowledgment Letter, please contact the NPDES Stormwater Notices Center at (866) 336-6312 (toll-free).

Sincerely,

NPDES Stormwater Program

**Florida Department of
Environmental Protection**

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Secretary

Receipt for Submission

For:
Bobby Singh

Facility ID: **FLR20BB82**

Facility Address: **5365 Primrose Lake Cir Tampa, FL 33647 3521**

- **Generic Permit for Stormwater Discharge Construction Activities (CGP)**

COUNTY: **Hillsborough**

Attached is your FDEP Generic Permit for Stormwater Discharge from Large and Small Construction Activities (CGP) and Acknowledgement Letter with the conditions agreed upon.

If you have any questions, please contact the NPDES Stormwater Notices Center at (866) 336-6312.

Attachments: Notice of Intent - CGP, Acknowledgement Letter



**NOTICE OF INTENT
TO USE
NPDES GENERIC PERMIT FOR STORMWATER
DISCHARGE FROM LARGE AND SMALL
CONSTRUCTION ACTIVITIES
(RULE 62-621.300(4), F.A.C.)**

You must submit this completed Notice of Intent (NOI) form to the Department to get coverage under the Generic Permit for Stormwater Discharge from Large and Small Construction Activities provided in subsection 62-621.300(4), F.A.C. The Generic Permit document [DEP Document 62-621.300(4)(a)] tells you what construction activity qualifies for coverage, how you obtain and terminate coverage, what you must do to minimize pollution from your construction site, and what conditions apply to your project to use the generic permit. **You must submit the appropriate generic permit fee, as specified in paragraph 62-4.050(4)(d), F.A.C., with this NOI Form to obtain permit coverage.** You must read and understand the requirements of the generic permit document and the attached instructions before completing this NOI form. **Please print or type information in the appropriate areas below.**

For construction activities also requiring an Individual Environmental Resource Permit (ERP), under Chapter 62-330, F.A.C.:

If your construction activities are already authorized by a valid Individual ERP issued by the Department, Water Management District or a Delegated Local Government, you may also elect to use this NOI form to provide the required notice of commencement of construction, in lieu of Form 62-330.350(1) (“Construction Commencement Notice”).

Do you wish to also provide notice of commencement of construction activities authorized under an Individual ERP permit through the use of this form? Yes No

I. IDENTIFICATION NUMBER:

- A. Facility ID (if renewing coverage): FLR20BB82-001
- B. ERP Permit Number* (if applicable): 43002236.047
- C. ERP Permitting Agency (if applicable): _____

*If the ERP permit authorizes phased construction, please also indicate which phase.

II. STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED AND READY TO BE IMPLEMENTED: Yes No

*If No, you may not submit your NOI at this time.

III. APPLICANT INFORMATION:

A. Operator Name: Ekom Care, Inc. * ERP Permittee Name (if different than “Operator”), if applicable:		B. Operator Status: P	
C. Address: 10693 Cross Creek Blvd			
D. City: Tampa		E. State: FL	F. Zip Code: 33647 4043
G. Responsible Authority: Bobby Singh			

H. Responsible Authority's Phone No.:	(813) 784-6380
I. Responsible Authority's Fax No.:	
J. Responsible Authority's E-mail Address:	bobbysara@gmail.com

IV. PROJECT/SITE LOCATION INFORMATION:

A. Project Name:			Creative World School																																
B. Project Address/Location:						5365 Primrose Lake Cir																													
C. City:				Tampa		D. State:		FL		E. Zip Code:		33647 3521																							
F. County:			Hillsborough			G. Latitude:			28 ° 7 ' 58 "			Longitude:			-8 ° 22 ' 45 "																				
H. Is the site located on Indian Country Lands?						<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						I. Water Management District:						SWFWMD																	
J. Project Contact:																		Bobby Singh																	
K. Project Contact's Phone No.:									(813) 784-6380																										
L. Project Contact's Fax No.:																																			
M. Project Contact's E-mail Address:																		ekomcare@gmail.com																	
N. Additional E-mail correspondence, optional:																		bbrikas@abiinc.com																	

V. PROJECT/SITE ACTIVITY INFORMATION:

A. Indicate whether the project is Large or Small Construction (check only one):		<input type="checkbox"/> Large Construction (Project will disturb 5 or more acres of land, Fee \$400)	
		<input checked="" type="checkbox"/> Small Construction (Project will disturb between 1 and 4.99 acres of land, Fee \$250)	
B. Approximate total area of land disturbance from commencement through completion of construction: <u>1.98</u> acres			
C. SWPPP Location: <input type="checkbox"/> Address in Part III above <input checked="" type="checkbox"/> Address in Part IV above <input type="checkbox"/> Other address (specify below)			
D. SWPPP Address:			
E. City:		F. State:	G. Zip Code:
H. Construction Period:		Start Date: 12/19/2016	Completion Date: 06/30/2017

VI. DEWATERING INFORMATION:

A. Will dewatering operations be performed as part of the construction activities? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	
If yes, complete below. If no, skip this part and go to Part VII.	
B. Is the project site currently identified as contaminated, or is there a site within 500 feet of the dewatering project identified as contaminated by a DEP or EPA cleanup/restoration program? You may use the Quick Link to DEP's Contamination Locator Map (CLM) and DEP's Institutional Controls Registry (ICR) Web Viewer to determine cleanup restoration status. You may access the CLM at: http://webapps.dep.state.fl.us/DepClnup/welcome.do or	

<http://ca.dep.state.fl.us/mapdirect/?focus=contamlocator>. The ICR may be accessed at:
<http://www.dep.state.fl.us/waste/categories/brownfields/pages/ICR.htm>, or
<http://ca.dep.state.fl.us/mapdirect/?focus=icr>

- YES Continue to VI.C, below.
 NO Continue to Part VII.

C. Has the site been remediated?

- YES Continue to Part VII.
 NO Continue to VI.D, below.

D. Are the pollutants of concern (i.e. contamination) present in ground water at the dewatering project site at concentrations equal to or exceeding the surface water criteria in Rule 62-302.530?

- YES Dewatering activities do not qualify for coverage under this generic permit. However, the site may qualify for coverage under Rule 62-621.300(1), F.A.C., or under an individual wastewater permit on the appropriate form listed in Rule 62-620.910, F.A.C.
 NO Continue to Part VII.

VII. DISCHARGE INFORMATION:

A. MS4 Operator Name (if applicable): Tampa - MS4 - FLS000008

B. Receiving Water Name:

VIII. CERTIFICATION¹:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

If providing notice of commencement of construction as required by an Individual Environmental Resource Permit, I also certify that I am authorized by the Permittee (identified in Part III.A., above), to commence construction activities authorized by the ERP Permit (identified in Part I.B., above).

Responsible Authority Name and Official Title (Type or Print):

Bobby Singh, owner

Bobby Singh

December 13, 2016

Responsible Authority Signature:

Date Signed:

¹ Signatory requirements are contained in Rule 62-620.305, F.A.C.

**INSTRUCTIONS – DEP FORM 62-621.300(4)(b)
NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE
AND SMALL CONSTRUCTION ACTIVITIES**

Who Must File an NOI:

You must file the NOI and obtain coverage under the Construction Generic Permit if you discharge stormwater associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4), http://www.dep.state.fl.us/water/stormwater/npdes/docs/all_ms4_by_county.pdf.

Where to File NOI:

The Department encourages the electronic submission of NOIs using the Department’s Interactive Notice of Intent (iNOI) available at <http://www.fldeportal.com/go/>. NOIs also may be submitted by paper copy to the following address:

NPDES Stormwater Notices Center, MS #3585
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Permit Fee:

Permit fees for large and small construction activities to be covered under the generic permit are specified in paragraph 62-4.050(4)(d), F.A.C. and available on our <http://www.dep.state.fl.us/water/stormwater/npdes/fees.htm>. You must submit the appropriate generic permit fee (either for large 5+ acres \$400 or small 1- 4.99 acres \$250 construction activities) with the completed NOI to obtain coverage under the generic permit. **Generic permit coverage will not be granted without payment of the appropriate permit fee.**

If the NOI is submitted electronically, the permit fee must be paid on-line by credit card or check. If the NOI is submitted using a paper copy, the permit fee must be paid by either check or money order made payable to: “Florida Department of Environmental Protection”.

Part I – Identification Number:

If you are renewing coverage, please enter the project’s DEP identification number (generic permit coverage number) if known. If this is a new project without an ID number then leave this item blank. If you know your ERP Permit Number or ERP Permitting Agency (if applicable) please identify it here, if not then leave these items blank.

Part II – Stormwater Pollution Prevention Plan (SWPPP) Completed:

Check the box to indicate whether you have completed your Stormwater Pollution Prevention Plan. You must complete your SWPPP and be ready to implement it before submitting your NOI.

Part III – Applicant Information:

Item A.: Provide the legal name of the person, firm, contractor, public organization or other legal entity that owns or operates the construction activity described in this NOI. The operator is the legal entity that has authority to control those activities at the project necessary to ensure compliance with the terms and conditions of the generic permit.

Item B.: Enter the appropriate one letter code from the list below to indicate the legal status of the operator:

F = Federal; S = State; P = Private; M = Public (other than federal or state); O = Other

Items C. – F.: Provide the complete mailing address of the operator, including city, state and zip code.

Items G. – J.: Provide the name, telephone and fax number (including area code) and E-mail address of the person authorized to submit this NOI on behalf of the operator (e.g., Jane Smith, President of Smith Construction Company on behalf of the operator, Smith Construction Company; John Doe, Public Works Director on behalf of the operator, City of Townsville; etc.). This should be the same person as indicated in the certification in Part VI.

Part IV – Project/Site Location Information:

Items A. – E.: Enter the official or legal name and complete street address, including city, state and zip code of the project. Do not provide a P.O. Box number as the street address. If it lacks a street address, describe the project site location (e.g., intersection of State Road 1 and Smith Street).

Item F.: Enter the county in which the project is located.

Item G.: Enter the latitude and longitude, **in degrees-minutes-seconds format**, of the approximate center of the project.

Item H.: Indicate whether the project is located on Indian Country Lands. If the project is located on Indian Lands you may not use this generic permit. Instead, you must apply to the <http://cfpub.epa.gov/npdes/stormwater/const.cfm> (EPA) for coverage.

Item I.: Enter the appropriate five or six letter code from the list below to indicate the <http://www.dep.state.fl.us/secretary/watman/default.htm> in which your project is located:

NFWWMD = Northwest Florida Water Management District
SRWMD = Suwannee River Water Management District
SFWMD = South Florida Water Management District
SWFWMD = Southwest Florida Water Management District
SJRWMD = St. John's River Water Management District

Items J. – M.: Enter the name, telephone and fax number (including area code) and E-mail address of the project contact person. The project contact is the person who is thoroughly familiar with the project, the facts reported in this NOI and who can be contacted by the Department if necessary.

Item N.: Enter additional E-mail correspondence as needed to receive permit related documentation. (Optional)

Part V – Project/Site Activity Information:

Item A.: Check the appropriate box to indicate whether the project involves large construction activity or small construction activity. **Check one box only.**

“Large Construction Activity” means construction activity resulting in the disturbance of five (5) or more acres of total land area. Large construction activity also includes the disturbance of less than five acres of total land area that is part of a larger common plan of development or sale such as a subdivision that will ultimately disturb five acres or more.

“Small Construction Activity” means construction activity resulting in the disturbance of equal to or greater than one (1) acre and less than five (5) acres of total land area. Small construction activity also includes the disturbance of less than one acre of total land area that is part of a larger common plan of development or sale that will ultimately disturb equal to or greater than one acre and less than five acres.

Item B.: Provide the approximate total area of land disturbance, in acres, that the project will involve from commencement of construction through completion.

Items C. - G.: Indicate the location where the Stormwater Pollution Prevention Plan (SWPPP) can be viewed. Provide the address where the SWPPP can be viewed if other than as provided in Parts II or III of the NOI. **Note that to be eligible for coverage under the generic permit, the SWPPP must have been prepared prior to filing this NOI.**

Item H.: Enter the estimated construction start and completion dates in the MM/DD/YY format.

Part VI – Dewatering Information:

If your site has “noncontaminated ground water”, the CGP also authorizes discharges from ground water dewatering activities. A site will be presumed to have uncontaminated if it is not contaminated and there are no known contamination sites within 500 feet of the site. You may use the Department’s <http://webapps.dep.state.fl.us/DepClnup/welcome.do> or the Institutional Controls Registry (ICR) Web Viewer <http://www.dep.state.fl.us/waste/categories/brownfields/pages/ICR.htm> to determine the location of contaminate sites. The CGP does not authorize the discharge of contaminated ground water.

Part VII – Discharge Information:

To be covered under a CGP, you must provide the following information about where the discharge from your project will go. NOIs submitted without discharge information cannot be processed.

Item A.: If stormwater from your project discharges to a MS4 enter the name of the MS4 (e.g., City of Tallahassee MS4, Orange County MS4, FDOT District 5 MS4, etc.). If stormwater from your project does not discharge to an MS4 but to surface waters of the State, leave this item blank or indicate “N/A” and skip to Item B. of this part. **Please note that if your project discharges stormwater to an MS4, you must provide the MS4 operator with a copy of the completed NOI.** http://www.dep.state.fl.us/water/stormwater/npdes/docs/all_ms4_by_county.pdf

Item B.: If your project discharges stormwater to surface waters of the State, and not to an MS4, enter the name of the receiving water body to which the stormwater is discharged. Please provide the first named water body to which the stormwater from the project is discharged (e.g., Cypress Creek, Tampa Bay, unnamed ditch to St. Johns River, Tate’s Hell Swamp, etc.).

In certain cases, stormwater from the project will discharge to both an MS4 and surface waters of the State. In this case, complete both Item A. and Item B.

Part VIII – Certification:

Type or print the name and official title of the Responsible Authority signing the certification. Please note that this must be the same person indicated in Item II.G. as the Responsible Authority. Sign and date the certification.

Section 403.161, F.S., provides severe penalties for submitting false information on this application (NOI) or any reports or records required by a permit. There are both civil and criminal penalties, in addition to the revocation of permit coverage for submitting false information.

Rule 62-620.305, F.A.C., requires that the NOI and any reports required by the permit be signed as follows:

- A. For a corporation, by a responsible corporate officer as described in Rule 62-620.305, F.A.C.;
- B. For a partnership or sole proprietorship, by a general partner or the proprietor, respectively; or
- C. For a municipality, state, federal or other public facility, by a principal executive officer or elected official.

Site 103

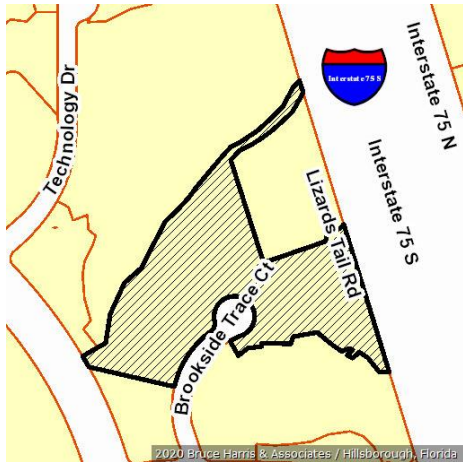
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033583-1736



Owner Information

Owner Name	HCP DSL PROPCO TAMPA PALMS LLC
Mailing Address	C/O HCP INC ATTN: ADAM MABRY 1920 MAIN ST STE 1200 IRVINE, CA 92614-7230
Site Address	17470 BROOKSIDE TRACE CT, TAMPA
PIN	A-14-27-19-65O-000000-000E2.0
Folio	033583-1736
Prior PIN	A-14-27-19-ZZZ-000001-17060.0
Prior Folio	033582-0200
Tax District	TA - TAMPA
Property Use	0610 ALF A
Plat Book/Page	94/89
Neighborhood	216003.00 Tampa Palms North Area
Subdivision	65O TAMPA TECHNOLOGY PARK WEST-FLEX B

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$11,870,200	\$11,870,200	\$0	\$11,870,200
Public Schools	\$11,870,200	\$11,870,200	\$0	\$11,870,200
Municipal	\$11,870,200	\$11,870,200	\$0	\$11,870,200
Other Districts	\$11,870,200	\$11,870,200	\$0	\$11,870,200

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26520	1081	04	2019	WD	Qualified	Improved	\$21,000,000
23348	0431	06	2015	WD	Unqualified	Vacant	\$2,100,000
22113	1262	08	2013	WD	Unqualified	Vacant	\$1,500,000
21565	0045	12	2012	QC	Unqualified	Vacant	\$100
17161	1805	11	2006	WD	Unqualified	Vacant	\$100
17017	1945	09	2006	WD	Unqualified	Vacant	\$100
16146	0384	02	2006	WD	Unqualified	Vacant	\$5,670,600
8792	0642	10	1997	WD	Unqualified	Vacant	\$5,290,600
8792	0642	10	1997	WD	Unqualified	Vacant	\$5,290,600

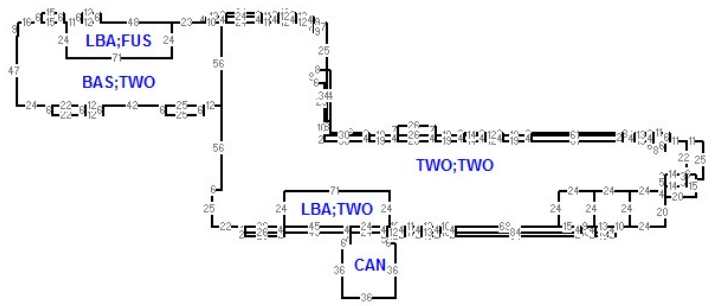
Building Information

Building 1

Type 54 | NURSING HOME
Year Built 2017

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	4.0	
Units	120.0	
Wall Height	8.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	275	275	\$50,867
TWO	39,826	39,826	\$7,366,679
TWO	39,826	39,826	\$7,366,679
CAN	114		\$6,289
BAS	26	26	\$4,809
TWO	104	104	\$19,237
BAS	122	122	\$22,567
TWO	152	152	\$28,116
CAN	24		\$1,295
BAS	28	28	\$5,179
TWO	152	152	\$28,116
FST	182		\$16,832
TWO	152	152	\$28,116
BAS	92	92	\$17,017
CAN	68		\$3,699
CAN	122		\$6,844
TWO	244	244	\$45,133
FUS	122	122	\$22,567
BAS	120	120	\$22,197
TWO	240	240	\$44,393
FST	104		\$9,619
TWO	208	208	\$38,474
BAS	56	56	\$10,358
TWO	112	112	\$20,717
CAN	48		\$2,590
TWO	96	96	\$17,757
BAS	244	244	\$45,133
TWO	488	488	\$90,266
CAN	63		\$3,514
TWO	126	126	\$23,306
FUS	63	63	\$11,653
TWO	96	96	\$17,757
BAS	24	24	\$4,439
TWO	88	88	\$16,278
BAS	48	48	\$8,879
TWO	104	104	\$19,237
BAS	5,959	5,959	\$1,102,246
TWO	11,918	11,918	\$2,204,492

LBA			\$0
FUS	1,704	1,704	\$315,192
CAN	72		\$4,069
CAN	90		\$4,994
CAN	132		\$7,399
BAS	72	72	\$13,318
CAN	150		\$8,324
BAS	96	96	\$17,757
TWO	192	192	\$35,515
BAS	48	48	\$8,879
TWO	96	96	\$17,757
BAS	104	104	\$19,237
TWO	208	208	\$38,474
BAS	52	52	\$9,619
TWO	360	360	\$66,590
CAN	1,464		\$81,203
BAS	24	24	\$4,439
TWO	88	88	\$16,278
BAS	26	26	\$4,809
TWO	80	80	\$14,798
BAS	168	168	\$31,075
TWO	80	80	\$14,798
BAS	26	26	\$4,809
BAS	52	52	\$9,619
TWO	104	104	\$19,237
TWO	1,152	1,152	\$213,087
BAS	576	576	\$106,544
CAN	188		\$10,358
BAS	112	112	\$20,717
BAS	576	576	\$106,544
TWO	1,152	1,152	\$213,087
BAS	336	336	\$62,150
TWO	672	672	\$124,301
BAS	52	52	\$9,619
TWO	104	104	\$19,237
BAS	48	48	\$8,879
TWO	96	96	\$17,757
LBA			\$0
TWO	3,408	3,408	\$630,383
CAN	96		\$5,364
TWO	192	192	\$35,515
Totals	116,084	113,167	\$21,105,077

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2018	0	0	31,264.00	\$53,484
0060	CONCRETE PAVEMENT	0	2018	0	0	4,200.00	\$13,971
0030	CONCRETE DRIVE	0	2018	0	0	5,960.00	\$33,042
0115	CONCRETE PAVERS	0	2018	0	0	3,514.00	\$25,048
0370	POOL COMMERCIAL	0	2018	0	0	937.00	\$72,175
0250	FENCE CL4	0	2018	0	0	686.00	\$7,029

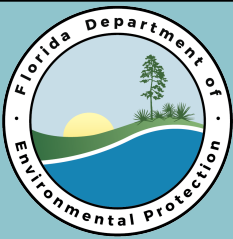
Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE2	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	147,858.00	\$862,263
9610	LOWLANDS	PD-A	0.0	0.0	AC ACREAGE	2.07	\$1,552

Legal Description

TAMPA TECHNOLOGY PARK WEST-FLEX B LOT E2 AND LOT E3 LESS THAT PART LYING WITHN FOLLOWING TAMPA TECHNOLOGY PARK WEST-FLEX B PART OF LOTS E3 AND E4 DESCRIBED AS FOLLOWS: COM AT NORTHERNMOST COR OF LOT E3 S 17 DEG 04 MIN 051 SEC E 35.01 FT FOT POB S 17 DEG 04 MIN 51 SEC E 373.75 FT CURVE RAD 30 FT CHRDR BRG S 56 DEG 34 MIN 56 SEC W 27.31 FT S 29 DEG 30 MIN 29 SEC W 57.42 FT CURVE RAD 30 CHRDR BRG S 15 DEG 29 MIN 58 SEC W 14.52 FT S 72 DEG 55 MIN 0*9 SEC W 174.85 FT N 16 DEG 58 MIN 00 SEC W 303.55 FT N 40 DEG 04 MIN 42 SEC E 6.21 FT N 42 DEG 29 MIN 29 SEC E 29.66 FT N 64 DEG 06 MIN 06 SEC E 21.71 FT CURVE RAD 30 FT CHRDR BRG N 60 DEG 15 MIN 55 SEC E 4.01 FT N 56 DEG 25 MIN 44 SEC E 55.33 FT CURVE RAD 30 FT CHRDR BRG N 51 DEG 58 MIN 49 SEC E 4.65 FT N 47 DEG 31 MIN 54 SEC E 55.59 FT N 45 DEG 18 MIN 37 SEC E 41.95 FT CURVE RAD 30 FT CHRDR BRG N 36 DEG 08 MIN 09 SEC E 9.57 FT N 26 DEG 57 MIN 40 SEC E 52.33 FT AND N 41 DEG 53 MIN 12 SEC E 5.80 FT TO POB TOGETHER WITH THE FOLLOWING DESC PARCEL TAMPA TECHNOLOGY PARK WEST-FLEX B LOT E4 LESS THAT PART LYING WITHN FOLLOWING COM AT NORTHERNMOST COR OF LOT E3 S 17 DEG 04 MIN 051 SEC E 35.01 FT FOT POB S 17 DEG 04 MIN 51 SEC E 373.75 FT CURVE RAD 30 FT CHRDR BRG S 56 DEG 34 MIN 56 SEC W 27.31 FT S 29 DEG 30 MIN 29 SEC W 57.42 FT CURVE RAD 30 CHRDR BRG S 15 DEG 29 MIN 58 SEC W 14.52 FT S 72 DEG 55 MIN 0*9 SEC W 174.85 FT N 16 DEG 58 MIN 00 SEC W 303.55 FT N 40 DEG 04 MIN 42 SEC E 6.21 FT N 42 DEG 29 MIN 29 SEC E 29.66 FT N 64 DEG 06 MIN 06 SEC E 21.71 FT CURVE RAD 30 FT CHRDR BRG N 60 DEG 15 MIN 55 SEC E 4.01 FT N 56 DEG 25 MIN 44 SEC E 55.33 FT CURVE RAD 30 FT CHRDR BRG N 51 DEG 58 MIN 49 SEC E 4.65 FT N 47 DEG 31 MIN 54 SEC E 55.59 FT N 45 DEG 18 MIN 37 SEC E 41.95 FT CURVE RAD 30 FT CHRDR BRG N 36 DEG 08 MIN 09 SEC E 9.57 FT N 26 DEG 57 MIN 40 SEC E 52.33 FT AND N 41 DEG 53 MIN 12 SEC E 5.80 FT TO POB

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Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
Division of Waste Management
Petroleum Storage Systems
Storage Tank Facility Installation Site Inspection Report

Facility Information:

Facility ID: 9815308 County: HILLSBOROUGH Inspection Date: 12/09/2016
Facility Type: C - Fuel user/Non-retail
Facility Name: DISCOVERY VILLAGE AT TAMPA PALMS # of Inspected ASTs: 1
17470 BROOKSIDE TRACE CT USTs: 0
TAMPA, FL 33647-6200 Mineral Acid Tanks: 0
Latitude: 28° 8' 4.2072"
Longitude: 82° 22' 51.7116"
LL Method: DPHO

Inspection Result:

Result: Minor Out of Compliance

Also Performed:

Financial Responsibility:

Financial Responsibility: INSURANCE
Insurance Carrier: IRONSHORE SPECIALTY INSURANCE CO
Effective Date: 04/30/2016 Expiration Date: 04/30/2017

Findings:

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9815308

Austin J Alexander

Emailed to Brian Hendricks

INSPECTOR NAME

REPRESENTATIVE NAME



No Signature

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Completed Tests					
Annual Operability	12/09/2016	Passed	12/22/2016	12/09/2017	Performed during final installation inspection.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	12/09/2016	12/09/2016	
Two Years	Certificate of Financial Responsibility	04/30/2016	12/09/2016	

New Violations

Type: Violation
Significance: Minor
Rule: 62-762.401(2)(a)1.b., 62-762.401(2)(a)1.a.
Violation Text: Registration fees not paid.
Explanation: Current registration fees have not been paid.

Facility ID: 9815308

Corrective Action: Submit payment to FDEP for current registration fees.

Type: Violation

Significance: Minor

Rule: 62-762.401(2)(a)6.

Violation Text: Registration placard is not displayed in plain view.

Explanation: Current registration placard not displayed on site.

Corrective Action: Upon receipt of current registration placard, maintain original on site and submit a copy to EPC.

Inspection Comments

12/09/2016

12/09/2016 – AA/TIN – Met on site with Kris Olmstead of Tri City Electric for the final installation inspection.

Release Detection:

- Visual inspections of tank systems and components.
- Electronic monitoring of tank interstice.
- Kohler panel located on generator monitors a Madison M7000 sensor (DEP EQ #682).
- No alarms currently noted.
- Audible/visual alarm tested – appeared operational.
- Operability test of electronic sensor performed during this inspection – appears functional.

Note: Alarm panel to be installed inside main building in the future – contact EPC for inspection.

Tank: (1) 1,000 gallon Zierke Built Manufacturing (DEP EQ #633) double walled steel sub-base AST containing diesel fuel for emergency generator with associated aboveground single walled synthetic piping. Tank is located on a concrete foundation and is equipped with:

- Product label: Diesel.
 - Normal and emergency venting.
 - Overfill protection: Rochester fuel level sight gauge and Rochester high level alarm. High level alarm does not have audible/visual testing capability.
 - Zierke Built Manufacturing spill containment bucket (DEP EQ #633) appeared dry and intact.
 - Exterior coating appeared in good condition.
 - Electrical grounding present within generator housing according to representative on site, however could not be verified at time of this inspection.
 - Synthetic supply and return lines run from tank directly to generator above. System does not produce a gravity head. Manual isolation and anti-siphon valves not required.
- No obvious signs of leakage noted.

Records:

-Current registration placard not displayed on site. Upon receipt of current registration placard, maintain original on site and submit a copy to EPC.

Facility ID: 9815308

- Current registration fees have not been paid. Submit payment to FDEP for current registration fees.
- Written Release Detection Response Level Statement current, complete and accurate.
- Monthly monitoring inspections are to be performed once a month and are not to exceed 35 days in between and must include:
 - Visual inspections of tank systems and components, including spill containment bucket and tank exterior.
 - Electronic monitoring of tank's interstitial space.
 - Alarm panel status checks.
 - Audible/visual alarm test checks.
- Operability testing of the electronic interstitial sensor performed during this inspection. Operability testing is to be performed once a year. Next test due by 12/09/2017.

Inspection Photos

Added Date 12/22/2016

2016-12-09 Site photo



Added Date 12/22/2016

2016-12-09 Tank



Facility ID: 9815308
Added Date 12/22/2016

Added Date 12/22/2016

2016-12-09 Spill bucket

2016-12-09 Fuel level sight gauge



Added Date 12/22/2016
2016-12-09 Product label

Added Date 12/22/2016
2016-12-09 Alarm panel



Facility ID: 9815308
Added Date 12/22/2016

Added Date 12/22/2016

2016-12-09 Supply and return lines

2016-12-09 Interstitial sensor



Added Date 12/22/2016

2016-12-09 Vents





Florida Department of Environmental Protection
Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DEP Form # 62-761.900(2)
Form Title <u>Storage Tank Registration Form</u>
Effective Date <u>July 13, 1998</u>
DEP Application No. _____ (Filled in by DEP)

Storage Tank Facility Registration Form

Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376.303, Florida Statutes

Please review Registration Instructions before completing the form.

Please check all that apply	<input type="checkbox"/> New Registration	<input type="checkbox"/> New Owner	<input type="checkbox"/> New Tanks
	<input type="checkbox"/> Facility Info Update/Correction	<input type="checkbox"/> Owner Info Update/Correction	<input type="checkbox"/> Tank Info Update/Correction

A. FACILITY INFORMATION	County: Hillsborough	DEP Facility ID:	9815308
--------------------------------	-----------------------------	-------------------------	---------

Facility Name: Discovery Village at Tampa Palms
 Facility Address: 17470 Brookside Trace Ct City: Tampa Zip: 33647 6200
 Facility Contact: _____ Business Phone: _____
 Facility Type(s): C NAICS Code: _____ Financial Responsibility: NONE

24 Hour Emergency Contact: _____	Emergency Phone: _____
---	-------------------------------

B. RESPONSIBLE PERSON INFORMATION - Identify Individual(s) or Business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. **Provide additional information in an attachment if necessary.**

Name: Tampa Sr. Housing I Propco, LLC Tammy Kaminski	Facility - Responsible Person Relation Type:	Effective Date
Mail address: 3301 Bonita Beach Road Suite #113	<input checked="" type="checkbox"/> Facility Account Owner (pays fees)	11/09/2016
City, ST, Zip: Bonita Springs, FL 34134	Facility Account Owner information must be provided when the facility contains active or out of service storage tanks on site.	
Contact: Tammy Kaminski		
Telephone: (239) 908-2921	STCM Account Number (if known)	73975
Identify other appropriate facility relationships for this party: <input type="checkbox"/> Facility Owner/Operator <input type="checkbox"/> Property Owner <input type="checkbox"/> Storage Tank Owner		

Name:	Other owner, relationship type(s)	Effective Date
Mail address:	<input type="checkbox"/> Facility Owner/Operator	
City, ST, Zip:	<input type="checkbox"/> Property Owner	
Contact:	<input type="checkbox"/> Storage Tank Owner	
Telephone:	<input type="checkbox"/> Other:	

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Tank ID	T/V	A/U	Capacity	Installed	Content	Status/Effective Date	Construction	Piping	Monitoring

Certified Contractor (performing tank installation or removal): _____ DBPR License No.: _____

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.

Micah Hoskinson _____ 11/09/2016
Printed Name & Title **Signature** **Date**

DEP 62-761.900(2)

- | | | | | | | |
|--|--|---|--|--|--|--|
| Northwest District
160 Governmental Center Blvd.
Pensacola, FL 32501
850-595-8360 | Northeast District
7825 Baymeadows Way,
Suite B200
Jacksonville, FL 32256
904-448-4300 | Central District
3319 Maguire Blvd.,
Suite 232
Orlando, FL 32803
407-894-7555 | Southwest District
3804 Coconut Palm Drive
Tampa, FL 33619
813-744-6100 | Southeast District
400 North Congress Ave.,
W Palm Beach, FL 33416
561-681-6600 | South District
2295 Victoria Ave.,
Suite 364
Fort Myers, FL 33901
941-332-6975 | Marathon Branch Office
2796 Overseas Hwy.,
Suite 221
Marathon, FL 33050
305-289-2310 |
|--|--|---|--|--|--|--|

Other Additional Details

Insurance Information

Insurance Carrier:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Facility Owner

Company Name: Discovery Senior Living
Name: Tammy Kaminski
Address Line 1: 3301 Bonita Beach Rd
Address Line 2: Ste 113
City/State/Zip Code: Bonita Springs, FL 34134 7835
Phone Number: (239) 908-2921
Extension:
Cell Number:
Fax Number:
E-mail Address: tkaminski@discoverymgt.com

Tank/Vessel Information

Tank ID: 1
T/V: TANK
A/U: ABOVEGROUND
Capacity: 1333
Installed: 08/31/2016
Content: G
Status: U
Status Effective Date: 08/31/2016
Construction: C, R
Piping: B, D, M, A
Monitoring: I



Florida Department of Environmental Protection

Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

Division of Waste Management - Storage Tank Facility Registration Form Registration Instructions and Codes List

The Department of Environmental Protection Storage Tank Program registers the facilities and the storage tanks when aboveground or underground storage tanks store pollutants, hazardous substances, and/or mineral acid substances regulated by Chapter 62-761, Florida Administrative Code, or when aboveground storage tanks or compression vessels store a hazardous substance which requires registration according to Chapter 376, Florida Statutes.

Storage Tank Facility Registration Form

In the first section block, identify the types of information being submitted on the registration form.

Check **New Registration** when the **location** is being registered for the first time and no Facility Identification number exists.

If submitting a revised Registration form, check all other boxes that apply to designate the type(s) of revisions being submitted.

I. Facility Information - Properly describe the geographical location where the storage tank facility is located.

- Facility ID** Include the DEP Facility Identification number whenever possible. Write in "Pending" when submitting a new registration for the first time. Remember: the facility ID number identifies the location, and is transferred to a new owner upon sale of the facility.
- Facility Name** Provide the current name of the business establishment operating at the facility location. When registering an abandoned facility, where tanks exist *unmaintained*, identify the location with the property owner's name, as in "Smith Property", if no other facility name is being used.
- Facility Address** Include the county name, and the proper street number and name. Give directions when the facility is located in a rural area with no Rural Route number associated with it (i.e., 'x' miles N of intersection...). Provide the name and telephone number of a contact person or manager *on location*, where possible.
- Facility Type** This information is an explanation or term that most closely describes the operational use of the facility. Select the code(s) that provides the best or most appropriate description of the facility.

1. If the facility is owned by a government entity, select the appropriate type from the following:

- F. Federal Government** **H. Local or City Government** **N. Indian Land**
G. State Government **I. County Government**

2. If the facility meets the definition of "bulk product facility" - "a waterfront location with at least one aboveground tank with a capacity greater than 30,000 gallons which is used for the storage of pollutants" ("Pollutants" includes oil of any kind and in any form, gasoline, pesticides, ammonia, chlorine, and derivatives thereof, excluding liquefied petroleum gas.); select the type from:

- T. Coastal bulk product facility** - facility, as defined above and located on the Florida coast, may have storage tank systems that store hazardous substances in addition to pollutants. ("Coastline means the line of mean low water along the portion of the coast that is in direct contact with the open sea and the line marking the seaward limit of inland waters, as determined under the Convention on Territorial Seas and the Contiguous Zone, 15 U.S.T. (Pt. 2) 1606.")
- S. Inland Waterfront bulk product facility** - facility, as defined above and located on "inland waterways" (lakes, rivers), may have storage tank systems that store hazardous substances in addition to pollutants.

3. When the facility is a "waterfront location", but not a bulk product facility as defined above, select the most appropriate type from:

- V. Marine fueling facility** - a commercial, recreational, or retail coastal facility that provides fuel to vessels and may store other pollutants and/or hazardous substances on site.
- W. Waterfront fueling facility** - a commercial, recreational, or retail facility located on a non-coastal waterway that provides fuel to vessels and may store other pollutants and/or hazardous substances on site.

Facility Type continued

4. When the facility is not described as above, select the most appropriate type from:

- A. **Retail Station** - primarily supplies vehicular fuel to automotive customers; may store other regulated substances.
- C. **Fuel User, Non-retail** - primarily stores vehicular fuel and/or other pollutants or hazardous substances for consumption by facility/owner/operator.
- D. **Inland Bulk Petroleum Storage** - inland facility with no waterfront access, that has multiple active UST and/or AST storage systems used primarily for storage of pollutants intended for distribution. May also store hazardous substances on-site for facility consumption and/or distribution purposes.
- E. **Industrial Plant** - inland facility with no waterfront access; may include power plants and facilities designed for manufacturing and/or chemical processing; may have multiple active UST and/or AST storage systems used for storage of pollutants and/or hazardous substances intended for facility consumption.
- J. **Collection Station** - maintenance or other related facility that acquires and temporarily stores used and/or waste oil prior to recycling and/or disposal.
- K. **Inland Bulk Chemical Storage** - inland facility with no waterfront access, that has multiple active UST and/or AST storage systems and/or compression vessels used for storage of hazardous substances intended for distribution. May also store pollutants on site for facility consumption and/or distribution purposes.
- L. **Chemical User** - facility primarily uses regulated hazardous substance tanks on site; may also store pollutants.
- M. **Agricultural** - facility actively used in production of crops, plants, or livestock.
- B. **Residential (not regulated)** - property used primarily for dwelling purposes; regulated substance used for non-commercial purposes; no UST exists > 1100 gallons.
- P. **UST Residential (>1100 gallons)** - residence with USTs regulated by Federal Environmental Protection Agency.
- Z. **Other** - Please identify the type of establishment that you are registering.

North American Industry Classification System (NAICS), developed jointly by the United States, Canada, and Mexico, has replaced the U.S. Standard Industrial Classification Code (SIC) system, effective January, 1997. The new system identifies new industry categories and re-organizes the current data more consistently. More information on this subject can be obtained from: National Technical Information Services, 5285 Port Royal Road, Springfield, Virginia 22161; (800) 553-6847. See also U. S. Department of Commerce Web Sites: <http://ntis.gov> and <http://www.census.gov/epcd/www/naics.html>. When possible – please select the most appropriate code for your facility.

Financial Responsibility – The demonstration of financial responsibility shall be made by the owner or operator in accordance with C.F.R. Title 40, Part 280, Subpart H. Write in your selection of the following:

1. **None**
2. **Insurance Carrier**
3. **Other Mechanism** (includes all other financial responsibility methods meeting requirements of C.F.R. Title 40)

24 Hour Emergency Contact - Provide the name & telephone number of the Emergency Contact for this facility.

II. Responsible Party Information

1. In the first block, provide the name, address, contact name, and telephone number of the individual(s) and/or business(es) that are responsible for the operation of the storage tank facility and for the payment of DEP annual Storage Tank Registration fees. Identify the appropriate facility relationships for this party: Facility Owner/Operator, Tank Owner, and/or Property Owner. The first named party will also be associated with the role of Facility Account Owner. The Account Owner is responsible for payment of the annual storage tank registration fees, and will receive the annual storage tank registration placard(s) upon payment.
2. Identify additional individuals and/or companies that play a role in the ownership or operation of the facility, as necessary.
3. When submitting revisions to owner name or address information, please include their STCM Account Number, when available.
4. Submit a registration form when the facility or tank ownership changes, complete with the **date & new owner's signature**.

III. Tank/Compression Vessel Information - Complete one row in Section C for each storage tank and/or compression vessel system located at the facility. Use the following system description codes where appropriate.

- 1. Tank ID** - number systems sequentially, or provide a unique identification number; do not use symbols (#, %, -, etc.).
- 2. Tank or Vessel Indicator** - write in T or V to describe the system type.
- 3. Tank Placement** - Write in A or U to designate aboveground or underground placement of the system.
- 4. Tank Capacity** - Write in the storage tank capacity in gallons.
- 5. Installation Date** - Record the date of first installation in 'MM/YY' format; provide a best estimate if unknown.

6. Tank Content - Record the current content (or last content, if system is closed or not in use) from the list below.

- | | | |
|---|--|--|
| A. Leaded gasoline | K. Kerosene | S. Chlorine compound |
| B. Unleaded gasoline | L. Waste oil / Used oil | T. Hazardous substance (CERCLA) |
| C. Gasohol | M. Fuel oil: on-site heating only; USTs or ASTs <30K gals | U. Mineral acid |
| D. Vehicular diesel | N. Fuel oil: distribution; or on-site heating - ASTs > 30K gals | V. Grades 5 & 6, bunker 'C' residual oils |
| E. Aviation gasoline | O. New & lube oil | W. Petroleum-base additive product |
| F. Jet diesel fuel | P. Generic Gasoline - grade unknown | X. Miscellaneous petroleum-base product |
| G. Diesel fuel - emergency generator | Q. Pesticide | Y. Unknown Substance |
| H. Diesel fuel - generator or pump | R. Ammonia compound | Z. Other Substance: please identify |

* Mineral Acid = Hydrobromic acid, Hydrochloric acid, Hydrofluoric acid, Phosphoric acid, Sulfuric acid.

* M = fuel is used solely to heat the facility premises and must be stored in a tank with capacity < 30,000 gallons; exempt from regulation.

* N = fuel is distributed as heating fuel, or fuel is used solely to heat the facility premises, but the storage tank capacity exceeds 30,000 gallons.

** **Compartmented tanks** – register as a single tank; itemize the size and contents of each compartment.

** **Manifold tanks** – register as individual storage tanks; with individual size and content – even though they are “connected”.

7. Status - Record the current status of the system, & the status effective date (or best estimate) in 'MM/YY' format. Update the tank status timely, as necessary for tanks moving between “in service” and “out of service” status.

- A. Properly closed in place** * UST filled with sand, concrete or other inert material; AST rendered unusable.
- B. Removed from the site** *
*A or B: UST Closure Assessment required after 12/10/90; AST Closure Assessment required after 3/12/91 - refer to 62-761.800, F.A.C.
- E. Construction modified** - AST constructed as a “mobile tank” or enclosed in a building; no longer retains a “regulated” status.
- F. Unmaintained tank** - UST/AST not in use, not properly closed, not to be returned to service (tank must be properly closed within 90 days).
- T. Out-of-service tank** - UST/AST locked and monitored (10 yr limit for USTs with secondary containment; 2 yr limit for corrosion-protected USTs; 1 yr limit for unprotected USTs; 5 yr limit for ASTs).
- U. In-service** - UST/AST may be empty for up to 45 days for routine services/maintenance only.
- V. Temporary out of service** - special designation for field-erected ASTs, greater than or equal to 50,000 gallon capacity; may be empty for up to 180 days for routine services/maintenance only.
- Z. Non-regulated product** stored in tank; provide status effective date when status relates to a ‘change in product’ for a particular storage tank.

8. Construction, Piping, and Monitoring Attributes – please select from the lists below, the codes that best describe the attributes of each storage tank system. ** When “Z. Other DEP Approved” is selected; please specify the EQ #. **

CONSTRUCTION

- Primary Construction:**
- | | |
|---------------------------------|--|
| C. Steel | X. Concrete |
| D. Unknown | Y. Polyethylene |
| E. Fiberglass | Z. Other DEP approved tank material |
| F. Fiberglass-clad steel | |

- Overfill/Spill:**
- | | |
|------------------------------------|--|
| A. Ball check valve | O. Tight fill |
| M. Spill containment bucket | P. Level gauges, high-level alarms |
| N. Flow shut-off | Q. Other DEP approved protection method |

- Corrosion Protection:**
- | | |
|---|---|
| G. Cathodic protection - sacrificial anode | H. Cathodic protection - impressed current |
|---|---|

- Secondary Containment:**
- I.** Double wall construction: single material (outer tank material same as inner tank material)
 - R.** Double wall construction: dual material (outer tank - concrete, approved synthetic material, or tank “jacket”)
 - J.** Synthetic liner in tank excavation
 - K.** Concrete, synthetic material, and/or offsite clays beneath AST and in containment area
 - S.** Other DEP approved secondary containment system
 - V.** Pipeless UST with secondary containment

CONSTRUCTION - continued

- Miscellaneous attributes:** B. Internal lining
L. Compartmented
U. Field erected tank

PIPING

- Primary Construction:** B. Steel or galvanized metal
C. Fiberglass
N. Approved synthetic material
Y. Unknown
Z. Other DEP approved piping material
- Corrosion Protection:** D. External protective coating
E. Cathodically protected with sacrificial anode or impressed current
- Secondary Containment:** F. Double wall construction: single material (outer pipe material same as inner pipe material)
M. Double wall construction: dual material (outer pipe - approved synthetic material or pipe "jacket")
G. Synthetic liner or box/trench liner in piping excavation or pipe containment area
P. Internal Piping: contained within an internal sump riser, directly connected to tank & located beneath dispenser
- Miscellaneous attributes:** A. Aboveground, no contact with soil
I. Suction piping system
J. Pressurized piping system
K. Dispenser liners
L. Bulk product system
H. Airport/seaport hydrant system

MONITORING

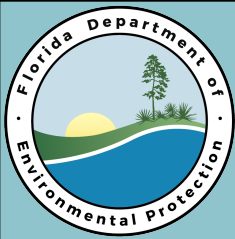
- External:** A. Site Suitability Plan
B. Site Suitability Plan Exemption
C. Groundwater Monitoring Plan
D. SPCC Plan
E. Interstitial monitoring of UST synthetic liners
N. Groundwater monitoring wells
O. Vapor monitoring wells
P. Vapor monitoring with dilution procedures
Q. Visual inspection of AST systems
W. Fiber-optic technologies
Z. Other DEP approved monitoring method
- Internal:** F. Interstitial space - double wall tank
L. Automatic tank gauging system (USTs)
M. Manual tank gauging system (USTs)
R. Interstitial monitoring of AST tank bottom
S. Statistical Inventory Reconciliation (SIR) (USTs)
T. Annual tightness test with inventory (USTs)
- Piping monitoring:** G. Electronic line leak detector with flow shutoff
H. Mechanical line leak detector
J. Interstitial monitoring - piping liner
K. Interstitial monitoring - double wall piping
U. Bulk product piping pressure test
V. Suction pump check valve
6. External monitoring
- Miscellaneous:** I. Not required - see rule for exemptions
X. None
Y. Unknown
1. Continuous electronic sensing equipment
2. Visual inspections of piping sumps
3. Electronic monitoring of piping sumps
4. Visual inspections of dispenser liners
5. Electronic monitoring of dispenser liners

IV. Certified Contractor & Certification

Record the name and the *Department of Business and Professional Regulation License Number* for the *Certified Contractor* whenever an underground storage tank has been installed, removed, or closed in place. Do not rely on the contractor to file this form. Storage Tank Registration Forms are required to be submitted by the storage tank system owner or operator.

Please Remember that the Registration Form cannot be processed without the name and signature of the storage tank system owner or operator, and the date of the form submittal. Please print your name legibly in case a representative of the storage tank program should need to contact you.

If you have questions, please call a storage tank registration representative at (850) 245-8839 for assistance.



Facility Information:

Facility ID: 9815308 County: HILLSBOROUGH Inspection Date: 08/02/2017
 Facility Type: C - Fuel user/Non-retail
 Facility Name: DISCOVERY VILLAGE AT TAMPA PALMS # of Inspected ASTs: 1
 17470 BROOKSIDE TRACE CT USTs: 0
 TAMPA, FL 33647-6200 Mineral Acid Tanks: 0
 Latitude: 28° 8' 4.2072"
 Longitude: 82° 22' 51.7116"
 LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to Jennifer King 08/11/2017

Inspector Name

Representative Name

No Signature

Inspector Signature

Representative Signature

Principal Inspector

Discovery Village

HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: IRONSHORE SPECIALTY INSURANCE CO

Effective Date: 04/30/2017

Expiration Date: 04/30/2020

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	12/09/2016	Passed	12/22/2016	12/09/2017	Performed during final installation inspection.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	07/25/2017	07/25/2017	
Two Years	Certificate of Financial Responsibility	04/30/2017	08/10/2017	
Two Years	Electronic Release Detection Equip. Monthly Checks	07/25/2017	07/25/2017	

New Violations

Type: Violation
 Rule: 62-762.601(1)(g)
 Violation Text: Release detection not performed at least once a month.
 Explanation: Electronic release detection device monthly inspection logs for December 2016 to June of 2017 were not available for review.
 Corrective Action: Complete electronic release detection device monthly inspection logs for August 2017 within 35 days of July inspection and submit to EPC for review.

Type: Violation
 Rule: 62-762.601(1)(d), 62-762.601(1)(e)
 Violation Text: Release detection not visually inspected once a month.
 Explanation: Visual monthly inspection logs from December 2016 to June 2017 were not available for review.
 Corrective Action: Complete monthly visual inspection for August 2017 within 35 days of July

inspection and submit to EPC for review.

Inspection Comments

08/02/2017

2017-08-02 AJM/GN Met on site with Gary Davis of Discovery Village for compliance inspection of aboveground storage tank system.

Release detection:

- Monthly visual inspections of tank system and components
- Electronic monitoring of tank interstitial space (Reads rupture basin on panel located in lobby)
- Kohler panel: no alarms currently noted
- Visual alarm tested- appeared operational

Tank: (1) 1,000 gallon Zierke Built Manufacturing double walled steel sub-based generator tank containing diesel fuel with associated aboveground single walled synthetic piping. Equipped with:

- Product label- diesel
 - Normal and emergency venting
 - Overfill protection: Rochester fuel level sight gauge and Rochester high level alarm
 - Spill containment bucket- appeared dry and intact
 - Synthetic supply and return lines run from tank directly to generator above. Manual isolation and anti-siphon valves not required
 - Electrical grounding present within generator housing per file
 - Tank exterior: appeared in good condition
- No obvious signs of leakage noted

Records:

- Current registration placard: (1) Tank
 - Monthly inspection logs from December 2016 to June 2017 were not available for review. Log for July 2017 were available to review. Complete August monthly inspection log and submit to EPC for review. Include:
 - Visual inspection of tank system and components
 - Audible/Visual alarm test checks
 - Alarm panel status checks
- Annual operability testing was conducted on 12/09/2016 with passing results. Next due 12/09/2017.

Reminders:

- **Overfill protection devices must be tested for operability prior to January 11, 2018 and every 12 months thereafter
- **A record or summary of the alarm history, sensor status and testing results shall be printed from the device and kept for three years. If the device does not have printing capabilities, then a manual log must be maintained.
- **Upon renewal or expiration of existing pollution liability insurance policy, the following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3) must be used to demonstrate Financial Responsibility; the updates CFR form (Part P) along with either Part C or Part D (completed by insurer) and a signed copy of the policy.

Facility ID: 9815308

Inspection Photos

Added Date 08/02/2017

2017-08-02 Site Photo



DRAFT



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Secretary

September 1, 2015

David Selznick
Tampa Senior Housing I Propco LLC
One Town Center Road Suite 300
Boca Raton, FL 33486

RE: **Facility ID: FLR20AH52**
Discovery Village
County: Hillsborough

Dear Permittee:

The Florida Department of Environmental Protection has received and processed your *Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities and Dewatering Operations* (NOI) and the accompanying processing fee. This letter acknowledges that:

- your NOI is complete;
- your processing fee is paid-in-full; and
- you are covered under the *Generic Permit for Stormwater Discharge from Large and Small Construction Activities and Dewatering Operations from non-contaminated sites* (CGD), DEP Document No. 62-621.300(4)(a).

Your project identification number is **FLR20AH52**. Please include this number on all future correspondence to the Department regarding this permit.

This letter is **not** your permit; however, this letter does serve **as verification of permit coverage**. A copy of the permit language is available online at www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf or by contacting the NPDES Stormwater Notices Center.

September 1, 2015

Your permit coverage becomes effective **9/4/2015** and will expire **9/3/2020**. To terminate your coverage prior to this expiration date, you must file a *National Pollutant Discharge Elimination System (NPDES) Stormwater Notice of Termination*, DEP Form 62-621.300(6) (NOT). An NOT must be filed within 14 days of either (a) your final stabilization of the site or (b) your relinquishment of control of the construction activities to a new operator. Terminating coverage under the CGP will also terminate your dewatering operations. You may not exclusively terminate dewatering operation under this form.

To renew your coverage beyond the expiration date, you must submit a new NOI and processing fee to the Department no later than two days before coverage expires.

Until your permit coverage is terminated, modified, or revoked, you are authorized to discharge stormwater from the construction site referenced in your NOI to surface waters in accordance with the terms and conditions of the CGP. Some key conditions of the CGP are:

- implementation of your stormwater pollution prevention plan (SWPPP);
- implementation of appropriate construction and dewatering best management practices (BMPs);
- conducting and documenting routine inspections; and
- retaining all records required by the permit (including your SWPPP) at the construction site or the alternate location specified in your NOI.

Projects that discharge stormwater associated with construction activity to a municipal separate stormwater system (MS4) shall submit a copy of the NOI or the Acknowledgement Letter within 7 days of receipt to the operator of the MS4.

If you have any questions concerning this Acknowledgment Letter, please contact the NPDES Stormwater Notices Center at (866) 336-6312 (toll-free).

Sincerely,



Krishna P Baral
Computer Operator II
NPDES Stormwater Program



**NOTICE OF INTENT
TO USE
NPDES GENERIC PERMIT FOR STORMWATER
DISCHARGE FROM LARGE AND SMALL
CONSTRUCTION ACTIVITIES
(RULE 62-621.300(4), F.A.C.)**

You must submit this completed Notice of Intent (NOI) form to the Department to get coverage under the Generic Permit for Stormwater Discharge from Large and Small Construction Activities provided in subsection 62-621.300(4), F.A.C. The Generic Permit document [DEP Document 62-621.300(4)(a)] tells you what construction activity qualifies for coverage, how you obtain and terminate coverage, what you must do to minimize pollution from your construction site, and what conditions apply to your project to use the generic permit. **You must submit the appropriate generic permit fee, as specified in paragraph 62-4.050(4)(d), F.A.C., with this NOI Form to obtain permit coverage.** You must read and understand the requirements of the generic permit document and the attached instructions before completing this NOI form. **Please print or type information in the appropriate areas below.**

For construction activities also requiring an Individual Environmental Resource Permit (ERP), under Chapter 62-330, F.A.C.:

If your construction activities are already authorized by a valid Individual ERP issued by the Department, Water Management District or a Delegated Local Government, you may also elect to use this NOI form to provide the required notice of commencement of construction, in lieu of Form 62-330.350(1) ("Construction Commencement Notice").

Do you wish to also provide notice of commencement of construction activities authorized under an Individual ERP permit through the use of this form? Yes No

I. IDENTIFICATION NUMBER:

A. Facility ID (if renewing coverage): _____
 B. ERP Permit Number* (if applicable): 43002236.046
 C. ERP Permitting Agency (if applicable): SWFWMD

*If the ERP permit authorizes phased construction, please also indicate which phase.

II. STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED AND READY TO BE IMPLEMENTED: Yes No

*If No, you may not submit your NOI at this time.

III. APPLICANT INFORMATION:

A. Operator Name: Tampa Senior Housing I Propco, LLC * ERP Permittee Name (if different than "Operator"), if applicable:		B. Operator Status: P
C. Address: ONE TOWN CENTER ROAD SUITE 300		
D. City: BOCA RATON	E. State: FL	F. Zip Code: 33486
G. Responsible Authority: S. DAVID SELZNICK		

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AUG 26 2015

H. Responsible Authority's Phone No.: (561) 300-6263
I. Responsible Authority's Fax No.: (561) 300-6290
J. Responsible Authority's E-mail Address: mmotisi@kaynecapital.com

IV. PROJECT/SITE LOCATION INFORMATION:

A. Project Name: Discovery Village		
B. Project Address/Location: 17470 Brookside Trace Ct		
C. City: Tampa	D. State: FL	E. Zip Code: 33647
F. County: Hillsborough	G. Latitude: 28 ° 08 ' 03 " Longitude: 82 ° 22 ' 50 "	
H. Is the site located on Indian Country Lands? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		I. Water Management District: SWFWMD
J. Project Contact: Lucas Carlo		
K. Project Contact's Phone No.: 813-250-3535 ext. 109		
L. Project Contact's Fax No.: 813-250-3636		
M. Project Contact's E-mail Address: LucasC@HamiltonEngineering.US		
N. Additional E-mail correspondence, optional:		

V. PROJECT/SITE ACTIVITY INFORMATION:

A. Indicate whether the project is Large or Small Construction (check only one):		<input type="checkbox"/> Large Construction (Project will disturb 5 or more acres of land, Fee \$400)	<input checked="" type="checkbox"/> Small Construction (Project will disturb between 1 and 4.99 acres of land, Fee \$250)
B. Approximate total area of land disturbance from commencement through completion of construction: 3.52 acres			
C. SWPPP Location:		<input type="checkbox"/> Address in Part III above	<input checked="" type="checkbox"/> Address in Part IV above <input type="checkbox"/> Other address (specify below)
D. SWPPP Address:			
E. City:		F. State:	G. Zip Code:
H. Construction Period:		Start Date:	Completion Date:

VI. DEWATERING INFORMATION:

A. Will dewatering operations be performed as part of the construction activities? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes, complete below. If no, skip this part and go to Part VII.
B. Is the project site currently identified as contaminated, or is there a site within 500 feet of the dewatering project identified as contaminated by a DEP or EPA cleanup/restoration program? You may use the Quick Link to DEP's Contamination Locator Map (CLM) and DEP's Institutional Controls Registry (ICR) Web Viewer to determine cleanup restoration status. You may access the CLM at: http://webapps.dep.state.fl.us/DepClnup/welcome.do or

http://ca.dep.state.fl.us/mapdirect/?focus=contamlocator. The ICR may be accessed at:
http://www.dep.state.fl.us/waste/categories/brownfields/pages/ICR.htm, or
http://ca.dep.state.fl.us/mapdirect/?focus=icr

- YES Continue to VI.C, below.
 NO Continue to Part VII.

C. Has the site been remediated?

- YES Continue to Part VII.
 NO Continue to VI.D, below.

D. Are the pollutants of concern (i.e. contamination) present in ground water at the dewatering project site at concentrations equal to or exceeding the surface water criteria in Rule 62-302.530?

YES Dewatering activities do not qualify for coverage under this generic permit. However, the site may qualify for coverage under Rule 62-621.300(1), F.A.C., or under an individual wastewater permit on the appropriate form listed in Rule 62-620.910, F.A.C.

NO Continue to Part VII.

VII. DISCHARGE INFORMATION:

A. MS4 Operator Name (if applicable): City of Tampa

B. Receiving Water Name: Unnamed Wetland

VIII. CERTIFICATION¹:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

If providing notice of commencement of construction as required by an Individual Environmental Resource Permit, I also certify that I am authorized by the Permittee (identified in Part III.A., above), to commence construction activities authorized by the ERP Permit (identified in Part I.B., above).

Responsible Authority Name and Official Title (Type or Print):

S. DAVID SELZNICK - Vice President

Responsible Authority Signature:

Date Signed:

¹ Signatory requirements are contained in Rule 62-620.305, F.A.C.

H. Responsible Authority's Phone No.: (561) 300-6263
I. Responsible Authority's Fax No.: (561) 300-6290
J. Responsible Authority's E-mail Address: mmotisi@kaynecapital.com

IV. PROJECT/SITE LOCATION INFORMATION:

A. Project Name: Discovery Village		
B. Project Address/Location: 17470 Brookside Trace Ct		
C. City: Tampa	D. State: FL	E. Zip Code: 33647
F. County: Hillsborough	G. Latitude: 28 ° 08 ' 03 " Longitude: 82 ° 22 ' 50 "	
H. Is the site located on Indian Country Lands? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		I. Water Management District: SWEI/MD

Texas Capital Bank

Tampa Sr Housing I PropCo

3301 Bonita Beach Rd Ste 113
Bonita Beach, FL 34134

CHECK # 425100018
DATE 08242015
M M D D Y Y Y Y

*****250.00

PAY Two Hundred Fifty Dollars And 00 Cents

TO THE Florida Department of Environmental
ORDER OF Protection



Authorized Signature

E. City:	F. State:	G. Zip Code:
H. Construction Period:	Start Date:	Completion Date:

VI. DEWATERING INFORMATION:

A. Will dewatering operations be performed as part of the construction activities? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes, complete below. If no, skip this part and go to Part VII.
B. Is the project site currently identified as contaminated, or is there a site within 500 feet of the dewatering project identified as contaminated by a DEP or EPA cleanup/restoration program? You may use the Quick Link to DEP's Contamination Locator Map (CLM) and DEP's Institutional Controls Registry (ICR) Web Viewer to determine cleanup restoration status. You may access the CLM at: http://webapps.dep.state.fl.us/DepClnup/welcome.do

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AUG 26 2015

FL Department of
Environmental Protection
NPDES Stormwater Notices Center



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Secretary

September 1, 2015

David Selznick
Tampa Senior Housing I Propco LLC
One Town Center Road Suite 300
Boca Raton, FL 33486

RE: **Facility ID: FLR20AH52**
Discovery Village
County: Hillsborough

Dear Applicant:

The Florida Department of Environmental Protection is unable to process your *Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities* (NOI) because it is incomplete. **You will not be covered under the generic permit until your NOI is properly completed and processed.** To properly complete your NOI, you must:

(1) Complete and properly fill in the missing information:

V. PROJECT/SITE ACTIVITY INFORMATION:

Your current submittal shows: **Post Mark Date 08/26/2015**

H. Construction Period	Start Date: Blank	Completion Date:
------------------------	--------------------------	------------------

Information Regarding Construction Period:

Per Rule Ch. 62-621.300(4) and 40.0885 F.S. of the Construction Generic Permit states that operators seeking coverage under this generic permit to authorize stormwater discharge associated with construction activity for new large or small construction activities, for which commencement of construction begins after the effective date of this permit, shall file an NOI for coverage under this permit **at least two (2) calendar days before commencement of construction (i.e. construction is able to commence on the 3rd day).**

If the information was provided in error, please enter the correct construction start and completion dates in the MM/DD/YY format.

H. Construction Period	Start Date:	Completion Date:
------------------------	-------------	------------------

If the information provided is correct, this project is operating in violation of Rule CH. 62-621.300(4) and 40.885 F.S. Please contact the Department within 10 business days to avoid permit denial.

(2) Complete the following Certification:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Print Name: _____

Signature: _____ Date: _____

(3) Return this letter to the NPDES Stormwater Notices Center via one of the following methods:

- Mail:
NPDES Stormwater Notices Center, MS #3585
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, FL 32399-2400

Facility ID: «FACILITY_ID»

Page 3

September 1, 2015

- Email:
npdes-stormwater@dep.state.fl.us
Subject: Request for Additional Information
- Fax:
(850) 245-7524
Attn: NPDES Stormwater Notices Center
Request for Additional Information

Submittals by fax or e-mail **do not** require a hard copy to be submitted via mail.

Upon receipt of the missing information, the Department will process your NOI and a letter acknowledging your permit coverage will be issued. Your project identification number is **FLR20AH52**. Please include this number on all future correspondence to the Department regarding this permit.

If you have any questions concerning this letter, contact the NPDES Stormwater Notices Center at (866) 336-6312 (toll-free).

Sincerely,



Krishna P Baral
Computer Operator II
NPDES Stormwater Program

H. Responsible Authority's Phone No.: (561) 300-6263
I. Responsible Authority's Fax No.: (561) 300-6290
J. Responsible Authority's E-mail Address: mmotisi@kaynecapital.com

IV. PROJECT/SITE LOCATION INFORMATION:

A. Project Name: Discovery Village		
B. Project Address/Location: 17470 Brookside Trace Ct		
C. City: Tampa	D. State: FL	E. Zip Code: 33647
F. County: Hillsborough	G. Latitude: 28 ° 08 ' 03 " Longitude: 82 ° 22 ' 50 "	
H. Is the site located on Indian Country Lands? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		I. Water Management District: SWFWMD
J. Project Contact: Lucas Carlo		
K. Project Contact's Phone No.: 813-250-3535 ext. 109		
L. Project Contact's Fax No.: 813-250-3636		
M. Project Contact's E-mail Address: LucasC@HamiltonEngineering.US		
N. Additional E-mail correspondence, optional:		

V. PROJECT/SITE ACTIVITY INFORMATION:

A. Indicate whether the project is Large or Small Construction (check only one):	<input type="checkbox"/> Large Construction (Project will disturb 5 or more acres of land, Fee \$400)
	<input checked="" type="checkbox"/> Small Construction (Project will disturb between 1 and 4.99 acres of land, Fee \$250)
B. Approximate total area of land disturbance from commencement through completion of construction: <u>3.52</u> acres	
C. SWPPP Location:	<input type="checkbox"/> Address in Part III above <input checked="" type="checkbox"/> Address in Part IV above <input type="checkbox"/> Other address (specify below)
D. SWPPP Address:	
E. City:	F. State: G. Zip Code:
H. Construction Period:	Start Date: 09-07-2015 Completion Date: 07-07-2015

VI. DEWATERING INFORMATION:

A. Will dewatering operations be performed as part of the construction activities? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes, complete below. If no, skip this part and go to Part VII.
B. Is the project site currently identified as contaminated, or is there a site within 500 feet of the dewatering project identified as contaminated by a DEP or EPA cleanup/restoration program? You may use the Quick Link to DEP's Contamination Locator Map (CLM) and DEP's Institutional Controls Registry (ICR) Web Viewer to determine cleanup restoration status. You may access the CLM at: http://webapps.dep.state.fl.us/DepClnup/welcome.do or

Date Received: 08/26/2015

Prepared to be inserted into Oculus

CGP NOI CHECKLIST

Facility ID: FLR20AH52

Issuance Date: _____

Small Construction
Acreage: 3.52

Large Construction
Acreage: _____

Check Copied

Check Entered in CRA

Check # 425100018

CRA Payment # 1365411

Refund (if applicable): _____

Application Review

The following fields must have acceptable information provided:

SWPPP Responsible Authority Signature Email Address Project Address/Location

Latitude/Longitude Construction Period Discharge Information

Water Management District: Southwest Florida

Yes No ERP Notice of Commencement

Yes No Dewatering Operations

Missing Fee: _____ Additional Check # _____ CRA Payment # _____

Request for Additional Information:

Start Date

Sign & Date:

09/01/2015

Comments: RAI Sent on 09/01/2015

Processing Completed (Sign & Date): baral_k 09/01/2015

Site 104

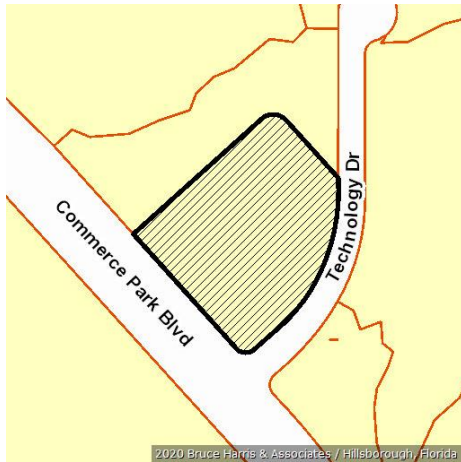
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 033583-1662



Owner Information

Owner Name	FMC COMMERCE PARK LLC
Mailing Address	38135 MARKET SQ ZEPHYRHILLS, FL 33542-7505
Site Address	17401 COMMERCE PARK BLVD, TAMPA
PIN	A-14-27-19-60P-000000-00001.0
Folio	033583-1662
Prior PIN	A-14-27-19-ZZZ-000001-17060.2
Prior Folio	033582-0220
Tax District	TA - TAMPA
Property Use	1710 OFFICE 1 STY A
Plat Book/Page	93/17
Neighborhood	216003.00 Tampa Palms North Area
Subdivision	60P TAMPA TECHNOLOGY PARK WEST ORTHO TECHNOLOGY

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$2,371,300	\$2,371,300	\$0	\$2,371,300
Public Schools	\$2,371,300	\$2,371,300	\$0	\$2,371,300
Municipal	\$2,371,300	\$2,371,300	\$0	\$2,371,300
Other Districts	\$2,371,300	\$2,371,300	\$0	\$2,371,300

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
25264	1836	09	2017	WD	Qualified	Improved	\$2,600,000
13407	1315	12	2003	WD	Unqualified	Improved	\$2,000,000
11248	0326	11	2001	WD	Unqualified	Vacant	\$336,000

Building Information

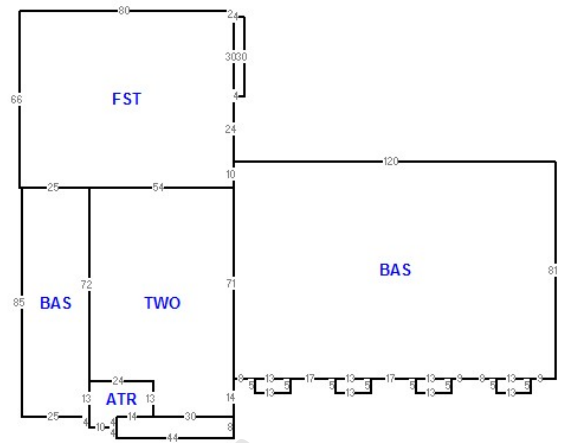
Building 1

Type 49 | OFFICE <3 STORY

Year Built 2002

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	5	Concrete Block
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	7	Tile
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	3.0	
Wall Height	18.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	9,720	9,720	\$1,079,459
FST	5,280		\$293,187
CNB	120		\$1,333
BAS	2,125	2,125	\$235,993
ATR	352	352	\$46,865
CNB	352		\$3,887
TWO	8,556	8,556	\$950,191
CAN	65		\$2,221
CAN	65		\$2,221
CAN	65		\$2,221
CAN	65		\$2,221
Totals	26,765	20,753	\$2,619,799

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	1	2003	0	0	2,325.00	\$9,374
0020	ASPHALT PAVING	1	2003	0	0	44,800.00	\$65,802

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COE2	Comm Class 5	PD-A	0.0	0.0	SF SQUARE FEET	99,752.40	\$599,173

Legal Description

TAMPA TECHNOLOGY PARK WEST ORTHO TECHNOLOGY LOT 1



Facility Information:

Facility ID: 9817068 County: HILLSBOROUGH Inspection Date: 06/19/2019
 Facility Type: C - Fuel user/Non-retail
 Facility Name: FL MEDICAL CLINIC COMMERCE PARK # of Inspected ASTs: 1
 17401 COMMERCE PK BLVD USTs: 0
 TAMPA, FL 33649 Mineral Acid Tanks: 0
 Latitude: 27° 36' 12.0"
 Longitude: 84° 48' 44.0"
 LL Method: UNVR

Inspection Result:

Result: In Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to Gus Taylor on 06/26/2019

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

Florida Medical Clinic

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: COMMERCE & INDUSTRY INSURANCE CO

Effective Date: 07/29/2018

Expiration Date: 07/29/2019

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	06/19/2019	Passed	06/26/2019	06/19/2020	Release detection and overfill protection devices; Performed by TAW Power Systems
Tank Tightness Test	05/21/2019	Passed	06/26/2019	05/21/2019	Interstitial Integrity test; Performed by TAW

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/29/2018	06/19/2019	

Inspection Comments

06/19/2019

2019-06-19 GN met on site with Robert Alexander of JN Electric and Eric Vohnson of TAW for the installation inspection of (1) aboveground storage tank system

Release detection:

- Visual inspections of the tank system and components
- Electronic monitoring of the tank interstice using a Madison M7000 (EQ#682) interstitial sensor monitored by a Kohler alarm panel
- Panel currently not indicating any leak alarms
- Audible/Visual alarm test check: appeared operational
- System does not have printing capabilities

Tank: (1) 595 gallon Sauk Technologies (EQ#634) double walled steel ,aboveground sub-based generator tank is located on a concrete pad and equipped with:

- Product label: Diesel
- Normal and emergency venting
- Clay and Bailey (EQ#882) spill containment bucket: appeared to be dry and intact
- Overfill protection: Rochester fuel level sight gauge (EQ#901) and Madison M7000 (EQ#682) high level alarm: appeared to be operational
- Aboveground, single walled flexible supply and return lines run directly from the tank to the generator above
- System does not produce a gravity head, therefore no anti-siphon or manual isolation valves are

Facility ID: 9817068

required

-Tank exterior: appeared to be in good condition

-Electrical grounding present

No obvious signs of leakage noted

Records:

-Current registration placard posted: (1) tank

-Inspections must be performed each calendar month, within 35 days and include the following:

Visual inspections of the tank system and components

Alarm panel status updates

Audible/Visual alarm test checks

In the event of an alarm, alarm must be recorded on the monthly inspection logs

-Operability test of the overfill protection device was performed on site during installation inspection by TAW with passing results. Next due on 06/19/2020.

-Operability test of the release detection device was performed on site during installation inspection by TAW with passing results. Next due on 06/19/2020.

-Interstitial integrity test was completed on 05/21/2019 by TAW with passing results.

Attachment Documents

- 2019-06-19 Site Photo
- 2019-06-26 STRF Updated

Inspection Photos

Added Date 06/26/2019

Added Date 06/26/2019

2019-06-19 Tank label

2019-06-19 Alarm panel



Facility ID: 9817068

Added Date 06/26/2019

2019-06-19 Madison interstitial sensor



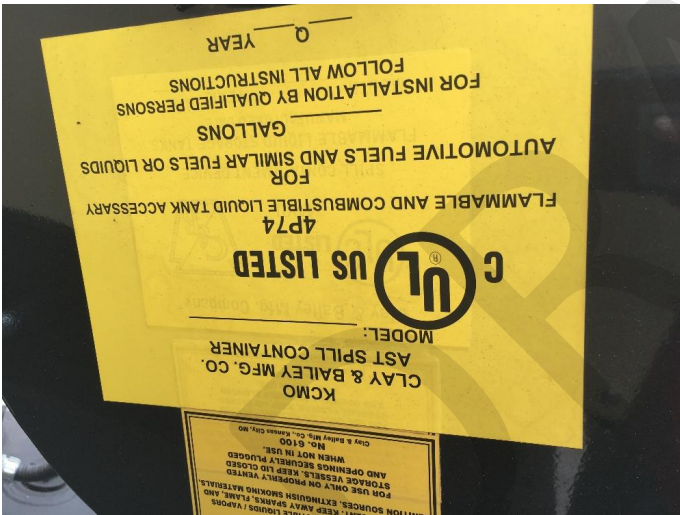
Added Date 06/26/2019

2019-06-19 Rochester fuel level sight gauge



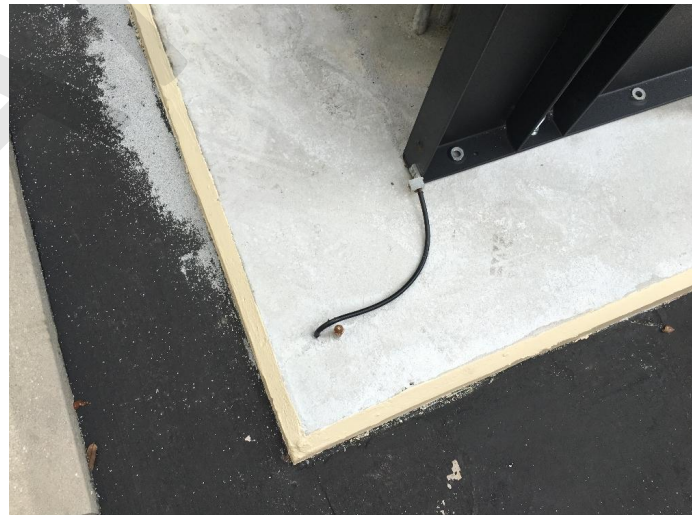
Added Date 06/26/2019

2019-06-19 Spill bucket make and model



Added Date 06/26/2019

2019-06-19 Electrical grounding present



Facility ID: 9817068

Added Date 06/26/2019

2019-06-19 Spill bucket make and model

Added Date 06/26/2019

2019-06-19 Tank photo



DRAFT



Department of Environmental Protection

2600 Blair Stone Road ♦ Tallahassee, Florida 32399-2400

DEP Form: 62-761.900(2)
Form Title: Storage Tank Facility Registration Form
Effective Date: January 2017
Incorporated in Rule 62-761.400, F.A.C.

MAY 15 2019

Storage Tank Facility Registration Form

Review Registration Instructions Before Completing this Form

Submit this completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376, Florida Statutes

EPC Waste Management

Please check all that apply: New Registration New Owner Existing Facility Info Update/Correction Existing Owner Info Update/Correction Existing Tank Info Update/Correction

A. FACILITY INFORMATION County: Hillsborough DEP Facility ID:
Facility Name: FMC Commerce Park, LLC
Facility Address: 17401 Commerce Park Blvd. City: Tampa Zip: 33649
Facility Contact: Gus Taylor Business Phone: 813-780-8774
Facility Type(s): Medical/Lab Financial Responsibility Mechanism (choose): Insurance Other
24 Hour Emergency Contact: Bob Gould-Facility Manager Emergency Phone: 813-618-0048

B. TANK OWNER INFORMATION: Identify individual(s) or Business(es) responsible for payment of Registration Fees at the facility location named above
Company/Individual Name: Florida Medical Clinic, LLC Ownership Effective Date:
Mail Address: 38135 Market Square STCM Account Number (if known):
City, State, Zip: Zephyrhills, Florida 33542
Contact Person: Gus Taylor
Telephone: 813-780-8774 Email Address: gtaylor@floridamedicalclinic.com

C. PROPERTY OWNER INFORMATION: Identify individual(s) or entity that if vested with ownership, dominion or legal or rightful title to the real property
Company/Individual Name: Florida Medical Clinic, LLC Ownership Effective Date: 9/2017
Mail Address: 38135 Market Square
City, State, Zip: Zephyrhills, Fl. 33542
Contact Person: Gus Taylor
Telephone: 813-780-8774 Email Address: gtaylor@floridamedicalclinic.com

D. TANK/VESSEL INFORMATION: Complete one row for each storage tank or compression vessel system located at this facility (see Registration Instructions for codes)

Tank ID	T or V	A or U	Capacity	Installation Date	Content Code	Status	Effective Date	Construction	Piping	Monitoring
1	T	A	595	3/28/19	G	U	3/28/19	CMPI	A2 I	QF 1
2										
3										
4										
5										
6										
7										
8										

Certified Contractor (performing UST installation or removal): Wallace Associates DBPR License No.:

Facility Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate and complete.

August Taylor Signature Date: 5/14/19
Augustus Taylor Printed Name Title: CAO

Submit this form to tankregistration@dep.state.fl.us

Sent to FOEP on 6/26/19

From [McGill, Andrea](#) on behalf of [tankregistration](#)
To [Richard Allen](#) [tankregistration](#)
Cc [ACCOUNTING_FLORIDAMEDICALCLINIC.COM](#) [BGOULD_FLORIDAMEDICALCLINIC.COM](#)
Subject RE: STCM-72979 FL MEDICAL CLINIC LLC / FAC ID 9817068 FL MEDICAL CLINIC COMMERCE PAR
Date Monday, May 13, 2019 4:50:02 PM
Attachments [Florida Medical Clinic Storage Tank Facility Registration Form.pdf](#)
Importance High

For your request please see the emailed in attachments further confirming the requested assigning of Storage Tank Account STC - F DIC CLIC C and FAC ID 10 to the newly registered F DIC CLIC CLIC RC Facility. To remit payment enter the link below following the Register Sign-In at online Database Portal Electronic Self-Service Application (ESS) instructions below. In an effort in achieving our Department's paperless goal please provide your account owner's (STC) email address or your accounts payable () or the contact to whom all future invoices are to be emailed.

If the current payment is not received by noon tomorrow online via the Database Portal the upcoming F 01 - 00 renewal fee will be added. If this occurs an additional fee will be due. If the Registration placard then being generated good thru June 000 then increase by noon tomorrow in the amount of 0 and the placard will expire June 01. If the remaining due due to the renewal invoicing process beginning at noon tomorrow.

RE: STCM-72979 FL MEDICAL CLINIC LLC / FAC ID 9817068 FL MEDICAL CLINIC COMMERCE PAR

Storage Tank / Contamination Tracking - Related Party

Name	FL MEDICAL CLINIC LLC		
Number	72979	FEIN	
Address	2150 VIA BELLA BLVD		
	ATTN: STORAGE TANK REGIS		
City/ST	LAND O' LAKES	FL	34639
Phone	(813)618-0048	Ext.	
Contact	BOB GOULD		
Email Address	ACCOUNTING@FLORIDAMEDICALCLINIC.COM; BGOULD@FLORIDA		
Registr Coordinator			
Last Updated on	11/19/2018	By	MADALA_M

Balance Due Overage Time Stamp

FAC ID *	Cty	Facility Name	Role	Begin Dt	End Dt	T	Stat
9815063	51	FL MEDICAL CLINIC LLC	ACCT OWN	05/05/2016		C	OPEN

Storage Tank/Contamination Tracking - Facility Detail

Facility ID	9815063	Facility Status	OPEN	Create Date	05/03/2016
County	51 PASCO	District	SWD	Name Update	11/19/2018
Name *	FL MEDICAL CLINIC LLC				
Address *	2352 BRUCE B DOWNS BLVD				
Address2					
City	WESLEY CHAPEL	FL	33544	Comments?(Y/N)	N
Facility Contact Name	BOB GOULD	Facility Contact Phone	813-618-0048	Ext	
Invoice Activity Date	05/13/2019	Contact Phone Verified By	MCGILL A	Phone #	
Current Placard Date	10/25/2018	Contact Phone Last Verified	05/03/2016	Changes Verified?	
24 HR Emergency Contact Name - Phone					

Facility Type *	<input checked="" type="checkbox"/> FUEL USER/NON-RETAIL	DEP Contract Owned *	<input checked="" type="checkbox"/> P
Financial Resp	INSURANCE	Coverage Period	07/29/2017 - 07/29/2018
Insurance Comp	COMMERCE & INDUSTRY	Effective	
Cleanup Status			

Owner Name	FL MEDICAL CLINIC LLC	Primary Role	ACCT OWN
Address	2150 VIA BELLA BLVD	Owner ID#	72979
Address2	ATTN: STORAGE TANK REGIS		
City/St/Zip	LAND O' LAKES, FL 34639	Begin Date	05/05/2016
Last Updated	11/19/2018	Bad Address?	N
Contact	BOB GOULD	Registr Coord	
Email Address	ACCOUNTING@FLORIDAMEDICALCLINIC.COM; BGOULD@FLOI		

STCM FACILITY

ACCESSING THE ESSA PORTAL

To access the ESSA Portal please use this link: <http://www.fideportal.com/go/submit-registration/>.

YOU WILL NOT BE MAILED A REGISTRATION PLACARD

Please allow two weeks after mailed payment for processing, then access the ESSA Portal link.

From this link, follow the Register/Sign-In, "Path B" instructions to generate the required Registration 'Placard'.

Please Note:

The Department of Environmental Protection is pleased to announce the arrival of its new Electronic Self Service Application Portal (ESSA). Our goal is to provide a paperless transaction route for you to easily: Pay invoices online, Print placards, Update facility information and much more. Please provide your account owner's (STCM) email address for your Accounts Payable (AP) or the contact to whom all future invoices are to be emailed, if different from the email address provided. Annually during the month of

May you will receive an email "Invoice Alert" via the ACCOUNTING@FLORIDAMEDICALCLINIC.COM; BGOULD@FLORIDAMEDICALCLINIC.COM email addresses. This alert will inform you to visit the DEP Business Portal to View, Print, Pay your Annual Registration Renewal. Shortly thereafter online payment submittal, you will then receive two emails. 1. Invoice Receipt followed by 2. Registration "Placard" attachment (open, print, display). **You will not be mailed an annual invoice or placard. The entire process is conducted online.** Even if you do not pay online, you will receive and emailed invoice alert to View, Print, Submit payment. After allowing 2-4 weeks for payment processing, you will need to then login to the business portal to print your Registration 'Placard(s)'. Please remember to update the listed email address, upon Accts Payable or 'account contact email' changes.

To access the website to print your placard or pay your invoice by check or credit card, please go to:

- <http://www.fideportal.com>

- Click on **Submit**
- Click on **Registration Notification**
- Click on **Storage Tank Registration**
- Enter: **e-mail address & password** for the e-mail you want your placard sent to. (You need to have already registered this e-mail account with DEP).

- If you have not already registered, please **click on Register** to proceed.

- Enter an **Application Friendly Name**. Suggestion: 12345 (This is a one-time use application friendly name).

- Click: **Save and go to next Step**

Choose **Path A** to pay invoice and immediately receive placard as an attachment in our email

After payment is completed, open the attachment and print your placard

or

Choose **Path B** if you have already paid and simply need to print the placard that will be sent to our email as an attachment

- Click: **Save and go to next Step**

- **Choose STCM Owner Number**: This will let you print off placard(s) for all facilities under this Owner Account Number.

Or

Choose Facility ID (Usually a 7-digit number like 8500000) (Sometimes a county code might be in front, for example 378500000 37 is the County Code for Leon County).

- Click: **Save and go to next Step**
- Enter: **Facility ID or STCM Owner Number**
- Click: **Search and Continue**

- Select: **Placard ou need printed**
- Click: **Continue**

CO RT TOS YOU ARE ALMOST DONE Your placard will be sent to your email shortly, as an attachment. Open the attachment and print your placard.

Regards,

Andrea W. McGill

FDEP - Waste Registration

2600 Blair Stone Road, MS 4525

Tallahassee, FL 32399-2400

PH: (850)245-8840 ~ Fax: (850)412-0405

Email: Andrea.McGill@dep.state.fl.us

Storage Tank Registration Email: Tankregistration@dep.state.fl.us

DEP Business Portal: <http://www.fldepportal.com/go/submit-registration/>

FIRST TIME USERS – REGISTER & RECEIVE EMAIL ADDRESS CONFIRMATION; OTHERWISE SIGN-IN – SELECT “SUBMIT”

SELECT “REGISTRATION/NOTIFICATION” – SELECT “STORAGE TANK REGISTRATION” – ENTER A “APPLICATION FRIENDLY NAME” – SELECT “PATH”

From: Richard Allen <Richard@jnelectric.net>

Sent: Thursday, April 25, 2019 2:16 PM

To: tankregistration <tankregistration@dep.state.fl.us>

Subject: RE: Storage Tank Facility Registration Form - FMC

Andrea , sorry thought I had it all on there. It's filled in now.

Thanks, Richard

Richard Allen

CHIEF PROJECT MANAGER / ESTIMATOR

COMMERCIAL DIVISION

Fish On !



JN ELECTRIC of Tampa Bay

Wired for Quality... Powered to Perform

2441 Old Cypress Creek Rd.

Land O' Lakes, FL 34639

Cell-813-598-3069

O-813.948.1608

F-813.948.1805

richard@jnelectric.net

From: McGill, Andrea <Andrea.McGill@dep.state.fl.us> **On Behalf Of** tankregistration

Sent: Thursday, April 25, 2019 8:16 AM

To: Richard Allen <Richard@jnelectric.net>

Cc: tankregistration <tankregistration@dep.state.fl.us>

Subject: RE: Storage Tank Facility Registration Form - FMC

To properly register this facility please include the approximate install date of the 4000 gallon tank to be registered. Resubmit for data entry.

Andrea McGill
Florida Department of Environmental Protection
Division of Waste Management

FL-DEP-LOGO



Waste Registration, MS 4525
2600 Blairstone Rd, Tallahassee, FL 32399-2400
Andrea.McGill@dep.state.fl.us
Phone: 850.245.8840 / Internal: 58840

From: Richard Allen <Richard@jnelectric.net>
Sent: Wednesday, April 24, 2019 4:58 PM
To: tankregistration <tankregistration@dep.state.fl.us>
Subject: Storage Tank Facility Registration Form - FMC

Please see attached registration for above ground Kohlor Model 150REO F Diesel Generator with sub base fuel tank.

I'm not sure what if anything you needed with the form so I attached the approved submittals for the generator as well.

I have never register a tank for a generator before I guess this one is 8 gallon over the minimum to not register.

I know now this was suppose to be done 45 days ahead. I also know now that I have to get the generator tank inspected by Hillsborough County Environmental inspector.

I'm just not sure how long I have to wait to request that inspection after sending this to you ? Any advise you could give me on that matter would help.

We are suppose to be complete with this project and turn it over to be occupied by end of May. I know this isn't your problem and I waited to long to do this paperwork.

I'm just asking, if it can be done sooner, I would greatly appreciate it.

Thank you for your time.

Richard

Richard Allen
CHIEF PROJECT MANAGER / ESTIMATOR
COMMERCIAL DIVISION
Fish On !



JN ELECTRIC of Tampa Bay

Wired for Quality... Powered to Perform

2441 Old Cypress Creek Rd.
Land O' Lakes, FL. 34639
Cell-813-598-3069
O-813.948.1608
F-813.948.1805
richard@jnelectric.net



Site 105

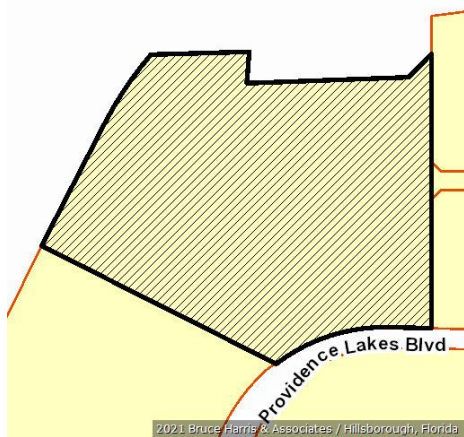
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 072304-0501



Owner Information

Owner Name	COSTCO WHOLESAL CORPORATION
Mailing Address	PROPERTY TAX DEPT 358 999 LAKE DR STE 200 ISSAQUAH, WA 98027-8982
Site Address	10921 CAUSEWAY BLVD, BRANDON
PIN	U-32-29-20-663-000002-69951.0
Folio	072304-0501
Prior PIN	U-32-29-20-ZZZ-000002-69950.0
Prior Folio	072304-0500
Tax District	U - UNINCORPORATED
Property Use	1320 WAREHSE DEPT STORE
Plat Book/Page	6/3
Neighborhood	223001.00 Sterling Ranch Area
Subdivision	663 SOUTH TAMPA SUBDIVISION

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$11,399,619	\$10,225,515	\$0	\$10,225,515
Public Schools	\$11,399,619	\$11,399,619	\$0	\$11,399,619
Municipal	\$11,399,619	\$10,225,515	\$0	\$10,225,515
Other Districts	\$11,399,619	\$10,225,515	\$0	\$10,225,515

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
10276 / 0021	2000198621	07	2000	WD	Qualified	Vacant	\$5,953,300

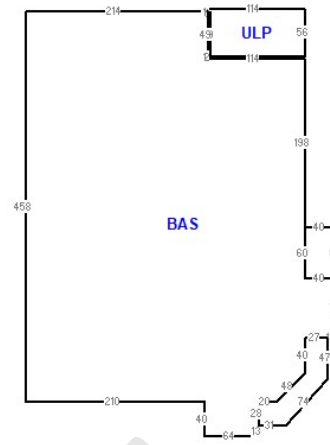
Building Information

Building 1

Type	33 WAREHSE DISC STORE
Year Built	2000

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	22.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
ULP	6,231		\$37,304
BAS	148,682	148,682	\$5,931,966
CAN	3,469		\$41,533
FGR	2,400		\$57,452
CLP	153		\$1,835
Totals	160,935	148,682	\$6,070,090

Extra Features

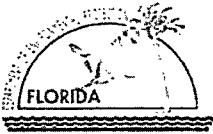
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	1	2001	0	0	9,632.00	\$33,687
0540	CANOPY GAS PUMP	0	2011	88	32	2,816.00	\$93,446
0870	GUARD HOUSE	0	2011	12	6	72.00	\$9,792
0020	ASPHALT PAVING	1	2001	0	0	284,206.00	\$495,371

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COH0	Comm Class 8	PD	0.0	0.0	SF SQUARE FEET	630,332.00	\$4,697,234

Legal Description

SOUTH TAMPA SUBDIVISION PART OF TRACTS 2 3 6 AND 7 IN NW 1/4 DESC AS COMM AT NE COR OF NW 1/4 THN S 01 DEG 17 MIN 56 SEC W 40 FT TO A PT ON SLY R/W OF CAUSEWAY BLVD THN S 89 DEG 57 MIN 08 SEC W 543.68 FT THN S 82 DEG 38 MIN 00 SEC W 297.50 FT THN S 00 DEG 03 MIN 56 SEC W 49.54 FT TO POB THN S 00 DEG 00 MIN 00 SEC W 730.71 FT THN N 88 DEG 30 MIN 28 SEC W 111.25 FT THN ALG ARC OF CURVE TO LEFT HAVING A RADIUS OF 477 FT CHD BRG S 72 DEG 04 MIN 57 SEC W 323.18 FT THN N 63 DEG 15 MIN 25 SEC W 698.05 FT THN N 27 DEG 13 MIN 36 SEC E 366.91 FT TO A PT ON A CURVE TO RIGHT HAVING A RADIUS OF 951.92 CHD BRG N 33 DEG 52 MIN 11 SEC E 220.25 FT THN N 88 DEG 20 MIN 50 SEC E 261.24 FT THN S 01 DEG 30 MIN 29 SEC W 80.12 FT THN N 88 DEG 20 MIN 50 SEC E 426.13 FT THN N 44 DEG 12 MIN 23 SEC E 87.01 FT TO POB



Florida Department of Environmental Protection
Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

Storage Tank Facility Registration Form

DEP Form # 62-761-989(2)
Form Title: Storage Tank Registration Form
Effective Date: July 13, 1999
DEP # 62-761-989(2)
DATA ENTERED

Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376.303, Florida Statutes

Please review *Registration Instructions* before completing the form.

AB05 2010

Please check all that apply	<input type="checkbox"/> New Registration	<input type="checkbox"/> New Owner	<input checked="" type="checkbox"/> New Tanks
	<input type="checkbox"/> Facility Info Update/Correction	<input type="checkbox"/> Owner Info Update/Correction	<input checked="" type="checkbox"/> Tank Info Update/Correction

A. FACILITY INFORMATION

County: Hillsborough DEP Facility ID: 9812311

Facility Name: Costco Wholesale Retail Fueling Facility
 Facility Address: 10921 Causeway Boulevard City: Brandon Zip: 33978
 Facility Contact: Dennis Bock Business Phone (425) 313-8100
 Facility Type(s): Retail Fuel Station NAICS Code: 447190 Financial Responsibility: Insurance carrier

24 Hour Emergency Contact: _____ Emergency Phone: (____) _____

B. RESPONSIBLE PERSON INFORMATION - Identify individual(s) or business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. Provide additional information in an attachment if necessary.

Name	Costco Wholesale	Facility - Responsible Person Relation Type:	Effective Date
Mail address:	999 Lake Drive	<input checked="" type="checkbox"/> Facility Account Owner (pays fees)	
City, ST, Zip	Issaquah, WA 98027	Facility Account Owner information must be provided when the facility contains active or out of service storage tanks on site.	
Contact:	Dennis Bock	STCM Account Number (if known)	
Telephone:	(425) 313-8100		
Identify other appropriate facility relationships for this party: <input checked="" type="checkbox"/> Facility Owner/Operator <input type="checkbox"/> Property Owner <input type="checkbox"/> Storage Tank Owner			

Name	Other owner, relationship type(s)	Effective Date
Mail address:	<input type="checkbox"/> Facility Owner/Operator	
City, ST, Zip:	<input type="checkbox"/> Property Owner	
Contact:	<input type="checkbox"/> Storage Tank Owner	
Telephone:	<input type="checkbox"/> Other:	

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Tank ID	T/V	A/U	Capacity	Installed	Content	Status/Effective Date	Construction	Piping	Monitoring
4	T	A	1,200	10/10	W	U 10/10	C, M, N, P, R	B, A, T	I, F, R

Certified Contractor (performing tank installation or removal): _____ DBPR License No.: _____

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.

Tim Hurlockey,
Director of Gasoline Operations

Signature

10/26/10

Date



DEP 62-761-900(2)

Northwest District 160 Governmental Center Blvd Pensacola FL 32501 850-535-8360	Northeast District 7825 Baymeadows Way Suite B109 Jacksonville FL 32256 904-448-4300	Central District 3319 Maguire Blvd. Suite 232 Orlando FL 32803 407-894-7559	Southwest District 3504 Coconut Palm Drive Tampa FL 33619 813-744-6100	Southeast District 400 North Congress Ave W Palm Beach FL 33416 561-631-6600	South District 2295 Victoria Ave Suite 364 Fort Myers FL 33901 941-332-6975	Marathon Branch Office 2796 Overseas Hwy. Suite 221 Marathon FL 33050 305-239-2310
--	--	---	---	---	---	--

Bolen, Erin

From: McDaniel, Mike [McDanielM@epchc.org]
Sent: Friday, November 05, 2010 9:04 AM
To: tankregistration
Subject: New Tank Registration / Costco 299812311
Attachments: Costco UST STRF- 9812311-11-05-2010- AST.pdf

Categories: Erin's Email To-Do Response Category

Good morning,

Please register this new tank.

Thank you,

Michael L. McDaniel
Environmental Supervisor
Environmental Protection Commission of Hillsborough County
STC, Waste Management Division
3629 Queen Palm Drive
Tampa, FL 33619
O:813-627-2600 ext. 1231
F: 813-627-2640

EPC - An agency with values of environmental stewardship, integrity, honesty, and a culture of fairness and cooperation.



Florida Department of Environmental Protection
Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DEP Form 5, 6-2-761 500(2)
DATA ENTERED
 Filing Date: _____
 Effective Date: Aug 31 2010
 DEP Application No. _____

Storage Tank Facility Registration Form

Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376, Florida Statutes.

Please review *Registration Instructions* before completing the form.

Please check all that apply	<input checked="" type="checkbox"/> New Registration	<input type="checkbox"/> New Owner	<input checked="" type="checkbox"/> New Tanks
	<input type="checkbox"/> Facility Info Update/Correction	<input type="checkbox"/> Owner Info Update/Correction	<input type="checkbox"/> Tank Info Update/Correction

A. FACILITY INFORMATION County: Hillabrough DEP Facility ID: Pending

Facility Name: Costco Wholesale Retail Fueling Facility 9812311
 Facility Address: 10921 Causeway Boulevard City: Brandon Zip: 33578
 Facility Contact: Dennis Bock Business Phone: (425) 313-8100
 Facility Type(s): Retail station NAICS Code: 447190 Financial Responsibility: Insurance carrier

24 Hour Emergency Contact: _____ Emergency Phone: (____) _____

B. RESPONSIBLE PERSON INFORMATION - Identify individual(s) or Business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. Provide additional information in an attachment if necessary.

Name: <u>Costco Wholesale</u>	Facility - Responsible Person Relation Type:	Effective Date
Mail address: <u>999 Lake Drive</u>	<input checked="" type="checkbox"/> Facility Account Owner (pays fees)	
City, ST, Zip: <u>Issaquah, WA 98027</u>	Facility Account Owner information must be provided when the facility contains active or out of service storage tanks on site.	
Contact: <u>Dennis Bock</u>	STCM Account Number (if known)	<u>48784</u>
Telephone: <u>(425) 313-8100</u>	Identify other appropriate facility relationships for this party: <input checked="" type="checkbox"/> Facility Owner/Operator <input checked="" type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Storage Tank Owner	

Name:	Other owner, relationship type(s)	Effective Date
Mail address:	<input type="checkbox"/> Facility Owner/Operator	
City, ST, Zip:	<input type="checkbox"/> Property Owner	
Contact:	<input type="checkbox"/> Storage Tank Owner	
Telephone:	<input type="checkbox"/> Other:	

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Tank ID	T/V	A/U	Capacity	Installed	Content	Status/Effective Date	Construction	Piping	Monitoring
1	T	V	30,000	8/27/10	B	U 8/27/10	EIMNO	CFJK	F, G, K134
2	T	V	30,000	8/27/10	B	U 8/27/10	EIMNO	CFJK	F, G, K134
3	T	V	30,000	8/27/10	B	U 8/27/10	EIMNO	CFJK	F, G, K134

Certified Contractor (performing tank installation or removal): _____ DBPR License No.: _____

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.

Dennis Bock, Environmental Compliance Manager Dennis Bock July 2, 2010
 Printed Name & Title Signature Date

DEP 62-761 500(2);

Northwest District
160 Governmental Center Blvd
Pensacola, FL 32501
850-595-8360

Northeast District
7825 Baymeadows Way
Suite B200
Jacksonville, FL 32256
904-448-4300

Central District
3319 Maguire Blvd
Suite 200
Tallahassee, FL 32310
904-661-5000

Southwest District
3804 Coconut Palm Drive
Tampa, FL 33819
813-744-6100

Southeast District
400 North Congress Ave.,
W Palm Beach, FL 33416
561-681-6600

South District
2295 Victoria Ave
Suite 364
Fort Myers, FL 33901
941-332-6975

Marathon Branch Office
2796 Overseas Hwy.
Suite 221
Marathon, FL 33050
305-289-2310

JUL 06 2010

emailed to DEP 8/27/10
Am

EPC Waste Mgmt. Divisio

Bolen, Erin

From: Murley, Andrea [Murley@epchc.org]
Sent: Friday, August 27, 2010 10:31 AM
To: tankregistration
Subject: New Facility
Attachments: 2010_08_27_10_27_31.pdf

Categories: Erin's Email To-Do Response Category

Please see attached STRF for a new Costco facility. Thank you.

Andrea Murley, ESIII
Environmental Protection Commission of Hillsborough County
Waste Division - Storage Tank Compliance
3629 Queen Palm Drive
Tampa, FL 33619
Ph. # (813) 627-2600 Ext. 1228
Fax # (813) 627-2640
email: Murley@epchc.org

EPC: An agency with values of environmental stewardship, integrity, honesty, and a culture of fairness and cooperation

DRAFT



Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-
 Division of Waste Management
 Bureau of Petroleum Storage Systems

Storage Tank Facility Installation Site Inspection Report

Facility Information:

Facility ID: 9812311 County: HILLSBOROUGH Inspection Date: 08/23/2012
 Facility Type: A -Retail Station
 Facility Name: COSTCO WOLESale RETAIL FUELING FACILITY # Of Inspected ASTs: 1
 10921 CAUSEWAY BLVD USTs: 3
 BRANDON, FL 33578 Mineral Acid Tanks: 0
 Latitude: 27° 55' 19.3475"
 Longitude: 82° 19' 52.3711"
 LL Method: DPHO

Inspection Result:

Result : In Compliance
 Description: Facility is In Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
 Insurance Carrier: ZURICH-AMERICAN
 Effective Date: 07/01/2012 Expiration Date: 07/01/2013

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Sahand Nasseri

INSPECTOR NAME

INSPECTOR SIGNATURE

Emailed to Dennis Bock

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

Facility ID: 9812311

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Inline Leak Detector Test	10/05/2010	Passed	10/14/2010	10/05/2011	
Tank Tightness Test	10/05/2010	Passed	10/14/2010	10/05/2010	Initial Tank Tightness tests
Line Tightness Test	10/05/2010	Passed	10/14/2010	10/05/2010	
Annual Operability Test	10/05/2010	Passed	10/08/2010	10/05/2011	
Annual Operability Test	08/31/2012	Passed	09/07/2012	08/31/2013	AST Transition Sump Sensor

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
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Two Years	Certificate of Financial Responsibility	07/01/2012	07/01/2013	
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Inspection Comments

08/23/2012

08/23/2012, MH/TII Met on site with Kirk of Petroleum & Construction Services for the installation of underground piping.

-Installation of 2" primary fiberglass piping. Existing aboveground fuel additive tank (UltraZol 8219) steel piping is transitioning to double wall underground fiberglass Ameron piping (DEP EQ #378). The underground piping penetrates the multi-port fill sumps and connects to the fill risers on each UST.

-Primary gauge reading: 60 PSI

-All couplings soaped, no bubbles or leakage noted. Pressure remained static. Some air released and gauge functioned properly.

-Next inspection: Hydrostatic test of all (3) STP sumps, (1) transition sump and secondary piping air/soap test.

08/31/2012

08/24/2012, MH/TIA Met on site with Kirk of Petroleum & Construction Services for an additional installation inspection.

-Installation of 3" secondary Ameron fiberglass piping (DEP EQ #378).

-Secondary gauge reading: 5.5 PSI

-All clamshells soaped, no bubbles or leakage noted. Pressure remained static. Some air released and gauge functioned properly.

-(3) Existing STP sumps and (1) Bravo B-500 transition sump hydrostatically tested. Water level marked in all components, no signs of leakage from any penetrations.

Next inspection: Final installation inspection.

Inspection Comments

08/31/2012

8/31/2012 - SN - Met on site with Kirk with Petroleum and Construction Services for the final install inspection.

Release Detection

- Electronic monitoring of tank interstice and transition sump
- Veeder Root (EQ #197) panel indicating "All Functions Normal". Alarm history print out indicates operability test of sensors on 8/31/12.
- FE Petro in-line leak detector, EQ #335

Tanks

(1) 1,200 gallon aboveground additive tank which is now connected to the underground storage tanks with underground piping (Ameron double-walled fiberglass piping (EQ #378)).

Bravo transition sump checked, dry.

Sensor in transition sump tested, appeared functional. Veeder Root print out indicates test of the sensor, all passed.

Morrison Bros and Jomar manual valves and a solenoid valve installed inside the tank fill to control additive dispensing.

No leaks were noted.

Records:

Current registration placard on site: (4) Tanks

Insurance: Zurich-American; 7/1/2012-7/1/2013

Certificate of Financial Responsibility Form on site and current

Inspection Photos

Added Date 08/23/2012

2012-08-23 Primary piping pressure gauge.



Added Date 08/23/2012

2012-08-23 Inside STP sump.



Facility ID: 9812311

Added Date 08/23/2012

2012-08-23 Piping run, view west to east.



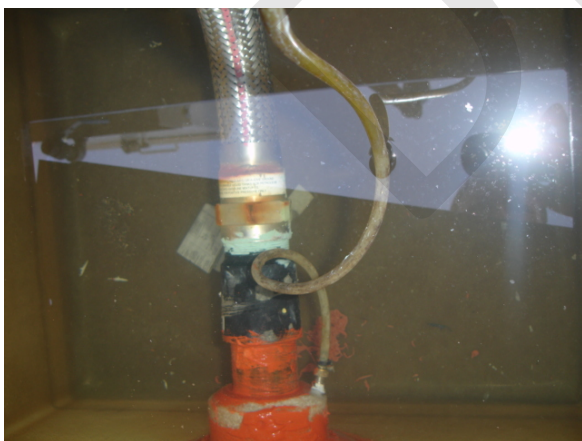
Added Date 08/23/2012

2012-08-23 Piping run, view north to south.



Added Date 08/31/2012

2012-08-24 Hydrostatic testing of (1) transition sump.



Added Date 08/23/2012

2012-08-21 Transition sump.



Added Date 08/31/2012

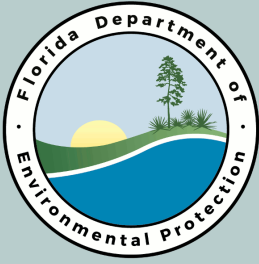
2012-08-24 Hydrostatic testing of (3) existing sumps.



Added Date 09/07/2012

2012-8-31 - Sensor in New AST Transition Sump





Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9812311 County: HILLSBOROUGH Inspection Date: 10/05/2015
Facility Type: A -Retail Station
Facility Name: COSTCO WOLESale RETAIL FUELING FACILITY # Of Inspected ASTs: 1
10921 CAUSEWAY BLVD USTs: 3
BRANDON, FL 33578 Mineral Acid Tanks: 0
Latitude: 27° 55' 19.3475"
Longitude: 82° 19' 52.3711"
LL Method: DPHO

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: AIG SPECIALTY INSURANCE COMPANY
Effective Date: 07/01/2015 Expiration Date: 07/01/2016

Findings:

Class A Owner Training Certificates are present.
Class B Maintenance Training Certificates are present.
Class C Operator Training Certificates are present.

Signatures:

PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9812311

Amanda K Mayor
INSPECTOR NAME



INSPECTOR SIGNATURE

Jordan Cass
REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit:
http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Inline Leak Detector Test	08/21/2014	Passed	10/09/2015	08/21/2015	Performed by Tanknology.
Annual Inline Leak Detector Test	08/13/2015	Passed	10/09/2015	08/13/2016	Performed by Tanknology.
Annual Operability Test	08/13/2015	Passed	10/09/2015	08/13/2016	Performed by Tanknology.
Annual Operability Test	08/21/2014	Passed	10/09/2015	08/21/2015	Performed by Tanknology.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/01/2014	07/01/2016	
Two Years	Electronic Release Detection Equip. Monthly Checks	04/02/2014	10/03/2015	For AST, (3) UST's are inspected daily.
Two Years	Monthly Maint. Visual Examinations and Results	04/02/2014	10/03/2015	For AST, (3) UST's are inspected daily.
Life Time	Written Release Detection Response Level Info	10/05/2015	10/05/2015	

New Violations

Type: Violation
Significance: Minor
Rule: 62-761.700(1)(a)1.d., 62-761.700(1)(a)1.c., 62-761.700(1)(a)1.b., 62-761.700(1)(a)1.a.
Violation Text: Not repaired component which has or could cause a discharge or release.
Explanation: Piping in tank #2 regular unleaded sump has excessive corrosion.
Corrective Action: Make necessary repairs to remove and prevent additional corrosion. Contact EPC for a re-inspection.

Violation Photos

Added Date 10/09/2015

Added Date 10/09/2015

2015/10/05 Rusted piping

2015/10/05 Rusted piping



Inspection Comments

10/09/2015

10/05/2015 AKM/TCI Met on site with Jordan Cass of COSTCO for the compliance inspection.

Facility was upgraded 8/23/2012 to connect the existing 1,200 gallon aboveground additive tank to the underground storage tank systems with underground double walled fiberglass piping.

Release Detection:

-Visual inspections of spill buckets and dispenser liners for UST.

-Visual inspections of tank system and components, including transition sump for the AST.

=Tanks= Electronic monitoring of tank interstitial spaces.

=Piping= Electronic monitoring of STP sumps, dispenser liners and multi-port containment sumps (including vapor recovery and spill buckets). Electronic in line leak detectors.

Veeder Root TLS-350 (DEP EQ-197) panel monitors (4) interstices, (3) multi-port sumps, (4) sumps and (6) dispenser liners.

Display currently indicates =All Functions Normal=.

Audible/visual alarms checked-appear functional.

Release detection is also remotely monitored by FMS company.

Alarm history report printed and on file.

Underground tanks: (3) 30,000 gallon Xerxes brine filled double walled fiberglass USTs (DEP EQ #200) and AO Smith fiberglass double walled Red Thread IIA (DEP EQ #252) piping. Tanks are equipped with:

-(3) Vent lines with caps.

-(3) STP sumps checked-appear dry and intact.

Electronic in line leak detectors.

Secondary piping test ports are open.

Sensors correctly positioned in sumps.

-(3) Spill buckets inspected-appeared dry and intact (located within multi-port sumps).

-Fills appropriately marked.

-Dual point vapor recovery

-Overfill protection -ball floats according to installation inspection.

-High level alarm present near fills. Test button pressed, audible/visual alarm functional.

Piping of tank #2 regular unleaded STP sump has excessive corrosion. Make necessary repairs to remove and prevent additional corrosion.

No leakage noted.

Inspection Comments

Dispensers:

- (6) Dispensers checked, liners dry.
- Shear valves are properly anchored.
- Hoses/nozzles appear ok, no obvious signs of leakage.
- Sensors correctly positioned.

Aboveground tank: (1) 1,200 gallon Containment Solutions double walled AST (EQ# 155) with associated aboveground schedule 40 black iron steel piping which transitions to underground double walled fiberglass piping. Tank is located on a concrete pad and is equipped with:

- Product label present.
 - Remote spill bucket inspected - appears dry and intact, drain valve is closed.
 - Overfill Protection: overfill prevention valve present according to installation plans and a fuel level sight gauge present.
 - Transition sump inspected - appears dry and intact.
 - Secondary piping is open within sump
 - Liquid sensor positioned correctly.
 - Fill-Rite additive dispenser pump mounted on the side of the tank.
 - Anti-siphon valve and a manual isolation valve present on piping at the top of the tank.
 - Proper exterior coating on tank and piping.
 - Tank is electrically grounded.
- No leakage noted.

Records:

- Current registration placard present: (4) tanks.
- Certification of Financial Responsibility form on file.
- Release Detection Response Level Statement present, complete and accurate.
- Monthly visual inspection logs of the UST system reviewed and include:
Veeder Root system panel checks (sensor status printouts).
Audible/visual alarm checks.
Release detection is also remotely monitored by FMS company.
No problems noted. Inspections performed within 35 days.
- Monthly visual inspections of the AST systems were reviewed and include:
Visual inspections of tank system and components.
No problems noted. Inspections performed within 35 days.
- 5 year breach of integrity testing not required, tank interstices are hydrostatically monitored.
- Monthly 0.2gph electronic line leak detector test results are printed and on file.

COMMISSION

Lesley "Les" Miller, Jr., Chair
Victor D. Crist, Vice-Chair

Ken Hagan
Al Higginbotham
Pat Kemp
Sandra L. Murman
Stacy White



EXECUTIVE DIRECTOR

Janet L. Dougherty

DIVISION DIRECTORS

Richard Tschantz, Esq.
Andy Schipfer, P.E.
Hooshang Boostani, P.E.
Jerry Campbell, P.E.
Sam Elrabi, P.E.

10/03/2017

Chris Roane
Costco Wholesale Corp
PO Box 35005
Seattle, WA 98124

RE: Return to Compliance
Costco Wholesale Retail Fueling Facility
10921 Causeway Blvd
Brandon, FL 33578
DEP Facility ID#: 29/9812311
Hillsborough County – Storage Tanks

Mr. Roane:

A storage tanks inspection and file review were conducted at the above noted facility on or about 10/03/2017, by the Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection. During the inspection and file review, the facility was determined to have returned to compliance with the Department's Storage Tank rules and regulations. A copy of the inspection report is attached for your records.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Austin Alexander at 813-627-2600, ext. 1217 and/or alexandera@epchc.org.

Sincerely,

Austin Alexander
Environmental Scientist I



Facility Information:

Facility ID: 9812311 County: HILLSBOROUGH Inspection Date: 07/24/2019
 Facility Type: A - Retail Station
 Facility Name: COSTCO GASOLINE (LOC 358) # of Inspected ASTs: 1
 10921 CAUSEWAY BLVD USTs: 3
 RIVERVIEW, FL 33578 Mineral Acid Tanks: 0
 Latitude: 27° 55' 19.3475"
 Longitude: 82° 19' 52.3711"
 LL Method: DPHO

Inspection Result:

Result: In Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Kelsey A Jones

E-mailed to Dennis Bock on 07/31/2019

Inspector Name

Representative Name

Kelsey Jones

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

Costco Wholesale Corp.

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit:
<https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: STEADFAST INSURANCE COMPANY

Effective Date: 07/01/2018

Expiration Date: 07/01/2021

Findings:

Class A Owner Training Certificates are present.
 Class B Maintenance Training Certificates are present.
 Class C Operator Training Certificates are present.

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Inline Leak Detector Test	07/15/2019	Passed	07/31/2019	07/15/2020	Performed by Tanknology
Breach of Integrity Test	01/14/2019	Passed	07/31/2019	01/14/2020	Performed by Tanknology - s/w spill bucket hydrostatic tests
Breach of Integrity Test	07/15/2019	Passed	07/31/2019	07/15/2022	Performed by Tanknology - STP sumps and dispenser liners hydrostatic tests
Breach of Integrity Test	07/15/2019	Passed	07/31/2019	07/15/2020	Performed by Tanknology - s/w spill bucket vacuum tests
Annual Inline Leak Detector Test	07/27/2017	Passed	09/13/2017	07/27/2018	Performed by Tanknology including AST line leak detector
Annual Operability Test	07/27/2017	Passed	09/13/2017	07/27/2018	Performed by Tanknology
Breach of Integrity Test	08/07/2018	Passed	07/31/2019	08/07/2021	Performed by Jones Covey - STP sump and dispenser liner hydrostatic tests
Annual Operability Test	07/15/2019	Passed	07/31/2019	07/15/2020	Performed by Tanknology - release detection, overflow protection
Annual Inline Leak Detector Test	07/24/2018	Passed	07/31/2019	07/24/2019	Performed by Jones Covey
Breach of Integrity Test	08/07/2018	Failed	07/31/2019	08/07/2019	Performed by Jones Covey - s/w spill bucket hydrostatic tests
Annual Operability Test	07/24/2018	Passed	07/31/2019	07/24/2019	Performed by Jones Covey - release

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
					detection, overfill protection

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	01/02/2017	07/01/2019	
Two Years	Electronic Release Detection Equip. Monthly Checks	01/02/2017	07/01/2019	
Two Years	Certificate of Financial Responsibility	07/01/2018	07/01/2019	
Two Years	Certificate of Financial Responsibility	07/01/2019	07/24/2019	

Areas of Concern

Type: Area of Concern

Rule: 62-762.501(2)(e), 62-762.501(2)(e)1., 62-762.501(2)(e)2., 62-762.501(2)(e)2.a., 62-762.501(2)(e)2.b., 62-762.501(2)(e)2.c., 62-762.501(2)(e)2.d., 62-762.501(2)(e)3.

Violation Text: Failure to provide approved overfill protection for shop fabricated tank systems.

Explanation: Krueger fuel level sight gauge on aboveground tank appears to be slightly warped.

Corrective Action: Monitor and repair/replace component as necessary.

Area of Concern Photos

Facility ID: 9812311

Added Date 07/31/2019

2019-07-24 Slightly Warped Krueger



Inspection Comments

07/24/2019

07/24/2019 KJ/TCI Met onsite with Chris Roane of Costco for the routine storage tank compliance inspection.

ABOVEGROUND TANK:

Release Detection:

- Visual inspection of tank system and components, including (1) piping transition sump.
- Electronic monitoring of tank interstitial space using a Veeder Root TLS350R alarm panel.
- Panel currently reads: "All Functions Normal".
- Audible/visual alarm test checked - appeared to be operational.
- Alarm history report printed, and on file.
- Mechanical line leak detector with annual 3gph testing.

Tank: (1) 1,200 gallon double-walled Containment Solutions AST with aboveground single-walled coated steel piping that transitions to underground double-walled Ameron Dualoy fiberglass piping at the piping transition sump. Tank is located on a concrete pad, and equipped with:

- Product label: Additive Tank.
- Normal and emergency venting.
- Remote spill bucket: appeared to be dry and intact. Drain valve appeared to be in the closed position.
- Overfill protection: Krueger fuel level sight gauge - appeared to be slightly warped. Monitor and repair/replace device as needed.
- Supply line is equipped with a manual isolation valve upstream and adjacent to the solenoid valve.
- Aboveground single-walled coated steel piping inspected - appeared to be in good condition.
- (1) piping transition sump inspected - appeared to be dry and intact.
- Sensor appeared to be positioned correctly within the sump.
- Secondary boot appeared to be open to sump.

Facility ID: 9812311

- Top-mounted STP head, inspected - appeared to be in good condition.
 - Mechanical line leak detector present.
 - Top-mounted Tuthill dispenser hose appeared to be in good condition.
 - Tank exterior appeared to be in good condition.
 - Electrical grounding present.
- No obvious signs of leakage noted.

UNDERGROUND TANKS:

Release Detection:

- Visual inspection of spill containment buckets and dispenser liners.
- Electronic monitoring of tank interstitial spaces, multi-port sumps, and STP sumps using electronic sensors that alarm to a Veeder Root TLS350R alarm panel.
- Panel currently reads: "All Functions Normal".
- Audible/visual alarm test checked: appeared to be operational.
- Alarm history report printed, and on file.
- Electronic line leak detectors with annual 3gph testing.

Tanks: (3) 30,000 gallon double-walled brine-filled Xerxes fiberglass USTs with associated Smith Red Thread IIA double-walled underground fiberglass piping. Tanks are equipped with:

- (2) vents present with caps.
 - (3) STP sumps inspected - appeared to be dry and intact.
 - STP heads appeared to be in good condition.
 - Electronic line leak detectors present.
 - Sensors appeared to be positioned correctly within sumps.
 - Secondary piping appeared to be open to sumps.
 - (3) multi-port sumps inspected - appeared to be dry and intact.
 - Sensors appeared to be positioned correctly within sumps.
 - (3) single-walled spill containment buckets within the multi-port sumps inspected - appeared to be dry and intact.
 - Fill lids appeared to be properly marked.
 - Overfill protection: flow shut-off valves present in fills.
 - Dual point vapor recovery present.
- No obvious signs of leakage noted.

Dispensers:

- (6) dispensers/liners inspected - liners #1/2, 5/6, 11/12 appeared to have <1" water present at corners of liner. All other liners appeared to be dry and intact.
 - Shear valves appeared to be anchored.
 - Hoses/nozzles appeared to be in good condition.
- No obvious signs of leakage noted.

Records:

- Current registration placard posted onsite: (4) tanks.
- Monthly monitoring logs reviewed and include:
 - =Visual inspection of tank system and components (AST).
 - =Visual inspection of spill buckets, dispenser liners, multi-port sumps (in addition to electronic monitoring), and STP sumps (in addition to electronic monitoring) (USTs).
 - =Audible/visual alarm test checks (all tanks).
 - =Alarm panel status checks (all tanks).
 - =In the event of an alarm, facility will note in logs.
- Monthly inspection logs exceeded 35 days between from 06/01/17-07/11/17. Reminded operator that monthly logs must be completed each calendar month, not to exceed 35 days between.

Facility ID: 9812311

-Problems noted in logs include: damaged hose on dispenser #7/8.

Inspection results reviewed onsite with operator Chris Roane of Costco.

Inspection Photos

Added Date 07/31/2019

2019-07-24 Site Photo



Added Date 07/31/2019

2019-07-24 Dispenser Canopy



Added Date 07/31/2019

2019-07-24 AST Photo



Site 106

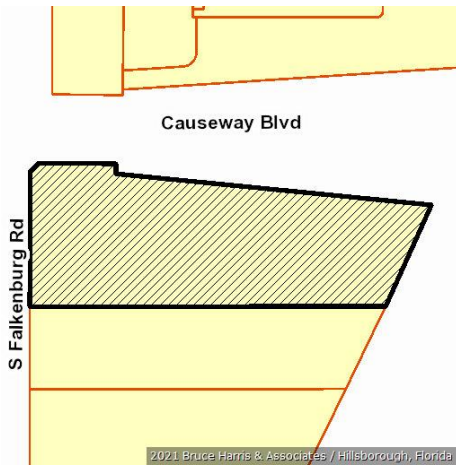
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 072303-0252



Owner Information

Owner Name	FIRST PARK OWNER LP
Mailing Address	102 WOODMONT BLVD STE 100 NASHVILLE, TN 37205-2216
Site Address	2600 S FALKENBURG RD, RIVERVIEW
PIN	U-31-29-20-704-000000-00001.0
Folio	072303-0252
Prior PIN	U-31-29-20-686-000000-00001.0
Prior Folio	072303-0222
Tax District	U - UNINCORPORATED
Property Use	4850 FLEX SERV A
Plat Book/Page	96/38
Neighborhood	222006.00 Clair-Mel Area
Subdivision	704 FIRSTPARK AT BRANDON REPLAT

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$6,952,700	\$6,952,700	\$0	\$6,952,700
Public Schools	\$6,952,700	\$6,952,700	\$0	\$6,952,700
Municipal	\$6,952,700	\$6,952,700	\$0	\$6,952,700
Other Districts	\$6,952,700	\$6,952,700	\$0	\$6,952,700

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
	2021218807	04	2021	WD	Unqualified	Improved	\$15,800,000
26034 / 1662	2018354470	08	2018	WD	Unqualified	Improved	\$14,700,000
21282 / 1750	2012272051	07	2012	CT	Unqualified	Improved	\$24,000
14235 / 0146	2004366413	08	2004	WD	Qualified	Improved	\$8,400,700
13196 / 1061	2003432313	09	2003	WD	Unqualified	Improved	\$7,443,500
10367 / 1339	2000261189	09	2000	WD	Unqualified	Vacant	\$5,105,000

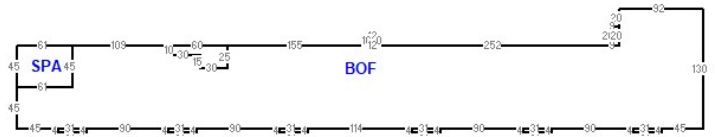
Building Information

Building 1

Type	88 FLEX WAREHOUSE
Year Built	2001

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	10	Precast Panel
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	9.0	
Wall Height	14.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BOF	67,385	67,385	\$7,252,351
CAN	180		\$3,632
CAN	120		\$2,422
BAS	1,050	1,050	\$70,629
SPA	2,745	2,745	\$221,574
CAN	124		\$2,489
CAN	124		\$2,489
CAN	124		\$2,489
CAN	124		\$2,489
CAN	124		\$2,489
CAN	124		\$2,489
Totals	72,224	71,180	\$7,565,542

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	1	2002	0	0	4,250.00	\$15,035
0020	ASPHALT PAVING	1	2002	0	0	127,240.00	\$221,779

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD2	Comm Class 4	PD	0.0	0.0	SF SQUARE FEET	345,000.00	\$1,512,825

Legal Description

FIRSTPARK AT BRANDON REPLAT LOT 1

From: [Madala, Madhuri](#)
To: [Pickering, Malik](#); [tankregistration](#)
Cc: "Pinero, Renee"
Subject: RE: Clayton Holdings Fac ID#9815528 & 9809472
Date: Wednesday, April 19, 2017 9:34:11 AM
Attachments: [Registration Placard for Fac ID#9815528.pdf](#)
[Fac ID#9815528.pdf](#)
[Fac ID#9809472.pdf](#)

Per your request tank at Fac ID#9809472 is Moved to Fac ID#9815528.

The payment has been transferred to new facility and Placard has been generated.

Please see the attached Registration Placard for Fac ID#9815528

If you need any further assistance, please contact us.

Florida Department of Environmental Protection - Enterprise Applications

Figure charges Account Admin Acct History Comments Reports Help Exit Window ORACLE

Storage Tank/Contamination Tracking - Storage Tank Registration

Facility ID: 9809472
Name: CLAYTON HOLDINGS

CLAYTON HOLDINGS (ID #61590)
RENEE PINERO
2638 S FALKENBURG RD
ATTN: FACILITIES MGR
RIVERVIEW FL 33578

Construction * Piping * Monitoring *

Fee assessment begin date is * 04/2017

Added	Tnk ID *	TN/ID *	A/U *	Gallons	Install	Content & Date	Status & Date	Last Updated on	Repl Tank
07/2007	1	TANK	AE	850	07/2007	G 07/2007	M 04/2017	04/17/2017	

NOTE: ** Install MM/YYYY takes priority; if blank, fee assessment begins today

Record: 1/1

Florida Department of Environmental Protection - Enterprise Applications

Tanks Rel party Account Loc/comments History Detail Compliance Create Discharge RePorts Help ORACLE

Storage Tank/Contamination Tracking - Facility Detail

Facility ID	9815528	Facility Status	OPEN	Create Date	03/30/2017
County	HILLSBOROUGH	District	SWD	Name Update	
Name *	CLAYTON	Address *	2638 S FALKENBURG RD	Addr Update	
Address2		City	RIVERVIEW	Comments?(Y/N)	Y
City	RIVERVIEW	FL	33578	Account Status	PLACARD 19-APR-2017
Facility Contact Name	RENEE PINERO	Facility Contact Phone	813-472-6454	ASTC	1 USTC 0
Invoice Activity Date	03/30/2017	Contact Phone Verified By	MADALA M	Phone # Changes Verified?	
Current Placard Date	04/18/2017	Contact Phone Last Verified	03/30/2017		
Facility Type *	C FUEL USER/NON-RETAIL	DEP Contract Owned *	P		
Financial Resp		Coverage Period		Effective	
Insurance Comp					
Cleanup Status					
Owner Name	CLAYTON HOLDINGS	Primary Role	ACCT OWN		
Address	2638 S FALKENBURG RD	Owner ID#	61590		
City/St/Zip	RIVERVIEW, FL 33578	Begin Date	04/18/2017		
Last Updated	04/19/2017	Phone	813-472-6454	Bad Address?	N
Contact	RENEE PINERO	Registr Coord			
Email Address	MPINERO@CLAYTON.COM				

Enter county code.

Record: 1/1 List of Valu...

Thank you,

Madhuri Madala
 Waste Registration
 Department Of Environmental Protection
 PH: 850-245-8834
 Fax: 850-412-0405
Madhuri.Madala@dep.state.fl.us

<http://www.fldepportal.com/go/submit-registration/> - Dep Portal

From: Pickering, Malik [mailto:pickeringm@epchc.org]
Sent: Monday, April 17, 2017 3:12 PM
To: tankregistration (Shared Mailbox) <tankregistration@dep.state.fl.us>
Cc: 'Pinero, Renee' <MPinero@clayton.com>
Subject: Clayton Holdings 299815528

Hi Madhuri,

Attached is the updated STRF for Clayton Holdings existing tank at the new location. Please update. Thank you.

Malik Pickering
 Environmental Scientist I
 STC, Waste Management Division

*Environmental Protection Commission
3629 Queen Palm Dr.
Tampa, FL, 33619
(813) 627-2600 (ext. #1216)
(813) 363-9195 Work Cell
pickeringm@epchc.org*

From: Madala, Madhuri [mailto:Madhuri.Madala@dep.state.fl.us] **On Behalf Of** tankregistration (Shared Mailbox)
Sent: Monday, April 17, 2017 12:27 PM
To: Pinero, Renee; tankregistration (Shared Mailbox); Pickering, Malik
Subject: RE: Claton Holdings 299809472

Please complete sections A,B,C&D of the Storage tank Registration form for Fac ID#9809472 with status as "M" and effective date .

Also, complete another form for the new facility.

Thank you,

*Madhuri Madala
Waste Registration
Department Of Environmental Protection
PH: 850-245-8834
Fax: 850-412-0405
Madhuri.Madala@dep.state.fl.us*

<http://www.fldepportal.com/go/submit-registration/> - Dep Portal

From: Pinero, Renee [mailto:MPinero@clayton.com]
Sent: Monday, April 17, 2017 12:02 PM
To: tankregistration (Shared Mailbox) <tankregistration@dep.state.fl.us>; Pickering, Malik <pickeringm@epchc.org>
Subject: RE: Claton Holdings 299809472

Please let me know if there is anything else I need to fill out.

*Renee Pinero
Facilities Manager
Tampa, Shelton & Atlanta
Clayton
6302 E. Dr. Martin Luther King Jr. Blvd.
Ste. 300
Tampa, FL 33619
Office: 813-472-6454
Cell: 813-304-4495
Fax: 203-447-8466*

From: Madala, Madhuri [mailto:Madhuri.Madala@dep.state.fl.us] **On Behalf Of** tankregistration (Shared Mailbox)
Sent: Monday, April 17, 2017 11:34 AM
To: Pickering, Malik; tankregistration (Shared Mailbox)
Cc: Pinero, Renee

Subject: RE: Claton Holdings 299809472

Malik,

I just spoke with Ms. Pinero regarding moving the tank to different location. Please forward the form for the new facility also.

Thank you,

Madhuri Madala
Waste Registration
Department Of Environmental Protection
PH: 850-245-8834
Fax: 850-412-0405
Madhuri.Madala@dep.state.fl.us

<http://www.fldepportal.com/go/submit-registration/> - Dep Portal

From: Pickering, Malik [<mailto:pickeringm@epchc.org>]
Sent: Friday, April 14, 2017 2:56 PM
To: tankregistration (Shared Mailbox) <tankregistration@dep.state.fl.us>
Subject: Claton Holdings 299809472

Good afternoon,

Please update the facility with the attached strf. Thank you

Malik Pickering
Environmental Scientist I
STC, Waste Management Division
Environmental Protection Commission
3629 Queen Palm Dr.
Tampa, FL, 33619
(813) 627-2600 (ext. #1216)
(813) 363-9195 Work Cell
pickeringm@epchc.org

IMPORTANT NOTICE:

This message is intended only for the use of the individual or entity to which it is addressed and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you have received this message in error, you are hereby notified that we do not consent to any reading, dissemination, distribution or copying of this message. If you have received this communication in error, please notify the sender immediately and destroy the transmitted information.

From [Madala, Madhuri](#) on behalf of [tankregistration \(Shared Mailbo...\)](#)
To [Moseley, Amanda](#) [tankregistration \(Shared Mailbo...\)](#)
Subject RE: Storage Tank Registration Form- New Facility 9815528
Date Thursday, March 30, 2017 10:10:25 AM
Attachments [FAC ID 9815528.pdf](#)

Per your request Fac ID#9815528 is assigned to 2638 S Falkenburg Rd,Riverview.

Please review and contact us if you need anything further.

Florida Department of Environmental Protection - Enterprise Applications

Tanks | Rel party | Account | Loc / comments | History | Detail | Compliance | Create Discharge | RePorts | Help | ORACLE

Storage Tank/Contamination Tracking - Facility Detail

Facility ID	9815528	Facility Status	OPEN	Create Date	03/30/2017
County	23 HILLSBOROUGH	District	SWD	Name Update	
Name *	CLAYTON	Addr Update		Comments?(Y/N)	N
Address *	2638 S FALKENBURG RD	Account Status	INVOICE 30-MAR-2017	ASTC	1
Address2		USTC	0		
City	RIVERVIEW	FL	33578		
Facility Contact Name	RENEE PINERO	Facility Contact Phone	813-472-6454	Phone # Changes Verified?	
Invoice Activity Date	03/30/2017	Contact Phone Verified By	MADALA M		
Current Placard Date		Contact Phone Last Verified	03/30/2017		

Facility Type *	C FUEL USER/NON-RETAIL	DEP Contract Owned *	P
Financial Resp			
Insurance Comp		Coverage Period	
Cleanup Status		Effective	

Owner Name	CLAYTON	Primary Role	ACCT OWN
Address	2638 S FALKENBURG RD	Owner ID#	74648
City/St/Zip	RIVERVIEW, FL 33578	Begin Date	03/30/2017
Last Updated	03/30/2017	Phone	813-472-6454
Contact	RENEE PINERO	Bad Address?	N
Email Address		Registr Coord	

STDM_FACILITY

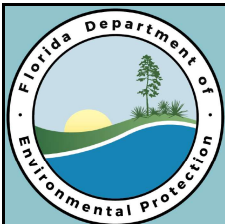
Enter county code. Record: 1/1 List of Valu...

Thank you,

Madhuri Madala
Waste Registration
Department Of Environmental Protection
PH:850-245-8834
Fax:850-412-0405
Madhuri.Madala@dep.state.fl.us

<http://www.fldepportal.com/go/submit-registration/> - Dep Portal

From: Moseley, Amanda [mailto:moseleya@epchc.org]
Sent: Wednesday, March 29, 2017 8:02 AM
To: tankregistration (Shared Mailbox) <tankregistration@dep.state.fl.us>



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
Division of Waste Management
Petroleum Storage Systems
Storage Tank Facility Installation Site Inspection Report

Facility Information:

Facility ID: 9815528 County: HILLSBOROUGH Inspection Date: 04/10/2017
Facility Type: C - Fuel user/Non-retail
Facility Name: CLAYTON # of Inspected ASTs: 1
2638 S FALKENBURG RD USTs: 0
RIVERVIEW, FL 33578 Mineral Acid Tanks: 0
Latitude: 27° 36' 12.0"
Longitude: 84° 48' 44.0"
LL Method: UNVR

Inspection Result:

Result: Minor Out of Compliance

Also Performed:

Financial Responsibility:

Financial Responsibility: INSURANCE
Insurance Carrier: ACE AMERICAN INSURANCE COMPANY
Effective Date: 07/12/2016 Expiration Date: 07/12/2017

Findings:

Signatures:

PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 9815528

Malik Pickering

Emailed to Renee Pinero

Inspector NAME

Representative NAME



No Signature

Inspector Signature

Representative Signature

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	04/10/2017	Passed	04/21/2017	04/10/2018	Performed by Cumins Power on tank interstice and overfil sensor

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/12/2016	04/10/2017	

New Violations

Type: Violation

Significance: Minor

Rule: 62-762.401(2)(a)6.

Violation Text: Registration placard is not displayed in plain view.

Explanation: Current registration placard for this facility was not available for review. The placard that was available on site for review was from the previous tank

Facility ID: 9815528

location.

Corrective Action: Immediately obtain current registration placard for this facility. Maintain original on site and submit a copy to the EPC.

Inspection Comments

04/10/2017

On 4/10/2017 MP/TI -Met with Scott Mclam of Taylor Construction and Nick Verdi of Cummins Power for the final install of the emergency generator tank.

RELEASE DETECTION:

- Visual inspection of tank system and components.
- Electronic monitoring of tank interstice.
- Cummins panel located on generator and inside building monitors Incon interstitial sensor(EQ#-456).
- Sensor tested for operability-appears operational.

TANK: (1) 850 gallon Tramont C207 sub-base generator AST (DEP EQ #662) containing diesel fuel. Tank is located on a concrete pad and equipped with:

- Product label – Diesel
 - Normal and emergency venting.
 - Exterior tank coating is in good condition.
 - Electrical grounding present.
 - Overfill protection- Incon 90% high level fuel alarm (DEP EQ #456) and Clock fuel level sight gauge (manufacturer unknown), visible from the fill (secondary).
 - Tramont spill containment bucket-appears dry and intact. (DEP EQ #662).
 - Flexible supply and return lines run directly from tank to generator overhead. System does not produce a gravity head, no anti-siphon valve or manual isolation valve required.
- No obvious signs of leakage noted.

RECORDS:

Current registration placard for this facility was not available for review. The placard that was available on site for review was from the previous tank location. Immediately obtain current registration placard for this facility. Maintain original on site and submit a copy to the EPC.

Financial Responsibility: Current

Certification of Financial Responsibility: Current.

Monthly inspections must be performed and documented once a month, not to exceed 35 days in between and include:

- Visual inspections of the tank system and components.
- Audible/visual alarm (light and sound) checks of the panel.
- Alarm panel status (alarms) checks.

**An alarm history report must be kept for all facilities using electronic monitoring. For systems with printing capabilities this report is required to be printed every month. For systems without printing capabilities a written journal of alarms must be kept.

-Operability test of the interstitial and overfill protection sensors were performed 04/10/17, next test due 04/10/18.

Upon renewal or expiration of existing pollution liability insurance policy, the following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3) must be used to demonstrate Financial Responsibility: the updated CFR form (Part P) along with either Part C or Part

Facility ID: 9815528

D (completed by insurer) and a signed copy of the policy.
http://www.dep.state.fl.us/waste/categories/tanksfr/pages/all_forms.htm

NEW TESTING REQUIREMENTS:

****Overfill protection devices must be tested for operability prior to January 11, 2018 and every 12 months thereafter.**

Inspection Photos

Added Date 04/21/2017

Tank



Added Date 04/21/2017

Spill bucket



Added Date 04/21/2017

Overfill alarm



Added Date 04/21/2017

Overfill sensor





Facility Information:

Facility ID: 9815528 County: HILLSBOROUGH Inspection Date: 12/16/2019
 Facility Type: C - Fuel user/Non-retail
 Facility Name: CLAYTON HOLDINGS # of inspected ASTs: 1
 2638 S FALKENBURG RD USTs: 0
 RIVERVIEW, FL 33578 Mineral Acid Tanks: 0
 Latitude: 27° 55' 18.3468"
 Longitude: 82° 20' 12.9408"
 LL Method: DPHO

Inspection Result:

Result: Major Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Katie C Young

Emailed to Renee Pinero on 12/27/2019.

Inspector Name

Representative Name

No Signature

Inspector Signature

Representative Signature

Principal Inspector

**HILLSBOROUGH ENVIRONMENTAL PROTECTION
 COMMISSION**

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility: Over Due

Financial Responsibility: INSURANCE

Insurance Carrier: ACE AMERICAN INSURANCE COMPANY

Effective Date: 07/12/2017 Expiration Date: 07/12/2018

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	07/11/2018	Passed	12/16/2019	07/11/2019	For release detection - Performed by Cummins.
Annual Operability Test	07/11/2019	Passed	12/16/2019	07/11/2020	For release detection - Performed by Cummins.

Reviewed Records

Record Category	Record type	From Date	To Date	Reviewed Record Comment
Two Years	Electronic Release Detection Equip. Monthly Checks	11/10/2017	12/13/2019	
Two Years	Monthly Maint. Visual Examinations and Results	11/10/2017	12/13/2019	

Violations:

Type: Violation
 Significance: SNC-B
 Rule: 62-762.501(2)(e), 62-762.501(2)(e)1., 62-762.501(2)(e)2., 62-762.501(2)(e)2.a., 62-762.501(2)(e)2.b., 62-762.501(2)(e)2.c., 62-762.501(2)(e)2.d., 62-762.501(2)(e)3.
 Violation Text: Failure to provide approved overfill protection for shop fabricated tank systems.
 Explanation: No annual overfill protection operability test was available for review. Overfill protection devices were required to be tested by 01/11/2018, and every year thereafter, not exceeding 12 months between tests.
 Corrective Action: Conduct and record an operability test of your primary overfill protection device and submit results to EPC.

Type: Violation
 Significance: Minor
 Rule: 62-762.601(7)
 Violation Text: Shop fabricated storage tank system release detection devices not tested annually.
 Explanation: Annual operability test was not performed by the due date of 04/10/2018. Annual operability tests of release detection devices must be performed every year, not to exceed 12 months between tests.
 Corrective Action: Reviewed passing operability test of your release detection device, performed on 07/11/2018 and 04/11/2019 by Cummins. Violation has been closed. No further action necessary.

Type: Violation
 Significance: SNC-B
 Rule: 62-762.421(2)
 Violation Text: Failure to maintain and demonstrate financial responsibility.
 Explanation: No financial responsibility documentation was available for review. The following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3)

must be used to demonstrate Financial Responsibility: the updated CFR form (Part P) along with either Part C or Part D (completed by insurer) and a signed copy of the policy. http://www.dep.state.fl.us/waste/categories/tanksfr/pages/all_forms.htm

Corrective Action: Submit the completed appropriate part(s) of Form 62-761.900(3) from 07/12/2018 to present to EPC.

Inspection Comments

12/16/2019

12/16/2019 - KCY/TCI - Met onsite with Renee Pinero of Clayton Holdings for the routine compliance inspection.

Release detection:

- Visual inspection of tank system and components
 - Electronic monitoring of tank interstice using Incon interstitial sensor
- Panel will 'Rupture Basin' in the event of a interstitial leak.
Panel currently not indicating any alarms
Visual alarm test check- appeared operational

Tanks: (1) 850 gallon Tramont C207 sub-based generator AST. Equipped with:

- Product label: Diesel
 - Normal and emergency venting
 - Spill containment bucket: appeared dry and intact
 - Overfill protection: Rochester fuel level gauge and high level fuel alarm. High-level fuel alarm is primary overfill protection device, per operator.
 - Aboveground flexible supply and return lines run directly from tank to generator overhead
 - System does not produce a gravity head, anti-siphon valve not required.
 - Electrical grounding present per previous inspection, not visible during this inspection.
 - Tank exterior appeared in good condition
- No obvious signs of leakage noted

Records:

- Current registration placard posted: (1) Tank
- No financial responsibility documentation was available for review. The following portions of The Financial Mechanisms for Storage Tanks, January 2017, 62-761.900(3) must be used to demonstrate Financial Responsibility: the updated CFR form (Part P) along with either Part C or Part D (completed by insurer) and a signed copy of the policy. http://www.dep.state.fl.us/waste/categories/tanksfr/pages/all_forms.htm
Submit the completed appropriate part(s) of Form 62-761.900(3) from 07/12/2018 to present to EPC.
- Monthly inspection logs reviewed and included:
Visual inspection of tank system and components.
Alarm panel status checks.
Visual alarm tests.
Per operator, any interstitial or overfill alarms will be noted on logs.
Inspections performed within 35 days.
No problems noted in logs.
- Annual operability test was not performed by the due date of 04/10/2018. Annual operability tests of release detection devices must be performed every year, not to exceed 12 months between tests. Reviewed passing operability test of your release detection device, performed on 07/11/2018 and 04/11/2019 by Cummins. Violation has been closed. No further action necessary.
- No annual overfill protection operability test was available for review. Overfill protection devices were required to be tested by 01/11/2018, and every year thereafter, not exceeding 12 months between tests. Conduct and record an operability test of your primary overfill protection device and submit results to EPC.

Reviewed inspection results onsite with facility operator, Renee Pinero, following the inspection.

Inspection Photos

Added Date 12/16/2019

2019-12-16 Site Photo



DRAFT

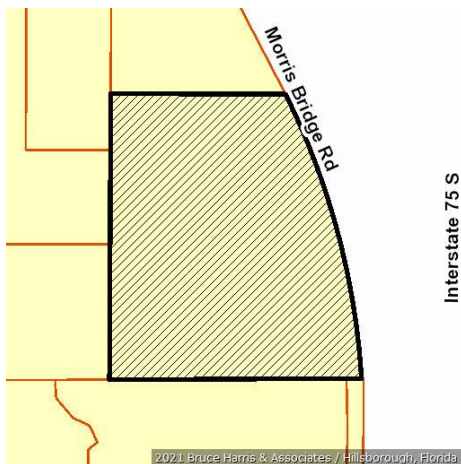
Site 107



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 037369-0000



Owner Information	
Owner Name	TAMPA OAKS SENIOR LIVING LLC
Mailing Address	1110 N FLORIDA AVE STE 200 TAMPA, FL 33602-3343
Site Address	12110 MORRIS BRIDGE RD, TEMPLE TERRACE
PIN	T-12-28-19-ZZZ-000001-32940.0
Folio	037369-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	TT - TEMPLE TERRACE
Property Use	0610 ALF A
Plat Book/Page	/
Neighborhood	217005.00 Temple Terr. Area E of River
Subdivision	ZZZ UNPLATTED

Value Summary				
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$12,724,300	\$12,724,300	\$0	\$12,724,300
Public Schools	\$12,724,300	\$12,724,300	\$0	\$12,724,300
Municipal	\$12,724,300	\$12,724,300	\$0	\$12,724,300
Other Districts	\$12,724,300	\$12,724,300	\$0	\$12,724,300

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information							
Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
23884 / 0180	2016064792	02	2016	QC	Unqualified	Vacant	\$100
23595 / 1828	2015390645	09	2015	WD	Unqualified	Vacant	\$100
23312 / 1628	2015209354	05	2015	TR	Unqualified	Vacant	\$100
23312 / 1624	2015209353	05	2015	TR	Unqualified	Vacant	\$100
23312 / 1640	2015209357	05	2015	WD	Qualified	Vacant	\$275,000
23312 / 1634	2015209356	05	2015	WD	Unqualified	Vacant	\$100
23312 / 1631	2015209355	05	2015	TR	Unqualified	Vacant	\$100
7267 / 1912	94020199	12	1993	AD	Unqualified	Vacant	\$100

Building Information

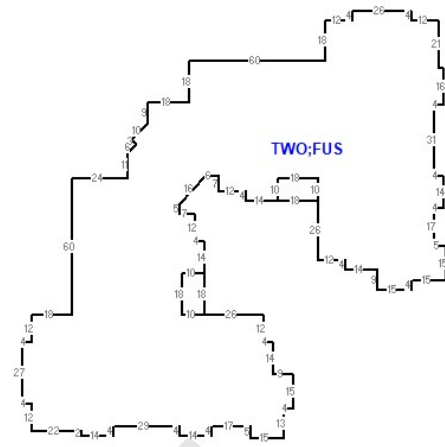
Building 1

Type 75 | ASSISTED LIVING FACILITY

Year Built 2018

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	4	Wood/Masonry Siding
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	6	Tile
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	3.0	
Units	108.0	
Wall Height	12.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
TWO	37,290	37,290	\$4,547,818
FUS	18,645	18,645	\$2,273,909
CAN	180		\$6,586
CAN	180		\$6,586
Totals	56,295	55,935	\$6,834,899

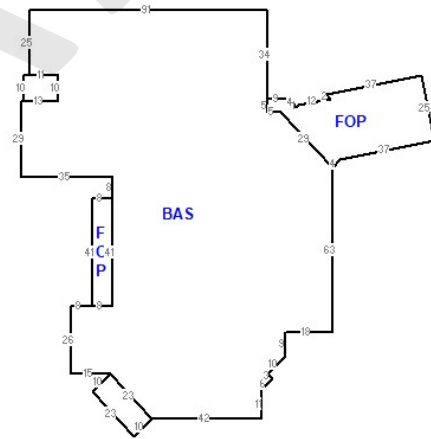
Building 2

Type 75 | ASSISTED LIVING FACILITY

Year Built 2018

Building 2 Construction Details

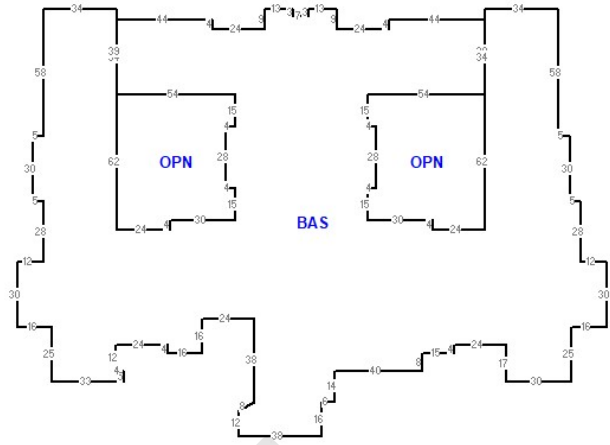
Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	6	Tile
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	13,812	13,812	\$1,736,583
FOP	130		\$4,903
FOP	328		\$12,322
FOP	231		\$8,675
FOP	1,273		\$48,029
Totals	15,774	13,812	\$1,810,512

Building 3		
Type	75 ASSISTED LIVING FACILITY	
Year Built	2018	
Building 3 Construction Details		
Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	6	Wd/Mtl Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	6	Tile
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 3 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	33,884	33,884	\$4,302,838
OPN			\$0
OPN			\$0
Totals	33,884	33,884	\$4,302,838

Extra Features							
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2019	0	0	34,537.00	\$71,802
0060	CONCRETE PAVEMENT	0	2019	0	0	9,770.00	\$38,883

Land Information							
Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
9941	Acreage Class 4	PD	0.0	0.0	AC ACREAGE	5.93	\$214,903
9941	Acreage Class 4	PD	0.0	0.0	AC ACREAGE	1.25	\$59,400

Legal Description
S 1/2 OF NE 1/4 OF NE 1/4 LESS 5 AC IN SE COR AND LESS I-75 BYPASS AND LESS .26 AC LYING E OF I-75



Florida Department of Environmental Protection
 Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DEP Form # 62-761.900(2)
Form Title <u>Storage Tank Registration Form</u>
Effective Date <u>July 13, 1998</u>
DEP Application No. _____ (Filled in by DEP)

Storage Tank Facility Registration Form

Submit a completed form for the facility when registration of storage tanks or compression vessels is required by Chapter 376.303, Florida Statutes

Please review **Registration Instructions** before completing the form.

Please check all that apply	<input type="checkbox"/> New Registration	<input type="checkbox"/> New Owner	<input type="checkbox"/> New Tanks
	<input type="checkbox"/> Facility Info Update/Correction	<input type="checkbox"/> Owner Info Update/Correction	<input type="checkbox"/> Tank Info Update/Correction

A. FACILITY INFORMATION	County: Hillsborough	DEP Facility ID:	9815785
--------------------------------	-----------------------------	-------------------------	---------

Facility Name: Promise Pointe at Tampa Oaks

Facility Address: 12110 Morris Bridge Rd City: Temple Terrace Zip: 33637 1950

Facility Contact: _____ Business Phone: _____

Facility Type(s): B NAICS Code: _____ Financial Responsibility: INSURANCE

24 Hour Emergency Contact: _____	Emergency Phone: _____
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B. RESPONSIBLE PERSON INFORMATION - Identify Individual(s) or Business(es) responsible for storage tank management, fueling operations, and/or cleanup activities at the facility location named above. **Provide additional information in an attachment if necessary.**

Name: Tampa Oaks Senior Living, LLC	Facility - Responsible Person Relation Type:	Effective Date
Mail address: 12110 Morris Bridge Road	<input checked="" type="checkbox"/> Facility Account Owner (pays fees)	03/16/2017
City, ST, Zip: Temple Terrace, FL 33637	Facility Account Owner information must be provided when the facility contains active or out of service storage tanks on site.	
Contact: Delane Duncan Ward	STCM Account Number (if known)	75339
Telephone: (727) 560-1926		
Identify other appropriate facility relationships for this party: <input type="checkbox"/> Facility Owner/Operator <input type="checkbox"/> Property Owner <input type="checkbox"/> Storage Tank Owner		

Name:	Other owner, relationship type(s)	Effective Date
Mail address:	<input type="checkbox"/> Facility Owner/Operator	
City, ST, Zip:	<input type="checkbox"/> Property Owner	
Contact:	<input type="checkbox"/> Storage Tank Owner	
Telephone:	<input type="checkbox"/> Other:	

C. TANK/VESSEL INFORMATION - Complete one row for each storage tank or compression vessel system located at this facility.

Tank ID	T/V	A/U	Capacity	Installed	Content	Status/Effective Date	Construction	Piping	Monitoring

Certified Contractor (performing tank installation or removal): _____ DBPR License No.: _____

Registration Certification: To the best of my knowledge and belief, all information submitted on this form is true, accurate, and complete.

Delane Ward _____ 08/02/2017 _____

Printed Name & Title **Signature** **Date**

DEP 62-761.900(2)

- | | | | | | | |
|--|--|---|--|--|--|--|
| Northwest District
160 Governmental Center Blvd.
Pensacola, FL 32501
850-595-8360 | Northeast District
7825 Baymeadows Way,
Suite B200
Jacksonville, FL 32256
904-448-4300 | Central District
3319 Maguire Blvd.,
Suite 232
Orlando, FL 32803
407-894-7555 | Southwest District
3804 Coconut Palm Drive
Tampa, FL 33619
813-744-6100 | Southeast District
400 North Congress Ave.,
W Palm Beach, FL 33416
561-681-6600 | South District
2295 Victoria Ave.,
Suite 364
Fort Myers, FL 33901
941-332-6975 | Marathon Branch Office
2796 Overseas Hwy.,
Suite 221
Marathon, FL 33050
305-289-2310 |
|--|--|---|--|--|--|--|

Other Additional Details

Insurance Information

Insurance Carrier:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Property Owner

Company Name: Tampa Oaks Senior Living, LLC
Name: Kirk Eicholtz
Address Line 1: 12110 Morris Bridge Rd
Address Line 2: 12110 Morris Bridge Road
City/State/Zip Code: Temple Terrace, FL 33637 1950
Phone Number: (813) 694-2153
Extension:
Cell Number:
Fax Number:
E-mail Address: warddelane@lcsnet.com

Tank Owner

Company Name: Tampa Oaks Senior Living, LLC
Name: Kirk Eicholtz
Address Line 1: 12110 Morris Bridge Rd
Address Line 2: 12110 Morris Bridge Road
City/State/Zip Code: Temple Terrace, FL 33637 1950
Phone Number: (813) 694-2153
Extension:
Cell Number:
Fax Number:
E-mail Address: warddelane@lcsnet.com

Facility Owner

Company Name: Tampa Oaks Senior Living, LLC
Name: Kirk Eicholtz
Address Line 1: 12110 Morris Bridge Rd
Address Line 2: 12110 Morris Bridge Road
City/State/Zip Code: Temple Terrace, FL 33637 1950

Phone Number: (813) 694-2153
Extension:
Cell Number:
Fax Number:
E-mail Address: warddelane@lcsnet.com

Tank Operator

Name: Delane Ward
Address Line 1: 12110 Morris Bridge Rd
Address Line 2:
City/State/Zip Code: Temple Terrace, FL 33637 1950
Phone Number: (727) 560-1926
Extension:
Cell Number:
Fax Number:
E-mail Address: warddelane@lcsnet.com

Tank/Vessel Information

If you are editing an existing Tank ID, the new input will not be stored. To modify a Tank ID you must contact the Storage Tank registration staff at (850) 245-8839 or by e-mail at TankRegistration@dep.state.fl.us

Tank ID: Tank01
T/V: TANK
A/U: ABOVEGROUND
Capacity: 1300
Installed: 08/02/2017
Content: H
Status: X
Status Effective Date: 08/04/2017
Construction: C, P, G, I, U
Piping: N, D, F, A
Monitoring: Q, F, 6, 1



Florida Department of Environmental Protection

Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

Division of Waste Management - Storage Tank Facility Registration Form Registration Instructions and Codes List

The Department of Environmental Protection Storage Tank Program registers the facilities and the storage tanks when aboveground or underground storage tanks store pollutants, hazardous substances, and/or mineral acid substances regulated by Chapter 62-761, Florida Administrative Code, or when aboveground storage tanks or compression vessels store a hazardous substance which requires registration according to Chapter 376, Florida Statutes.

Storage Tank Facility Registration Form

In the first section block, identify the types of information being submitted on the registration form.

Check **New Registration** when the **location** is being registered for the first time and no Facility Identification number exists.

If submitting a revised Registration form, check all other boxes that apply to designate the type(s) of revisions being submitted.

I. Facility Information - Properly describe the geographical location where the storage tank facility is located.

- Facility ID** Include the DEP Facility Identification number whenever possible. Write in "Pending" when submitting a new registration for the first time. Remember: the facility ID number identifies the location, and is transferred to a new owner upon sale of the facility.
- Facility Name** Provide the current name of the business establishment operating at the facility location. When registering an abandoned facility, where tanks exist *unmaintained*, identify the location with the property owner's name, as in "Smith Property", if no other facility name is being used.
- Facility Address** Include the county name, and the proper street number and name. Give directions when the facility is located in a rural area with no Rural Route number associated with it (i.e., 'x' miles N of intersection...). Provide the name and telephone number of a contact person or manager *on location*, where possible.
- Facility Type** This information is an explanation or term that most closely describes the operational use of the facility. Select the code(s) that provides the best or most appropriate description of the facility.

1. If the facility is owned by a government entity, select the appropriate type from the following:

- F. Federal Government** **H. Local or City Government** **N. Indian Land**
G. State Government **I. County Government**

2. If the facility meets the definition of "bulk product facility" - "a waterfront location with at least one aboveground tank with a capacity greater than 30,000 gallons which is used for the storage of pollutants" ("Pollutants" includes oil of any kind and in any form, gasoline, pesticides, ammonia, chlorine, and derivatives thereof, excluding liquefied petroleum gas.); select the type from:

- T. Coastal bulk product facility** - facility, as defined above and located on the Florida coast, may have storage tank systems that store hazardous substances in addition to pollutants. ("Coastline means the line of mean low water along the portion of the coast that is in direct contact with the open sea and the line marking the seaward limit of inland waters, as determined under the Convention on Territorial Seas and the Contiguous Zone, 15 U.S.T. (Pt. 2) 1606.")
- S. Inland Waterfront bulk product facility** - facility, as defined above and located on "inland waterways" (lakes, rivers), may have storage tank systems that store hazardous substances in addition to pollutants.

3. When the facility is a "waterfront location", but not a bulk product facility as defined above, select the most appropriate type from:

- V. Marine fueling facility** - a commercial, recreational, or retail coastal facility that provides fuel to vessels and may store other pollutants and/or hazardous substances on site.
- W. Waterfront fueling facility** - a commercial, recreational, or retail facility located on a non-coastal waterway that provides fuel to vessels and may store other pollutants and/or hazardous substances on site.

Facility Type continued

4. When the facility is not described as above, select the most appropriate type from:

- A. **Retail Station** - primarily supplies vehicular fuel to automotive customers; may store other regulated substances.
- C. **Fuel User, Non-retail** - primarily stores vehicular fuel and/or other pollutants or hazardous substances for consumption by facility/owner/operator.
- D. **Inland Bulk Petroleum Storage** - inland facility with no waterfront access, that has multiple active UST and/or AST storage systems used primarily for storage of pollutants intended for distribution. May also store hazardous substances on-site for facility consumption and/or distribution purposes.
- E. **Industrial Plant** - inland facility with no waterfront access; may include power plants and facilities designed for manufacturing and/or chemical processing; may have multiple active UST and/or AST storage systems used for storage of pollutants and/or hazardous substances intended for facility consumption.
- J. **Collection Station** - maintenance or other related facility that acquires and temporarily stores used and/or waste oil prior to recycling and/or disposal.
- K. **Inland Bulk Chemical Storage** - inland facility with no waterfront access, that has multiple active UST and/or AST storage systems and/or compression vessels used for storage of hazardous substances intended for distribution. May also store pollutants on site for facility consumption and/or distribution purposes.
- L. **Chemical User** - facility primarily uses regulated hazardous substance tanks on site; may also store pollutants.
- M. **Agricultural** - facility actively used in production of crops, plants, or livestock.
- B. **Residential (not regulated)** - property used primarily for dwelling purposes; regulated substance used for non-commercial purposes; no UST exists > 1100 gallons.
- P. **UST Residential (>1100 gallons)** - residence with USTs regulated by Federal Environmental Protection Agency.
- Z. **Other** - Please identify the type of establishment that you are registering.

North American Industry Classification System (NAICS), developed jointly by the United States, Canada, and Mexico, has replaced the U.S. Standard Industrial Classification Code (SIC) system, effective January, 1997. The new system identifies new industry categories and re-organizes the current data more consistently. More information on this subject can be obtained from: National Technical Information Services, 5285 Port Royal Road, Springfield, Virginia 22161; (800) 553-6847. See also U. S. Department of Commerce Web Sites: <http://ntis.gov> and <http://www.census.gov/epcd/www/naics.html>. When possible – please select the most appropriate code for your facility.

Financial Responsibility – The demonstration of financial responsibility shall be made by the owner or operator in accordance with C.F.R. Title 40, Part 280, Subpart H. Write in your selection of the following:

1. **None**
2. **Insurance Carrier**
3. **Other Mechanism** (includes all other financial responsibility methods meeting requirements of C.F.R. Title 40)

24 Hour Emergency Contact - Provide the name & telephone number of the Emergency Contact for this facility.

II. Responsible Party Information

1. In the first block, provide the name, address, contact name, and telephone number of the individual(s) and/or business(es) that are responsible for the operation of the storage tank facility and for the payment of DEP annual Storage Tank Registration fees. Identify the appropriate facility relationships for this party: Facility Owner/Operator, Tank Owner, and/or Property Owner. The first named party will also be associated with the role of Facility Account Owner. The Account Owner is responsible for payment of the annual storage tank registration fees, and will receive the annual storage tank registration placard(s) upon payment.
2. Identify additional individuals and/or companies that play a role in the ownership or operation of the facility, as necessary.
3. When submitting revisions to owner name or address information, please include their STCM Account Number, when available.
4. Submit a registration form when the facility or tank ownership changes, complete with the **date & new owner's signature**.

III. Tank/Compression Vessel Information - Complete one row in Section C for each storage tank and/or compression vessel system located at the facility. Use the following system description codes where appropriate.

- 1. Tank ID** - number systems sequentially, or provide a unique identification number; do not use symbols (#, %, -, etc.).
- 2. Tank or Vessel Indicator** - write in T or V to describe the system type.
- 3. Tank Placement** - Write in A or U to designate aboveground or underground placement of the system.
- 4. Tank Capacity** - Write in the storage tank capacity in gallons.
- 5. Installation Date** - Record the date of first installation in 'MM/YY' format; provide a best estimate if unknown.

6. Tank Content - Record the current content (or last content, if system is closed or not in use) from the list below.

- | | | |
|---|--|--|
| A. Leaded gasoline | K. Kerosene | S. Chlorine compound |
| B. Unleaded gasoline | L. Waste oil / Used oil | T. Hazardous substance (CERCLA) |
| C. Gasohol | M. Fuel oil: on-site heating only; USTs or ASTs <30K gals | U. Mineral acid |
| D. Vehicular diesel | N. Fuel oil: distribution; or on-site heating - ASTs > 30K gals | V. Grades 5 & 6, bunker 'C' residual oils |
| E. Aviation gasoline | O. New & lube oil | W. Petroleum-base additive product |
| F. Jet diesel fuel | P. Generic Gasoline - grade unknown | X. Miscellaneous petroleum-base product |
| G. Diesel fuel - emergency generator | Q. Pesticide | Y. Unknown Substance |
| H. Diesel fuel - generator or pump | R. Ammonia compound | Z. Other Substance: please identify |

* Mineral Acid = Hydrobromic acid, Hydrochloric acid, Hydrofluoric acid, Phosphoric acid, Sulfuric acid.

* M = fuel is used solely to heat the facility premises and must be stored in a tank with capacity < 30,000 gallons; exempt from regulation.

* N = fuel is distributed as heating fuel, or fuel is used solely to heat the facility premises, but the storage tank capacity exceeds 30,000 gallons.

** **Compartmented tanks** – register as a single tank; itemize the size and contents of each compartment.

** **Manifold tanks** – register as individual storage tanks; with individual size and content – even though they are “connected”.

7. Status - Record the current status of the system, & the status effective date (or best estimate) in 'MM/YY' format. Update the tank status timely, as necessary for tanks moving between “in service” and “out of service” status.

- A. Properly closed in place** * UST filled with sand, concrete or other inert material; AST rendered unusable.
- B. Removed from the site** *
*A or B: UST Closure Assessment required after 12/10/90; AST Closure Assessment required after 3/12/91 - refer to 62-761.800, F.A.C.
- E. Construction modified** - AST constructed as a “mobile tank” or enclosed in a building; no longer retains a “regulated” status.
- F. Unmaintained tank** - UST/AST not in use, not properly closed, not to be returned to service (tank must be properly closed within 90 days).
- T. Out-of-service tank** - UST/AST locked and monitored (10 yr limit for USTs with secondary containment; 2 yr limit for corrosion-protected USTs; 1 yr limit for unprotected USTs; 5 yr limit for ASTs).
- U. In-service** - UST/AST may be empty for up to 45 days for routine services/maintenance only.
- V. Temporary out of service** - special designation for field-erected ASTs, greater than or equal to 50,000 gallon capacity; may be empty for up to 180 days for routine services/maintenance only.
- Z. Non-regulated product** stored in tank; provide status effective date when status relates to a ‘change in product’ for a particular storage tank.

8. Construction, Piping, and Monitoring Attributes – please select from the lists below, the codes that best describe the attributes of each storage tank system. ** When “Z. Other DEP Approved” is selected; please specify the EQ #. **

CONSTRUCTION

- Primary Construction:**
- | | |
|---------------------------------|--|
| C. Steel | X. Concrete |
| D. Unknown | Y. Polyethylene |
| E. Fiberglass | Z. Other DEP approved tank material |
| F. Fiberglass-clad steel | |

- Overfill/Spill:**
- | | |
|------------------------------------|--|
| A. Ball check valve | O. Tight fill |
| M. Spill containment bucket | P. Level gauges, high-level alarms |
| N. Flow shut-off | Q. Other DEP approved protection method |

- Corrosion Protection:**
- | | |
|---|---|
| G. Cathodic protection - sacrificial anode | H. Cathodic protection - impressed current |
|---|---|

- Secondary Containment:**
- I.** Double wall construction: single material (outer tank material same as inner tank material)
 - R.** Double wall construction: dual material (outer tank - concrete, approved synthetic material, or tank “jacket”)
 - J.** Synthetic liner in tank excavation
 - K.** Concrete, synthetic material, and/or offsite clays beneath AST and in containment area
 - S.** Other DEP approved secondary containment system
 - V.** Pipeless UST with secondary containment

CONSTRUCTION - continued

- Miscellaneous attributes:** B. Internal lining
L. Compartmented
U. Field erected tank

PIPING

- Primary Construction:** B. Steel or galvanized metal
C. Fiberglass
N. Approved synthetic material
Y. Unknown
Z. Other DEP approved piping material
- Corrosion Protection:** D. External protective coating
E. Cathodically protected with sacrificial anode or impressed current
- Secondary Containment:** F. Double wall construction: single material (outer pipe material same as inner pipe material)
M. Double wall construction: dual material (outer pipe - approved synthetic material or pipe "jacket")
G. Synthetic liner or box/trench liner in piping excavation or pipe containment area
P. Internal Piping: contained within an internal sump riser, directly connected to tank & located beneath dispenser
- Miscellaneous attributes:** A. Aboveground, no contact with soil
I. Suction piping system
J. Pressurized piping system
K. Dispenser liners
L. Bulk product system
H. Airport/seaport hydrant system

MONITORING

- External:** A. Site Suitability Plan
B. Site Suitability Plan Exemption
C. Groundwater Monitoring Plan
D. SPCC Plan
E. Interstitial monitoring of UST synthetic liners
N. Groundwater monitoring wells
O. Vapor monitoring wells
P. Vapor monitoring with dilution procedures
Q. Visual inspection of AST systems
W. Fiber-optic technologies
Z. Other DEP approved monitoring method
- Internal:** F. Interstitial space - double wall tank
L. Automatic tank gauging system (USTs)
M. Manual tank gauging system (USTs)
R. Interstitial monitoring of AST tank bottom
S. Statistical Inventory Reconciliation (SIR) (USTs)
T. Annual tightness test with inventory (USTs)
- Piping monitoring:** G. Electronic line leak detector with flow shutoff
H. Mechanical line leak detector
J. Interstitial monitoring - piping liner
K. Interstitial monitoring - double wall piping
U. Bulk product piping pressure test
V. Suction pump check valve
6. External monitoring
- Miscellaneous:** I. Not required - see rule for exemptions
X. None
Y. Unknown
1. Continuous electronic sensing equipment
2. Visual inspections of piping sumps
3. Electronic monitoring of piping sumps
4. Visual inspections of dispenser liners
5. Electronic monitoring of dispenser liners

IV. Certified Contractor & Certification

Record the name and the *Department of Business and Professional Regulation License Number* for the *Certified Contractor* whenever an underground storage tank has been installed, removed, or closed in place. Do not rely on the contractor to file this form. Storage Tank Registration Forms are required to be submitted by the storage tank system owner or operator.

Please Remember that the Registration Form cannot be processed without the name and signature of the storage tank system owner or operator, and the date of the form submittal. Please print your name legibly in case a representative of the storage tank program should need to contact you.

If you have questions, please call a storage tank registration representative at (850) 245-8839 for assistance.

From [Winter, Cody](#)
To [burchrob_promisepointeseniorliving.com](#)
Subject 9815750- Promise Pointe Installation Follow-Up
Date Tuesday, December 18, 2018 6:51:10 AM
Attachments [CFR Part P.pdf](#)
[Part A \(Self Insurance\).pdf](#)
[Part C.pdf](#)
[Part D.pdf](#)
[AST LOG dw tank-sensor.doc](#)

Good Morning,

Thank you for meeting me on-site for your installation inspection on 12/17/2018. After reviewing the tank and components, the tank appeared in good condition. The only issues that I found were the lack of monthly logs, which will end up being a violation that you can close by sending me a new December 2018 log, and the missing financial responsibility forms which I have attached to this email. Please get these forms to me by the 28th. If you have any questions, please feel free to contact me.

Thank you,

Cody Winter, M.S.

Environmental Scientist 1
Waste Management Division
813-627-2600 ext. 1429 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619
Our mission is *"to protect our natural resources, environment, and quality of life in Hillsborough County."*
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Storage Tank Compliance Inspection Report & Letter - Promise Pointe at Tampa Oaks

Rojas, Yadielys <rojasy@epchc.org>

Tue 11/23/2021 11:42 AM

To: Laura K. Holliday <hollidaylaura@promisepointeseniorliving.com>

Good morning Laura,

Attached you will find the completed inspection report for the compliance inspection conducted at Promise Pointe at Tampa Oaks on 11/17/2021. Additionally, you will also find a compliance assistance offer letter for the violations cited during the inspection. Currently, your facility is out of compliance. Please review the attached report, address the violations, and submit the appropriate documentation to EPC for review.

If you have any questions, please let me know.

Thank you,

Yadi Rojas

Environmental Scientist I

Waste Management Division

Office: (813) 627-2600 ext. 1319

Cell: (813) 363-9195

www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

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Updated Storage Tank Compliance Inspection Summary - Promise Pointe at Tampa Oaks

Rojas, Yadielys <rojasy@epchc.org>

Thu 11/18/2021 2:08 PM

To: hollidaylaura@promisepointeseniorliving.com <hollidaylaura@promisepointeseniorliving.com>

Good afternoon Laura,

Please see the following informal summary of the inspection for your facility performed on 11/17/2021:

Facility ID: 9815750

- **In order for your facility to be in compliance, I will need the following:**
 - Operability testing of the release detection device was not available for review. Submit operability testing of the release detection device.
 - Operability testing of the overfill protection device was not available for review. Submit operability testing of the overfill protection device.
 - No monthly inspection logs were available for review from 03/2019-present. Submit monthly inspection logs for December 2021.
 - Could not locate release detection/rupture basin alarm panel within building. Ensure interstitial sensor is wired to alarm panel and contact EPC for a re-inspection.

All of the rest of the documentation, tank system, and its components appeared to be intact and in good condition.

Thank you,
Yadi Rojas

Environmental Scientist I

Waste Management Division

Office: (813) 627-2600 ext. 1319

Cell: (813) 363-9195

www.epchc.org

Environmental Protection Commission

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Site 108

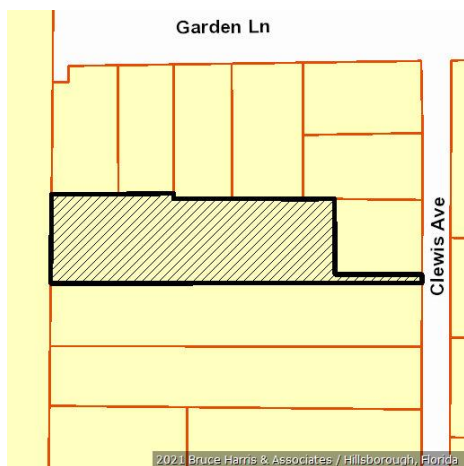
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 040433-0000



Owner Information	
Owner Name	5306 CLEWIS LLC
Mailing Address	5306 CLEWIS AVE TAMPA, FL 33610-5822
Site Address	5306 CLEWIS AVE, TAMPA
PIN	U-06-29-20-1ME-000000-00007.7
Folio	040433-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	27/98
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1ME STATE HIGHWAY FARMS

Value Summary				
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$217,774	\$194,344	\$0	\$194,344
Public Schools	\$217,774	\$217,774	\$0	\$217,774
Municipal	\$217,774	\$194,344	\$0	\$194,344
Other Districts	\$217,774	\$194,344	\$0	\$194,344

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information							
Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
	2021470454	09	2021	QC	Unqualified	Improved	\$100
25467 / 1516	2018003300	12	2017	WD	Unqualified	Improved	\$130,000
12507 / 0583	2003128253	03	2003	WD	Unqualified	Improved	\$100
7189 / 0844	93276901	11	1993	WD	Qualified	Improved	\$55,100
4222 / 1267		11	1983	WD	Qualified	Improved	\$46,000
2738 / 0883		01	1973		Qualified		\$2,000

Building Information

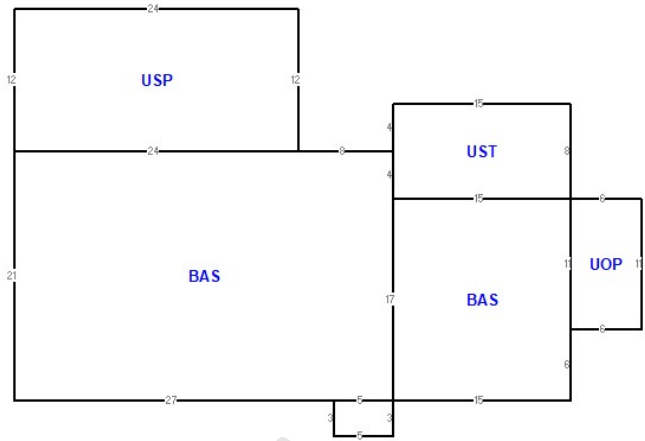
Building 1

Type 01 | SINGLE FAMILY

Year Built 1974

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	1.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
UST	120		\$2,930
BAS	672	672	\$41,024
USP	288		\$4,395
FOP	15		\$244
BAS	255	255	\$15,567
UOP	66		\$610
Totals	1,416	927	\$64,770

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0460	CARPORT	1	2001	20	20	400.00	\$3,040
0651	SHED NOT PERMANENTLY AFFIXED	1	2001	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
06A6	Canalfront Class 6	CG	167.50	200.00	FF FRONT FEET	167.50	\$102,208
99FB	Acreage Class 4	CG	0.0	0.0	AC ACREAGE	1.15	\$47,725
9400	RIGHT-OF-WAY	CG	15.00	160.00	AC ACREAGE	0.06	\$30

Legal Description

STATE HIGHWAY FARMS PART OF LOTS 7 8 AND 9 DESC AS FROM SE COR OF LOT 7 OF NW 1/4 OF SEC 6 RUN N 464 FT FOR POB AND RUN W 687.21 FT TO PT ON E R/W BDRY OF TAMPA BYPASS CANAL AND RUN N 165 FT E 231.20 FT TO C/L OF LOT 8 THENCE S 6 FT E 295.75 FT S 144 FT E 160 FT TO E BDRY OF LOT 7 AND S 15 FT TO POB

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
110732	Hillsborough	O - Out Of Business			2921340	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Action Transport Services Inc	5306 Clewis Ave Tampa, FL 33610	5306 Clewis Tampa, 33610	Unknown	Unknown	(813) 272-5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	- Unverified Generator Status	0	P - Verification By Phone Call	12/28/2004	December Project	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/16/2006 5:46:09 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 109

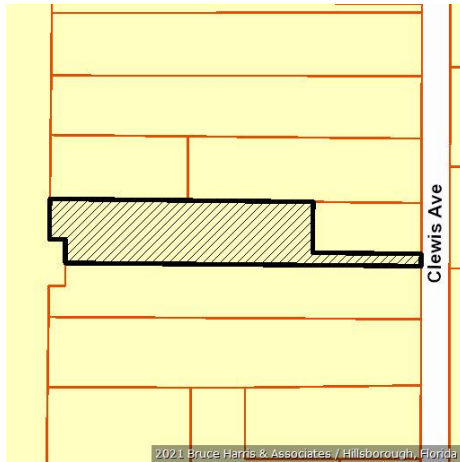
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpaf.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 040428-1000



Owner Information

Owner Name	BLAKE MICHAEL N BLAKE MICHELLE L
Mailing Address	5102 CLEWIS AVE TAMPA, FL 33610-5820
Site Address	5102 CLEWIS AVE, TAMPA
PIN	U-06-29-20-1ME-000000-00007.1
Folio	040428-1000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0200 MH
Plat Book/Page	27/98
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1ME STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$165,171	\$106,259	\$50,000	\$56,259
Public Schools	\$165,171	\$106,259	\$25,000	\$81,259
Municipal	\$165,171	\$106,259	\$50,000	\$56,259
Other Districts	\$165,171	\$106,259	\$50,000	\$56,259

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

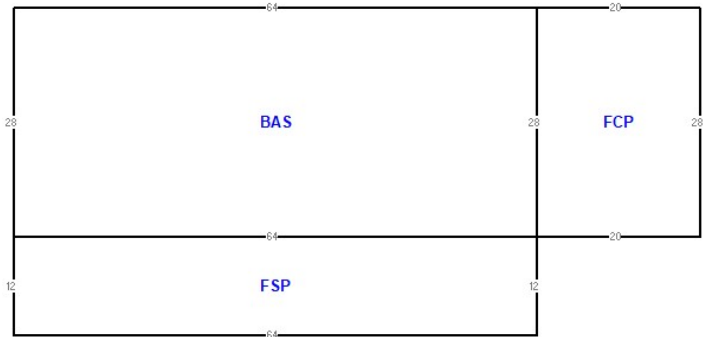
Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
10939 / 0525	2001226257	06	2001	WD	Qualified	Improved	\$110,000
5546 / 1500	88242833	11	1988	WD	Unqualified	Improved	\$39,000
4651 / 1143		09	1985	WD	Qualified	Vacant	\$24,000
4095 / 0777		04	1983	WD	Unqualified	Vacant	\$10,000

Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	1989



Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	4	Plywood paneling
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Stories	1.0	
Bedrooms	4.0	
Bathrooms	2.0	
Units	1.0	

Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FCP	560		\$3,842
BAS	1,792	1,792	\$49,180
FSP	768		\$6,312
Totals	3,120	1,792	\$59,334

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	1	1985	0	0	1.00	\$0
0430	GARAGE METAL	1	2001	38	28	1,064.00	\$13,085
0595	FIREPLACE	1	2002	0	0	1.00	\$1,726
0120	DECK WOOD	1	2002	30	20	600.00	\$3,030

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
06A6	Canalfront Class 6	RSC-6	118.00	471.00	FF FRONT FEET	118.00	\$83,431
99FB	Acreage Class 4	RSC-6	25.00	200.00	AC ACREAGE	0.11	\$4,565

Legal Description

STATE HIGHWAY FARMS S 116 FT OF LOTS 7 8 AND 9 LESS E 200 FT AND LESS TAMPA BYPASS CANAL R/W AND S 25 FT OF E 200 FT OF LOT 7

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
41093	Hillsborough	P - Potential Generator			2908173	S - Not Notified Or Surveyed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Foy'S Transport Tire Service I	5102 Clewis Ave Tampa, FL 33610	5102 Clewis Tampa, 33610	Unknown	Unknown	(813) 272-5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
0011 - Unknown	- Unverified Generator Status	0	C - County/Rpc Sources	5/12/1995	Unknown				
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:08:49 PM							
Comments:									
Comment Date	Comment								
5/12/1995	950512 - 280 - 380 - 0 - -1996 Epc								
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 110

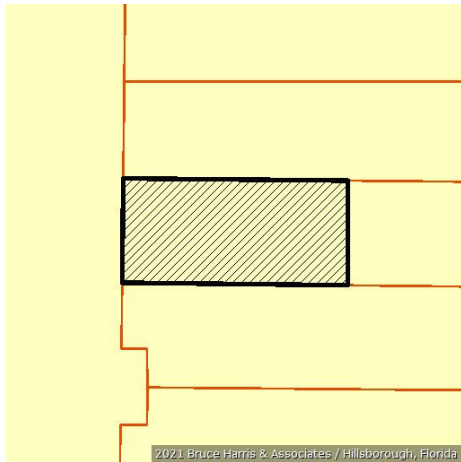
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 040429-0050



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Owner Information

Owner Name	JUILLERAT CHRISTOPHER M JUILLERAT APRIL D
Mailing Address	5126 CLEWIS AVE TAMPA, FL 33610-5820
Site Address	5126 CLEWIS AVE, TAMPA
PIN	U-06-29-20-1ME-000000-00007.3
Folio	040429-0050
Prior PIN	
Prior Folio	040429-0000
Tax District	U - UNINCORPORATED
Property Use	0200 MH
Plat Book/Page	27/98
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1ME STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$192,088	\$115,962	\$50,000	\$65,962
Public Schools	\$192,088	\$115,962	\$25,000	\$90,962
Municipal	\$192,088	\$115,962	\$50,000	\$65,962
Other Districts	\$192,088	\$115,962	\$50,000	\$65,962

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
10202 / 1077	2000148431	05	2000	WD	Qualified	Improved	\$94,900
9694 / 1916	99192155	06	1999	WD	Qualified	Improved	\$85,000
5301 / 1357	87297713	12	1987	WD	Unqualified	Vacant	\$100
4404 / 1833		08	1984	FD	Unqualified	Vacant	\$100

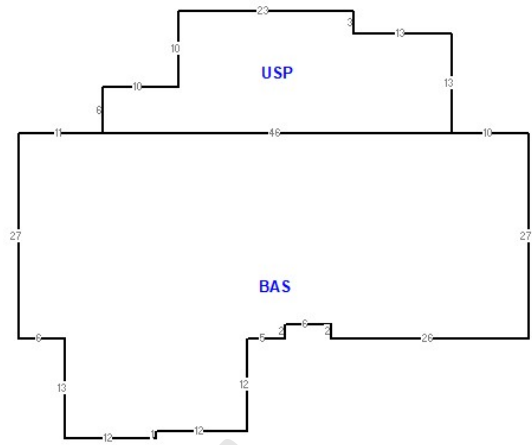
Building Information

Building 1

Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	2001

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Stories	1.0	
Bedrooms	3.0	
Bathrooms	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,097	2,097	\$89,203
USP	597		\$6,338
Totals	2,694	2,097	\$95,541

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0730	STABLE WOOD	1	2000	32	24	768.00	\$7,073
0651	SHED NOT PERMANENTLY AFFIXED	1	2000	0	0	1.00	\$0
0120	DECK WOOD	1	2000	0	0	500.00	\$2,525
0460	CARPORIT	1	2002	26	24	624.00	\$4,742
0595	FIREPLACE	1	2002	0	0	1.00	\$2,077

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
06A6	Canalfront Class 6	AS-1	116.00	376.00	FF FRONT FEET	116.00	\$80,130

Legal Description

STATE HIGHWAY FARMS THE W 376 FT OF THE FOLLOWING DESC PROPERTY THE N 1/2 OF S 232 FT OF TRACTS 7 8 AND 9 LESS R/W FOR TAMPA BY-PASS CANAL

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
42746	Hillsborough	P - Potential Generator			2911130	S - Not Notified Or Surveyed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Young Timothy W/DbA/Coast To C	5126 Clewis Avenue Tampa, FL 33610	5126 Clewis Tampa, 33610	Unknown	Unknown	(813) 272-5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
0011 - Unknown	- Unverified Generator Status	0	C - County/Rpc Sources	12/21/1994	Unknown				
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:51:59 PM							
Comments:									
Comment Date	Comment								
12/21/1994	941221 - 90 - 0 - 0 - -1996 Epc								
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 111

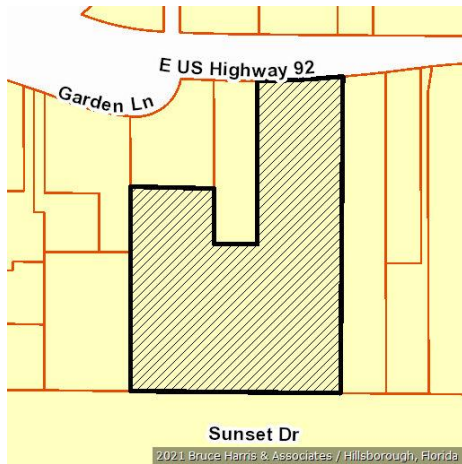
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Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 040415-0000



Owner Information

Owner Name	CAPRI KITCHENS INC
Mailing Address	805 LAKESIDE DR SEFFNER, FL 33584-5125
Site Address	9601 E 92 HWY, TAMPA
PIN	U-06-29-20-1ME-000000-00003.2
Folio	040415-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1248 MIXED USE WAREHSE
Plat Book/Page	27/98
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1ME STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$2,019,291	\$1,936,119	\$0	\$1,936,119
Public Schools	\$2,019,291	\$2,019,291	\$0	\$2,019,291
Municipal	\$2,019,291	\$1,936,119	\$0	\$1,936,119
Other Districts	\$2,019,291	\$1,936,119	\$0	\$1,936,119

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3920 / 0330		03	1982	WD	Qualified	Improved	\$250,000
3103 / 1919		01	1976	FD	Unqualified	Improved	\$100
2883 / 0404		01	1974	FD	Qualified	Improved	\$12,333

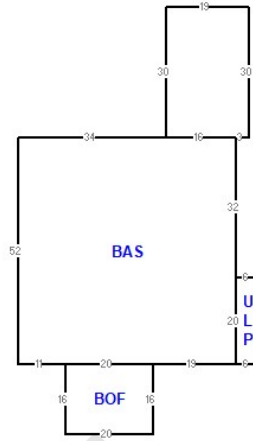
Building Information

Building 1

Type	67 SERVICE/REPAIR SHOP
Year Built	1952

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	10.00	



Building 1 subarea

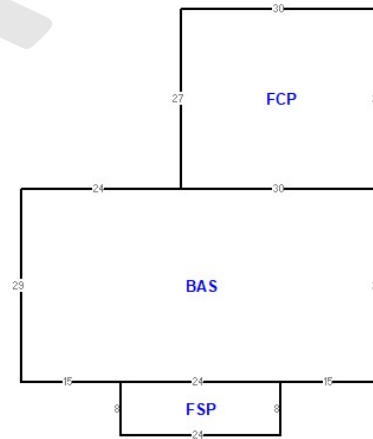
Area Type	Gross Area	Heated Area	Depreciated Value
CLP	570		\$4,278
BAS	2,600	2,600	\$32,521
BOF	320	320	\$6,404
ULP	120		\$450
Totals	3,610	2,920	\$43,653

Building 2

Type	01 SINGLE FAMILY
Year Built	1958

Building 2 Construction Details

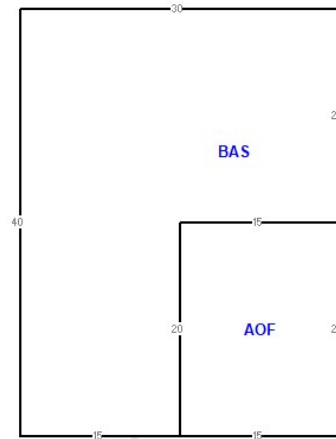
Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	3.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 2 subarea

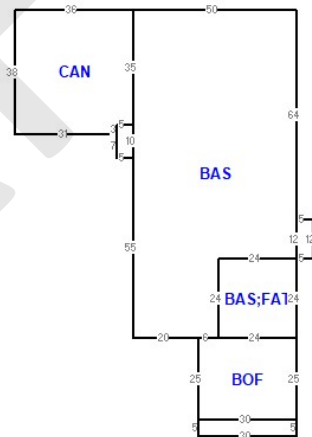
Area Type	Gross Area	Heated Area	Depreciated Value
FCP	810		\$11,660
BAS	1,566	1,566	\$90,393
FSP	192		\$3,348
Totals	2,568	1,566	\$105,401

Building 3		
Type	06 RENTAL UNIT	
Year Built	1986	
Building 3 Construction Details		
Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Architectural Style	0	Not Assigned
Condition	3	Average
Stories	1.0	
Units	2.0	
Bathrooms	1.0	
Bedrooms	1.0	



Building 3 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	900	900	\$29,238
AOF	300	300	\$9,746
Totals	1,200	1,200	\$38,984

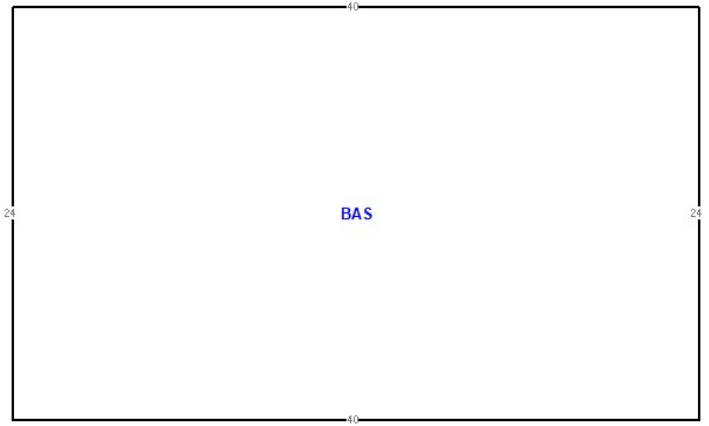
Building 4		
Type	84 WRHSE - STORAGE	
Year Built	1982	
Building 4 Construction Details		
Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	5	Concrete Block
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	18.00	



Building 4 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	4,424	4,424	\$95,654
CAN	1,353		\$8,778
UST	50		\$541
BOF	750	750	\$25,946
CAN	150		\$973
BAS	576	576	\$12,454
FAT	576		\$2,486
UST	60		\$649
Totals	7,939	5,750	\$147,481

Building 5	
Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	1985

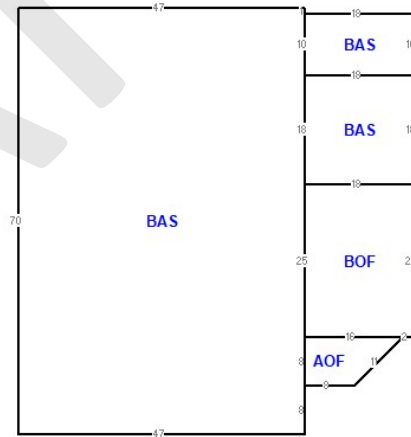
Building 5 Construction Details		
Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 5 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	960	960	\$18,507
Totals	960	960	\$18,507

Building 6	
Type	67 SERVICE/REPAIR SHOP
Year Built	1955

Building 6 Construction Details		
Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 6 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	180	180	\$2,082
BAS	3,290	3,290	\$38,046
AOF	96	96	\$2,336
BOF	450	450	\$8,326
BAS	324	324	\$3,747
Totals	4,340	4,340	\$54,537

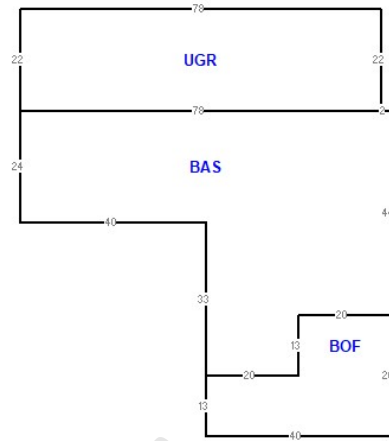
Building 7

Type 84 | WRHSE - STORAGE

Year Built 1986

Building 7 Construction Details

Element Class	Code	Construction Detail
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 7 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
UGR	1,716		\$26,027
BAS	2,980	2,980	\$90,397
BOF	780	780	\$37,857
Totals	5,476	3,760	\$154,281

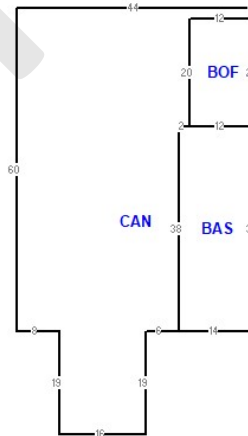
Building 8

Type 87 | PREFAB MTL BLD

Year Built 1982

Building 8 Construction Details

Element Class	Code	Construction Detail
Exterior Wall	12	Metal
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Wall Height	14.00	
Units	1.0	



Building 8 subarea

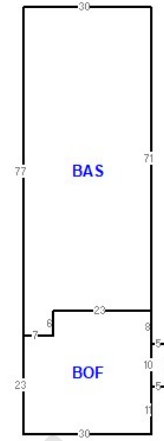
Area Type	Gross Area	Heated Area	Depreciated Value
CAN	2,172		\$6,052
BAS	532	532	\$4,938
BOF	240	240	\$3,564
Totals	2,944	772	\$14,554

Building 9

Type	87 PREFAB MTL BLD
Year Built	2001

Building 9 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	14.00	



Building 9 subarea

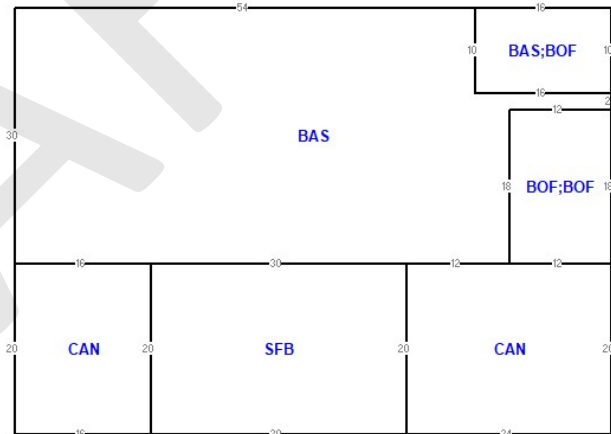
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,172	2,172	\$50,113
BOF	828	828	\$30,571
CNB	50		\$115
Totals	3,050	3,000	\$80,799

Building 10

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	2001

Building 10 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	14.00	



Building 10 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	160	160	\$8,552
BOF	160	160	\$13,684
BAS	1,724	1,724	\$92,153
CAN	320		\$5,131
SFB	600	600	\$27,261
CAN	480		\$7,697
BOF	216	216	\$18,495
BOF	216	216	\$18,495
Totals	3,876	3,076	\$191,468

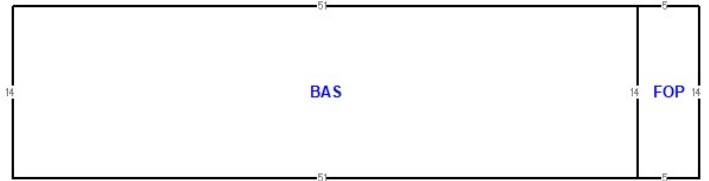
Building 11

Type 02 | MANUFACTURED HOME (AYB > 1976)

Year Built 1990

Building 11 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	1.0	



Building 11 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FOP	70		\$445
BAS	714	714	\$17,633
Totals	784	714	\$18,078

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	1982	0	0	21,490.00	\$21,167
0260	FENCE CL6	0	1985	0	0	3,150.00	\$24,885
0060	CONCRETE PAVEMENT	1	1985	0	0	2,013.00	\$6,583
0020	ASPHALT PAVING	2	2007	0	0	3,598.00	\$3,109
0060	CONCRETE PAVEMENT	2	2007	0	0	129.00	\$368
0430	GARAGE METAL	2	2007	20	20	400.00	\$5,856
0651	SHED NOT PERMANENTLY AFFIXED	2	2007	0	0	2.00	\$0
0060	CONCRETE PAVEMENT	3	2007	0	0	2,270.00	\$7,932
0060	CONCRETE PAVEMENT	4	2007	30	15	450.00	\$1,714
0060	CONCRETE PAVEMENT	7	2007	0	0	3,270.00	\$8,021
0680	BARN POLE	11	2007	29	27	783.00	\$1,668
0060	CONCRETE PAVEMENT	9	2007	0	0	1,840.00	\$7,254
0460	CARPORT	9	2007	20	20	400.00	\$3,040
0460	CARPORT	9	2007	20	20	400.00	\$3,040
0460	CARPORT	9	2007	20	20	400.00	\$3,040
0651	SHED NOT PERMANENTLY AFFIXED	9	2007	0	0	1.00	\$0
0060	CONCRETE PAVEMENT	10	2007	0	0	1,470.00	\$5,795
0060	CONCRETE PAVEMENT	11	2007	20	20	400.00	\$1,747
0460	CARPORT	10	2011	16	20	320.00	\$2,432
0460	CARPORT	10	2011	16	20	320.00	\$2,432
0460	CARPORT	10	2011	16	20	320.00	\$2,432
0460	CARPORT	2	2015	20	18	360.00	\$4,487
0460	CARPORT	3	2015	20	20	400.00	\$4,986
0630	UTILITY METAL	3	2015	20	8	160.00	\$3,553
0430	GARAGE METAL	11	2015	40	30	1,200.00	\$26,645
0060	CONCRETE PAVEMENT	11	2015	30	8	240.00	\$1,304

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	PD	0.0	0.0	SF SQUARE FEET	382,398.00	\$998,059

Legal Description

STATE HIGHWAY FARMS W 1/4 OF LOT 3 LESS HWY & E 1/4 OF LOT 4 LESS HWY AND S 570 FT OF W 3/4 OF LOT 4 LESS N 156 OF S 570 FT OF W 1/2 OF E 1/2 OF TRACT 4

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
110987	Hillsborough	O - Out Of Business	NA		2906816	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Capri Kitchens By Billy B Isom	9507 E Hillsborough Ave Tampa, FL 33610	9507 E Hillsborough, Business 1 Tampa, 33610	Bill Isom	Owner	(813) 623-1424				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
2434 - Manufacturing - Wood Kitchen Cabinets	N - NOT A HAZARDOUS WASTE GENERATOR		P - Verification By Phone Call	4/13/2020	Lopez	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		1/6/2021 10:38:16 AM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 112

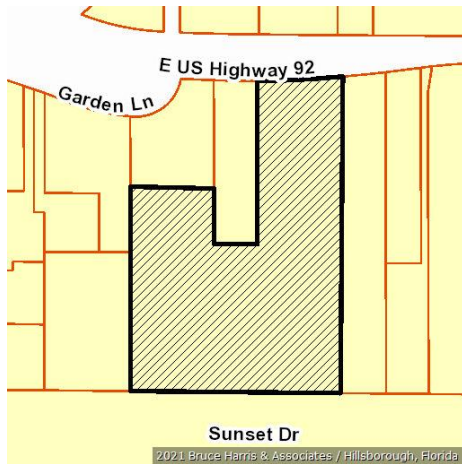
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 040415-0000



Owner Information

Owner Name	CAPRI KITCHENS INC
Mailing Address	805 LAKESIDE DR SEFFNER, FL 33584-5125
Site Address	9601 E 92 HWY, TAMPA
PIN	U-06-29-20-1ME-000000-00003.2
Folio	040415-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1248 MIXED USE WAREHSE
Plat Book/Page	27/98
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1ME STATE HIGHWAY FARMS

Value Summary

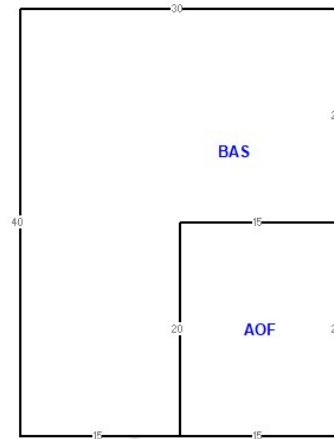
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$2,019,291	\$1,936,119	\$0	\$1,936,119
Public Schools	\$2,019,291	\$2,019,291	\$0	\$2,019,291
Municipal	\$2,019,291	\$1,936,119	\$0	\$1,936,119
Other Districts	\$2,019,291	\$1,936,119	\$0	\$1,936,119

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

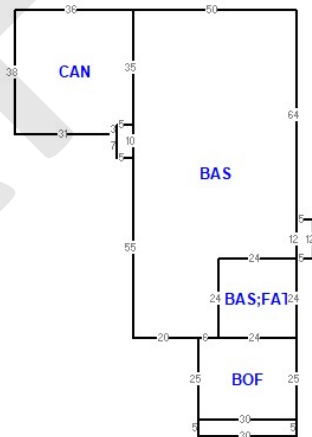
Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3920 / 0330		03	1982	WD	Qualified	Improved	\$250,000
3103 / 1919		01	1976	FD	Unqualified	Improved	\$100
2883 / 0404		01	1974	FD	Qualified	Improved	\$12,333

Building 3		
Type	06 RENTAL UNIT	
Year Built	1986	
Building 3 Construction Details		
Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Architectural Style	0	Not Assigned
Condition	3	Average
Stories	1.0	
Units	2.0	
Bathrooms	1.0	
Bedrooms	1.0	



Building 3 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	900	900	\$29,238
AOF	300	300	\$9,746
Totals	1,200	1,200	\$38,984

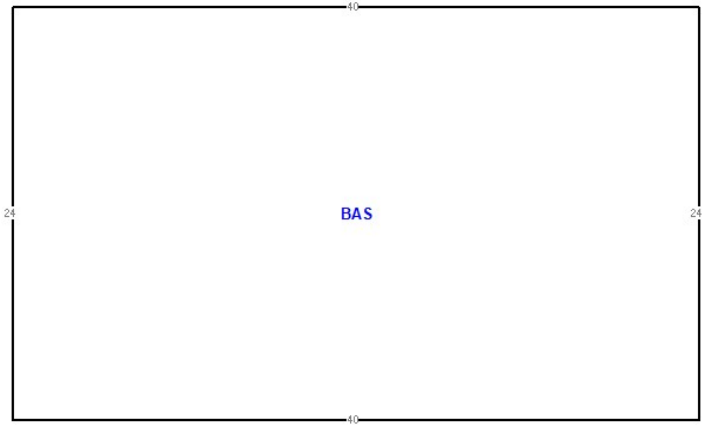
Building 4		
Type	84 WRHSE - STORAGE	
Year Built	1982	
Building 4 Construction Details		
Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	5	Concrete Block
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	4	Blt.up Tar & Gravel
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	18.00	



Building 4 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	4,424	4,424	\$95,654
CAN	1,353		\$8,778
UST	50		\$541
BOF	750	750	\$25,946
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BAS	576	576	\$12,454
FAT	576		\$2,486
UST	60		\$649
Totals	7,939	5,750	\$147,481

Building 5	
Type	02 MANUFACTURED HOME (AYB > 1976)
Year Built	1985

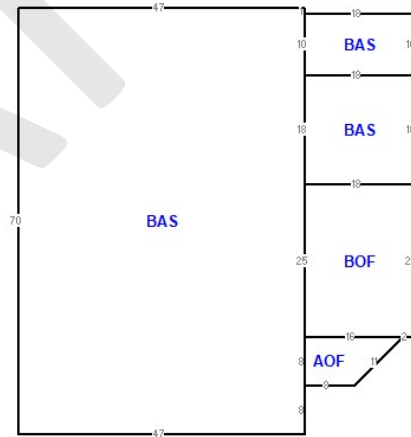
Building 5 Construction Details		
Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 5 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	960	960	\$18,507
Totals	960	960	\$18,507

Building 6	
Type	67 SERVICE/REPAIR SHOP
Year Built	1955

Building 6 Construction Details		
Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 6 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	180	180	\$2,082
BAS	3,290	3,290	\$38,046
AOF	96	96	\$2,336
BOF	450	450	\$8,326
BAS	324	324	\$3,747
Totals	4,340	4,340	\$54,537

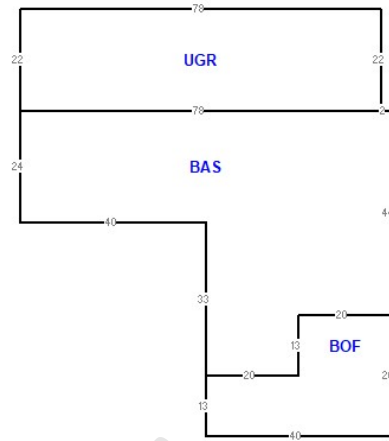
Building 7

Type 84 | WRHSE - STORAGE

Year Built 1986

Building 7 Construction Details

Element Class	Code	Construction Detail
Exterior Wall	7	Masonry Frm: Stucco
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 7 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
UGR	1,716		\$26,027
BAS	2,980	2,980	\$90,397
BOF	780	780	\$37,857
Totals	5,476	3,760	\$154,281

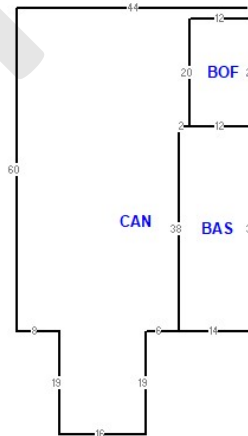
Building 8

Type 87 | PREFAB MTL BLD

Year Built 1982

Building 8 Construction Details

Element Class	Code	Construction Detail
Exterior Wall	12	Metal
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Wall Height	14.00	
Units	1.0	



Building 8 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	2,172		\$6,052
BAS	532	532	\$4,938
BOF	240	240	\$3,564
Totals	2,944	772	\$14,554

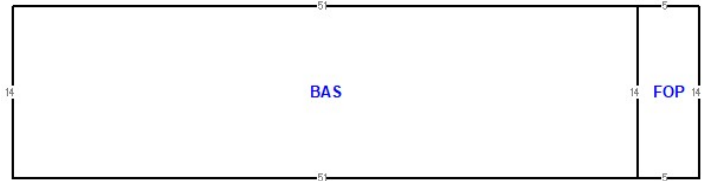
Building 11

Type 02 | MANUFACTURED HOME (AYB > 1976)

Year Built 1990

Building 11 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	1.0	



Building 11 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FOP	70		\$445
BAS	714	714	\$17,633
Totals	784	714	\$18,078

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	1982	0	0	21,490.00	\$21,167
0260	FENCE CL6	0	1985	0	0	3,150.00	\$24,885
0060	CONCRETE PAVEMENT	1	1985	0	0	2,013.00	\$6,583
0020	ASPHALT PAVING	2	2007	0	0	3,598.00	\$3,109
0060	CONCRETE PAVEMENT	2	2007	0	0	129.00	\$368
0430	GARAGE METAL	2	2007	20	20	400.00	\$5,856
0651	SHED NOT PERMANENTLY AFFIXED	2	2007	0	0	2.00	\$0
0060	CONCRETE PAVEMENT	3	2007	0	0	2,270.00	\$7,932
0060	CONCRETE PAVEMENT	4	2007	30	15	450.00	\$1,714
0060	CONCRETE PAVEMENT	7	2007	0	0	3,270.00	\$8,021
0680	BARN POLE	11	2007	29	27	783.00	\$1,668
0060	CONCRETE PAVEMENT	9	2007	0	0	1,840.00	\$7,254
0460	CARPORT	9	2007	20	20	400.00	\$3,040
0460	CARPORT	9	2007	20	20	400.00	\$3,040
0460	CARPORT	9	2007	20	20	400.00	\$3,040
0651	SHED NOT PERMANENTLY AFFIXED	9	2007	0	0	1.00	\$0
0060	CONCRETE PAVEMENT	10	2007	0	0	1,470.00	\$5,795
0060	CONCRETE PAVEMENT	11	2007	20	20	400.00	\$1,747
0460	CARPORT	10	2011	16	20	320.00	\$2,432
0460	CARPORT	10	2011	16	20	320.00	\$2,432
0460	CARPORT	10	2011	16	20	320.00	\$2,432
0460	CARPORT	2	2015	20	18	360.00	\$4,487
0460	CARPORT	3	2015	20	20	400.00	\$4,986
0630	UTILITY METAL	3	2015	20	8	160.00	\$3,553
0430	GARAGE METAL	11	2015	40	30	1,200.00	\$26,645
0060	CONCRETE PAVEMENT	11	2015	30	8	240.00	\$1,304

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	PD	0.0	0.0	SF SQUARE FEET	382,398.00	\$998,059

Legal Description

STATE HIGHWAY FARMS W 1/4 OF LOT 3 LESS HWY & E 1/4 OF LOT 4 LESS HWY AND S 570 FT OF W 3/4 OF LOT 4 LESS N 156 OF S 570 FT OF W 1/2 OF E 1/2 OF TRACT 4

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
111731	Hillsborough	P - Potential Generator			2906663	S - Not Notified Or Surveyed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Counter Tops Inc	9511 E Hillsborough Ave Tampa, FL 33610	9511 Hillsborough Tampa, 33610	Unknown	Unknown	(813) 272- 5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
0011 - Unknown	- Unverified Generator Status	0	C - County/Rpc Sources	8/18/1989	Unknown				
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:04:51 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/ Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 113

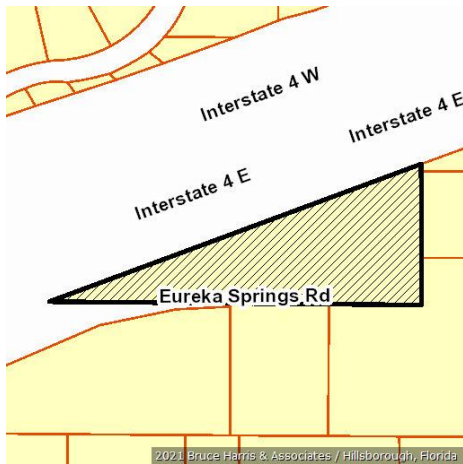
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 040555-0000



Owner Information

Owner Name	HILLSBOROUGH COUNTY
Mailing Address	REAL ESTATE DEPT PO BOX 1110 TAMPA, FL 33601-1110
Site Address	5288 EUREKA SPRINGS RD, TAMPA
PIN	U-31-28-20-1MG-000000-00054.0
Folio	040555-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	8600 COUNTY OWNED
Plat Book/Page	26/12
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1MG STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$240,486	\$240,486	\$240,486	\$0
Public Schools	\$240,486	\$240,486	\$240,486	\$0
Municipal	\$240,486	\$240,486	\$240,486	\$0
Other Districts	\$240,486	\$240,486	\$240,486	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3082 / 1391		01	1900		Qualified		\$0

Building Information

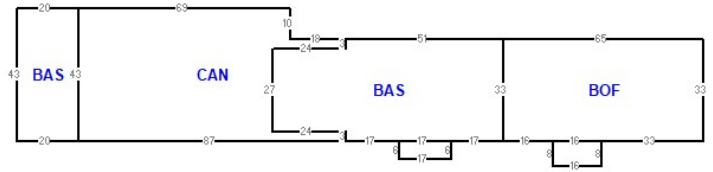
Building 1

Type 84 | WRHSE - STORAGE

Year Built 1957

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	5	Drywall
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	10.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BOF	2,145	2,145	\$46,703
BAS	2,331	2,331	\$31,720
CAN	2,913		\$11,893
BAS	860	860	\$11,703
CAN	102		\$422
CAN	128		\$517
Totals	8,479	5,336	\$102,958

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0520	CANOPY	1	2004	20	20	400.00	\$2,480
0020	ASPHALT PAVING	1	2004	0	0	6,703.00	\$6,394
0060	CONCRETE PAVEMENT	1	2004	0	0	2,416.00	\$6,754
0260	FENCE CL6	1	2004	0	0	1,600.00	\$12,640
0530	CANOPY COMMERCIAL	1	2004	0	0	1,600.00	\$33,997
0530	CANOPY COMMERCIAL	1	2004	0	0	1,220.00	\$25,923
0620	UTILITY WOOD	1	2004	21	20	420.00	\$4,586
1040	TANK SMALL FUEL	1	2006	0	0	500.00	\$660
1040	TANK SMALL FUEL	1	2006	0	0	550.00	\$726

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
99FB	Acreage Class 4	AR	266.00	343.00	AC ACREAGE	2.09	\$43,368

Legal Description

STATE HIGHWAY FARMS LOT BEG 759.04 FT N OF SW COR OF TRACT 54 AND RUN E 250 FT S 180 FT E 632.64 FT TO E LINE OF TRACT 55, N TO N LINE OF TRACT 55, W ON N LINE OF TRACTS 55 AND 54 674.63 FT AND S TO BEG LESS HWY AND LESS PLATTED PORTION EUREKA HOMES

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
107133	Hillsborough	A - Active - Waste Generator			2904630	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Hillsborough County Parks And Recreation	5288 Eureka Springs Rd Tampa, FL 33610	5288 Eureka Springs Tampa, 33610	Denny Holt	2nd In Charge	(813) 744-5763				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
9199 - Public Admin. - Genral Government, Nec	3 - Cond Exempt Small Quantity Generator	32	V - Verification By On-Site Visit	10/21/2003	Mcginnis	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
12		3/30/2005 6:57:59 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
HRLG - Absorbents With Halogenated Solvents	OL - Solid Waste Container	SF - Solid Waste Incinerator (Wte)	.83 (POUNDS)	1	10	Off-Site	Y	Y	Y
Comments: Hillsborough County Solid Waste									
LDEB - Fluorescent Lamps/Devices	OL - Solid Waste Container	SF - Solid Waste Incinerator (Wte)	.55 (POUNDS)	1	7	Off-Site	Y	Y	Y
Comments: Broken And Placed In Hillsborough County Dumpster									
PMIP - Ignitable Paint Wastes - Flashpoint < 140 F	C1 - 0-9 Gallon Container	AN - Accumulation - No Management Plan	1.31 (POUNDS)	1	16	Off-Site	N	Y	Y
Comments: Stored In The Paint Room Without Any Plan To Get Rid Of It. Two 1-Gallon Cans									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 114

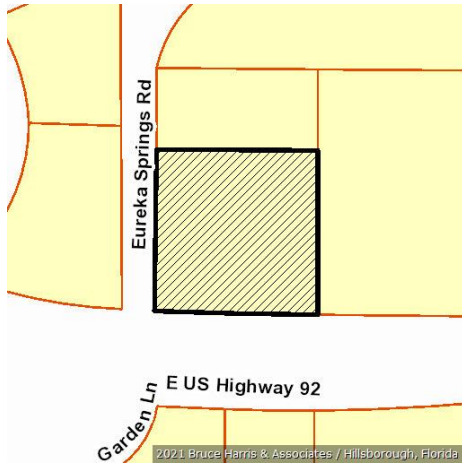
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 040562-0000



Owner Information

Owner Name	T T & J OF TAMPA INC
Mailing Address	9602 E US HIGHWAY 92 TAMPA, FL 33610-5928
Site Address	9600 E 92 HWY, TAMPA
PIN	U-06-29-20-1MG-000000-00054.3
Folio	040562-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	2754 AUTO REPAIR D
Plat Book/Page	26/12
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1MG STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$190,147	\$178,047	\$0	\$178,047
Public Schools	\$190,147	\$190,147	\$0	\$190,147
Municipal	\$190,147	\$178,047	\$0	\$178,047
Other Districts	\$190,147	\$178,047	\$0	\$178,047

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
20876 / 1709	2011419724	12	2011	TR	Unqualified	Improved	\$100
19732 / 1573	2010062714	02	2010	WD	Unqualified	Improved	\$100
3576 / 1085		10	1979	WD	Qualified	Improved	\$55,000
2265 / 0023		01	1971		Qualified		\$20,000
2265 / 0022		01	1971		Unqualified		\$100

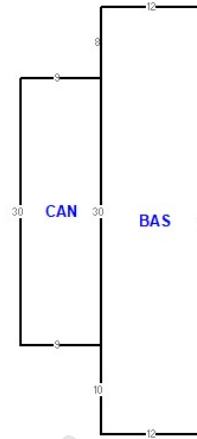
Building Information

Building 1

Type	08 MOBILE HOME (AYB < 1977)
Year Built	1975

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	12	Metal
Roof Structure	1	Flat
Roof Cover	1	Minimum
Interior Walls	4	Plywood paneling
Interior Flooring	8	Carpet
Heat/AC	1	Non-Ducted
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Bedrooms	2.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	576	576	\$5,449
CAN	270		\$766
Totals	846	576	\$6,215

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0470	OPEN SHED	0	1986	19	29	551.00	\$2,579
0260	FENCE CL6	0	2006	0	0	880.00	\$4,171
0680	BARN POLE	0	2006	46	46	2,116.00	\$4,507
0020	ASPHALT PAVING	0	2007	0	0	30,000.00	\$27,475

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	CG	220.00	220.00	SF SQUARE FEET	48,400.00	\$145,200

Legal Description

STATE HIGHWAY FARMS W 1/2 OF S 332.56 FT OF LOT 54 LESS HWY AND LESS N 105 FT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems
Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 09/07/2006
Facility Name: STEPPS TOWING SERVICE OF TAMPA Facility Type: C - Fuel user/Non-retail
Latitude: 27° 59' 43.4344" # Of Inspected ASTs: 1
Longitude: 82° 20' 38.193" USTs: 0
L/L Method: DPHO Mineral Acid Tanks: 0

Inspection Result

Result : In Compliance
Description: Facility is in compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: Insurance
Insurance Carrier: Commerce & Industry
Effective Date: 07/13/2006 Expiration Date: 07/13/2007

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

HECTOR DIAZ
Inspector Name

Todd Stepp
Facility Representative Name


Inspector Signature

No signature available
Facility Representative Signature

Reviewed Records

Record Category	Record Type	From Date	To Date
Two Years	Monthly Release Detection Results	09/22/2005	09/07/2006
Life Time	Written Release Detection Response Level Info	09/07/2006	09/07/2007
Two Years	Certificate of Financial Responsibility	07/13/2006	07/13/2007
Two Years	Monthly Maint. Visual Examinations and Results	09/22/2005	09/07/2006

Inspection Comments

09/10/2006 Met Mr. Todd Stepp For Inspection.

Release Detection: Monthly Visual Inspections: Tank/Piping/Dispenser Liner/Interstitial Monitor Port.

Tanks: (1) 8,000 Gallon Double Coated Ast Resting On A Stable Foundation. Equipment Noted:

- Normal Vent
- Emergency Vent
- Sight Gauge (Fuel Level)
- Tank Labeling
- Tight Fill
- Remote Fill Within Enclosure
- Overfill (Gauge)
- Interstitial Monitor Port With Gauge (Apparently Dry)
- Electrical Grounding
- All Aboveground Piping
- Anti-Siphon Valve
- Manual Check Valve
- Dispenser With Liner (Dry)
- Comments: No Apparent Leaks Or Corrosion Noted

Records:

- Placard: On Site, Current.
- Rdrl: On Site, Current.
- Cfr: On Site, Current.
- Financial Responsibility: On Site, Current.
- Monitor Records: 9/05 Inspection To Present Reveal No Positive Responses. All Required Items Checked Monthly.

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 11/30/2007
Facility Name: STEPPS TOWING SERVICE OF TAMPA Facility Type: C - Fuel user/Non-retail
9602 E HWY 92 # Of Inspected ASTs: 1
TAMPA, FL 33610 USTs: 0
Latitude: 27° 59' 43.4344" Mineral Acid Tanks: 0
Longitude: 82° 20' 38.193"
L/L Method: DPHO

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 07/13/2007 Expiration Date: 07/13/2008

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

CHRISTY JACOBS

Inspector Name

Inspector Signature

(813) 627-2600

Storage Tank Program Office Phone Number

Mailed to Mr. Jim Stepp on 12/18/07

Facility Representative Name

No signature available

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
-----------	----------	----------------	--------

Overdue Tests

Annual Operability Test 11/30/2007

Reviewed Records

Record Category	Record Type	From Date	To Date
Two Years	Monthly Maint. Visual Examinations and Results	10/30/2006	11/26/2007
Life Time	Written Release Detection Response Level Info	11/30/2007	11/30/2007
Two Years	Certificate of Financial Responsibility	07/13/2007	07/13/2008

New Violations

Significance Name: Minor
 Rule Number(s): 62-762.701(1)(c)2.
 Violation Text: Not ensured volume available in tank is greater than the volume transferred and/or failure to monitor during product transfer operation.
 Explanation: Failure to install overflow protection that will ensure volume available in the tank is greater than the volume of regulated substance to be transferred to tank to prevent overflowing and spilling
 Corrective Action: Immediately install an approved method of overflow prevention. Submit method for approval from EPC prior to installation

Significance Name: Minor
 Rule Number(s): 62-762.711(2)(a), 62-762.711(2)(b), 62-762.711(2)(c), 62-762.711(2)(d), 62-762.711(2)(e), 62-762.711(2)(f), 62-762.711(2)(g), 62-762.711(2)(h)
 Violation Text: Records requiring 2 year documentation period not kept by facility.
 Explanation: Maintain records of release detection not to exceed 35 days
 Corrective Action: Submit to EPC records of release detection to include monthly visual inspections for Dec '07 and Jan '08 and the annual operability test on Krueger gauge sensor. Call EPC for inspection for overflow and dispenser check

Significance Name: Minor
 Rule Number(s): 62-762.701(1)(c)3.
 Violation Text: Release detection devices not tested annually.
 Explanation: Failure to perform the annual operability test on Krueger leak sensor
 Corrective Action: Immediately perform the operability test on sensor located in the tank interstitial space. If performing test by in-house staff, EPC must be on site to observe. If test is being performed by contractor, provide EPC with copy of test on company's letterhead.

Significance Name: Minor
 Rule Number(s): 62-762.641(2)(e)
 Violation Text: Problems found during visual inspections not noted.
 Explanation: No key available to inspect dispenser. Per operator key is with fuel delivery company - Fuel man
 Corrective Action: Obtain key for access to dispenser. Call EPC for re-inspection

Inspection Comments

11/30/2007 LOCATION: HWY 92 E/ (Hillsborough Ave)/I-4

On 11/30/07 - TC/CJ - I met with Jim Stepp, Owner, and Lisa Bostaph, for the Annual Compliance Inspection.

RELEASE DETECTION:

- Monthly visual inspections of tank system and components
- Visual monitoring of tank interstice

TANK(S): (1) 10,000 gallon Porta Tank (EQ#-207) double-walled AST. Tank is located on a concrete pad and pervious surface

Inspection Comments

equipped with:

- Product label - Diesel on spill containment
- (1) Normal vent run covered top
- (1) Emergency vent
- Visual interstitial monitoring of Krueger gauge northwest end of tank - NEEDS ANNUAL OPERABILITY TEST
- Overfill protection Manual tank gauging being used - NEED USE AN APPROVED METHOD FOR HIGH PRESSURE FUELING
- Remote fill in spill containment
- Exterior coating NEEDED ON NOMAL VENT & OTHER AREAS
- Electrical grounding present
- Aboveground piping w/anti-siphon valve at top of the tank, manual isolation valve on piping to dispenser, and ball valve to remote fill

No obvious signs of leakage noted

DISPENSERS: (1) NO KEY AVAILABLE

RECORDS:

Current registration placard: (1) tank 6/14/07 - 6/30/08

Insurance: Commerce & Industry 7/13/07 7/13/08

Certificate of Financial Responsibility Form (CFR): On site

Monthly monitoring records 10/30/06 - 11/26/07 reviewed and includes:

- Visual inspections of tank system and components
- Visual inspection of Krueger interstitial gauge
- Inspections NOT performed within 35 days

Problems noted during inspection

Release Detection Response Level Statement present, current and accurate

Inspection Attachments

01. Tank, dispenser, & remote fill
(southend) 11/30/07



02. piping rusted 11/30/07



Inspection Attachments

02. piping rusted 11/30/07



03. Piping run to dispenser and remote fill (southend)



04. Tank covered, interstitial gauge on northwest (northend) 11/30/07



DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Re-Inspection Site Inspection

Facility Information

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 03/05/2008
Facility Name: STEPPS TOWING SERVICE OF TAMPA Facility Type: C - Fuel user/Non-retail
9602 E HWY 92 # Of Inspected ASTs: 1
TAMPA, FL 33610 USTs: 0
Latitude: 27° 59' 43.4344" Mineral Acid Tanks: 0
Longitude: 82° 20' 38.193"
L/L Method: DPHO

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 07/13/2007 Expiration Date: 07/13/2008

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

CHRISTY JACOBS

Mailed to Mr. Jon Roy on 3/06/08

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

COMMISSION
KEVIN BECKNER
ROSE V. FERLITA
KEN HAGAN
AL HIGGINBOTHAM
JIM NORMAN
MARK SHARPE
KEVIN WHITE



ROGER P. STEWART CENTER
3629 Queen Palm Dr. · Tampa, FL 33619
Ph: (813) 627-2600

FAX NUMBERS (813):
ADMIN 627-2620 WASTE 627-2640
LEGAL 627-2602 WETLANDS 627-2630
WATER 627-2670 ERM 627-2650
AIR 627-2660 LAB 635-8061

Executive Director
RICHARD D. GARRITY, Ph.D

September 20, 2010

Todd Stepp
Stepps Towing Service of Tampa
9602 E. Hwy 92
Tampa, FL 33610

Hillsborough County – Regulated Storage Tanks
Stepps Towing Service of Tampa
9602 E. Hwy 92
DEP Facility # 9502640
Chapter 62-761, FAC, Closure Assessment Report - Review

Dear Mr. Stepp,

The Environmental Protection Commission (EPC) is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Verification Program for facilities located in Hillsborough County. The EPC has reviewed the Closure Assessment Report that was submitted by Martin O. Klein, P.A. and received on June 14, 2010 for the above referenced facility. The report appears to comply with the Department's April 1998 "Storage Tank Closure Assessment Requirements".

However, within 30 days, please send the following required information to my attention by faxing to (813) 627-2640 or mailing to EPCHC, 3629 Queen Palm Drive, Tampa, FL 33619:

- Manifest for the disposal of the storage tank

The results as provided in the Closure Assessment Report do not indicate the presence of petroleum contamination in the area addressed in excess of Department Cleanup Target Levels. Please note that this letter does not certify that this site is not contaminated, and the Department reserves the right to require appropriate actions for this site in accordance with Chapter 62-770, Florida Administrative Code (FAC), if any contamination is discovered in the future in excess of Department Cleanup Target Levels.

www.epchc.org
E-Mail: epcinfo@epchc.org



September 20, 2010

Page 2

If you have any questions please contact me at (813) 627-2600 Ext. 1227.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Sylvain".

Monica Sylvain
General Manager
STC Department/WMD

xc: Martin O. Klein, P.A.

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 09/23/2010
Facility Type: C -Fuel user/Non-retail
Facility Name: STEPPS TOWING SERVICE OF TAMPA # Of Inspected ASTs: 1
9602 E HWY 92 USTs: 0
TAMPA, FL 33610 Mineral Acid Tanks: 0
Latitude: 27° 59' 43.4344"
Longitude: 82° 20' 38.193"
LL Method: AGPS

Inspection Result:

Result : In Compliance
Description: Facility is In Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 07/13/2010 Expiration Date: 07/13/2011

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Christie Jacobs
INSPECTOR NAME

Mailed to: Todd Stepp
REPRESENTATIVE NAME

INSPECTOR SIGNATURE

NO SIGNATURE
REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
------	----------------	---------	----------	---------------	---------

Completed Tests

Annual Operability Test	03/18/2009	Passed	09/29/2010	03/05/2009	
Annual Operability Test	03/18/2009	Passed	09/29/2010	03/18/2010	
Annual Operability Test	03/09/2010	Passed	09/29/2010	03/09/2011	
Annual Operability Test	03/05/2008	Passed	08/14/2008	11/30/2007	
Annual Operability Test	03/05/2008	Passed	08/07/2008	03/05/2009	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/13/2010	07/13/2011	
Life Time	Written Release Detection Response Level Info	09/23/2010	09/23/2010	
Two Years	Monthly Maint. Visual Examinations and Results	09/05/2009	09/06/2010	

Inspection Comments

09/23/2010

LOCATION: HWY 92 E/ (Hillsborough Ave)/I-4

On 9/23/10 - 11:00 - TCI/CJ - I met with Todd Stepp, President, to conduct the Annual Compliance Inspection.

TANK: (1) 8,000 gallon Porta Tank (EQ#-207) double-walled AST with all aboveground piping.

RELEASE DETECTION:

- Visual inspections of tank's system, component, and dispenser/liner
- Visual inspection of Krueger Sentry Leak Gauge (EQ-#675) - Type K in normal position

Tank is located on a concrete pad and pervious surface equipped with:

- Product label - Diesel on spill containment
- (1) Normal vent run through covered top
- (1) Emergency vent
- Visual interstitial monitoring of Krueger Sentry Leak Gauge - Type K (northwest end of tank)
- Overfill protection - 918 Morrison Clock Gauge with Alarm System (EQ-#527) operable
- Remote fill located in spill containment
- Exterior coating - appeared good
- Electrical grounding present
- Aboveground piping w/anti-siphon valve at top of the tank, manual isolation valve on piping to dispenser, and ball valve to remote fill

No obvious signs of leakage noted

Inspection Comments

DISPENSER: Tokheim (1)

- Liner appeared dry and intact
- Shear valve anchored
- Hoses/nozzles - appeared in good condition

No obvious signs of leakage noted

RECORDS:

Current Registration Placard: 5/27/10 - 6/30/11 (1) Tank

Insurance: Commerce & Industry 7/13/10 - 7/13/11

Certificate of Financial Responsibility Form (CFR): current and on site

Monthly monitoring records for period 9/05/09 - 9/06/10 reviewed and included:

- Visual inspections of tank's system, component, and dispenser/liner
- Visual inspection of Krueger Sentry Leak Gauge - Type K
- Inspections performed within 35 days
- No problems noted

Last Annual Operability Test - Krueger Leak Gauge replaced: 3/09/10

Next Annual Operability past due: 3/09/11

Written Release Detection Response Level (RDRL) statement present, current and accurate

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 02/14/2012
 Facility Type: C -Fuel user/Non-retail
 Facility Name: STEPPS TOWING SERVICE OF TAMPA # Of Inspected ASTs: 1
 9602 E HWY 92 USTs: 0
 TAMPA, FL 33610 Mineral Acid Tanks: 0
 Latitude: 27° 59' 43.4344"
 Longitude: 82° 20' 38.193"
 LL Method: DPHO

Inspection Result:

Result : Minor Out of Compliance
 Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
 Insurance Carrier: COMMERCE & INDUSTRY
 Effective Date: 07/13/2011 Expiration Date: 07/13/2012

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Andrea Murley
 INSPECTOR NAME

emailed to Todd Stepp
 REPRESENTATIVE NAME

Andrea Murley
 INSPECTOR SIGNATURE

NO SIGNATURE
 REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
------	----------------	---------	----------	---------------	---------

Completed Tests

Annual Operability Test	03/09/2010	Passed	09/29/2010	03/09/2011	
Annual Operability Test	06/20/2011	Passed	02/28/2012	06/20/2012	
Annual Operability Test	11/23/2010	Passed	02/28/2012	11/23/2011	

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/13/2011	07/13/2012	
Two Years	Monthly Maint. Visual Examinations and Results	10/03/2010	02/12/2012	
Life Time	Written Release Detection Response Level Info	02/14/2012	02/14/2012	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-762.501(1)(b)
 Violation Text: AST system exterior coating does not meet standards.
 Explanation: Areas of rust noted on tank system.
 Corrective Action: Areas of rust on tank system must be repainted.

Violation Photos

Added Date 02/28/2012
 2012-02-14 - Rust on tank



Inspection Comments



COMMISSION

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Richard D. Garrity, Ph.D.

March 13, 2014

Mr. Todd Stepp
Stepps Towing Service
6902 E. Hwy 92
Tampa, FL 33610

Chapter(s) 62-761/762 F.A.C. Non-Compliance Letter
Hillsborough County – Regulated Storage Tanks
Stepps Towing Service
6902 E. Hwy 92
Tampa, FL 33610

DEP Facility 299502640

Dear Mr. Stepp:

The Environmental Protection Commission of Hillsborough County is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in Hillsborough County. On 03/04/2014 a Storage Tank Annual Compliance Site inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection you may not be operating in compliance with the requirements of Chapter(s) 62-761/762 Florida Administrative Code (F.A.C.).

Any noncompliance items must be corrected immediately. Please provide a written response to this office within 30 days of receipt of this letter and provide documentation to show that the issues addressed in the enclosed report and in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762 F.A.C. may subject you to penalties of up to 10 000.00 per day per violation in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403 Florida Statutes.

If you have any questions please contact me at (813) 627-2600 ext. 1231 or mcdanielm@epchc.org.

Sincerely

Michael McDaniel
Environmental Supervisor

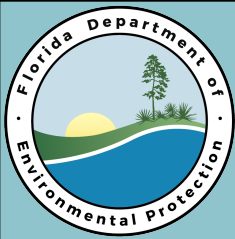
Enclosures (0)

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Roger P. Stewart Center
3629 Queen Palm Drive, Tampa, FL 33619 • (813) 627-2600 • www.epchc.org

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Facility Information:

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 11/06/2017
 Facility Type: C - Fuel user/Non-retail
 Facility Name: STEPPS TOWING SERVICE OF TAMPA # of Inspected ASTs: 1
 9602 E HWY 92 USTs: 0
 TAMPA, FL 33610 Mineral Acid Tanks: 0
 Latitude: 27° 59' 43.4344"
 Longitude: 82° 20' 38.193"
 LL Method: DPHO

Inspection Result:

Result: Minor Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Gabrielle E Nataline

Emailed to John Hutzler on 11/20/2017

Inspector Name

Representative Name

No Signature

Inspector Signature

Representative Signature

Principal Inspector

Steps Environmental Services

HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: COMMERCE & INDUSTRY

Effective Date: 07/13/2017

Expiration Date: 07/13/2018

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	06/13/2015	Passed	11/20/2017	06/13/2016	Performed by Staff.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	07/13/2016	07/13/2017	
Two Years	Monthly Maint. Visual Examinations and Results	11/23/2015	10/13/2017	
Two Years	Certificate of Financial Responsibility	07/13/2017	11/06/2017	

Areas of Concern

Type: Area of Concern

Rule: 62-762.501(3)(d), 62-762.501(3)(d)1., 62-762.501(3)(d)2., 62-762.501(3)(d)3.

Violation Text: Valves not installed as required for small diameter integral piping.

Explanation: Supply line equipped with a manual isolation valve downstream from the anti-siphon valve

Corrective Action: Aboveground tank systems equipped with aboveground piping that produces a gravity head must be equipped with a manual isolation valve upstream and adjacent to the anti-siphon valve. When facility corrects order of valves, EPC must be contacted for an inspection 30-45 days and 48-72 hours prior to initiation of closure and installation activities.

Area of Concern Photos

Facility ID: 9502640

Added Date 11/20/2017

2017-11-06 Valves



New Violations

Type: Violation

Significance: Minor

Rule: 62-762.601(7)

Violation Text: Shop fabricated storage tank system release detection devices not tested annually.

Explanation: Operability testing results for 2016 and 2017 were not available for review.

Corrective Action: Complete operability testing of Krueger at-a-glance leak gauge and submit testing results to EPC for review

Inspection Comments

11/06/2017

2017-11-06 GN met on site with John of Stepps environmental services for compliance inspection of storage tank system

Release detection:

- Visual inspections of tank system and components
- Visual inspections of interstice using a Krueger at-a-glance leak gauge: appeared in normal position

Tank: (1) 8,000 gallon double walled Nogales Highway Iron and Steel AST. Equipped with:

- Product label: diesel
- Normal and emergency venting
- Spill containment bucket: appeared dry and intact
- Drain valve in the closed position

Facility ID: 9502640

- Overfill protection: Morrison clock gauge with high level alarm: appeared operational
 - Aboveground steel supply and return lines: appeared in good condition
 - Supply line equipped with manual isolation downstream to the anti-siphon valve: Aboveground tank systems equipped with aboveground piping that produces a gravity head must be equipped with a manual isolation valve upstream and adjacent to the anti-siphon valve. When facility corrects order of valves, EPC must be contacted for an inspection 30-45 days and 48-72 hours prior to initiation of closure and installation activities.
 - Electrical grounding present
 - Tank exterior: appeared in good condition
- No obvious signs of leakage noted

Dispenser:

- (1) Dispenser/liner: appeared dry and intact
 - Shear valve appeared anchored
 - Hose/nozzle: appeared in good condition
- No obvious signs of leakage

Records:

- Current registration placard: (1) tank
 - Monthly visual inspection logs completed within 35 days and include:
 - Visual inspection of tank system and components
 - Visual inspection of Krueger at-a-glance leak gauge
- No problems noted in logs
- Operability testing results of the Krueger leak gauge for 2016 and 2017 were not available for review. Complete operability testing of Krueger at-a-glance leak gauge and submit testing results to EPC for review

Reminders:

**Overfill protection devices must be tested for operability prior to January 11, 2018 and every 12 months thereafter.

Inspection Photos

Facility ID: 9502640
Added Date 11/20/2017

2017-11-06 Site Photo



DRAFT

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Sam Elrabi, P.E.

12/05/2017

Joe Hutzler
Stepps Environmental Services
5014 N 56th Street
Tampa, FL 33610

RE: **Return to Compliance**
Stepps Towing Services; 9602 E HWY 92
DEP Facility ID#: 29/9502640
Hillsborough County – Storage Tanks

Dear Mr. Joe Hutzler:

The Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection, will not need to issue a Compliance Assistance Offer letter to the above-referenced facility. Based on the findings of the documents received on 12/05/2017, the facility was determined to have returned to compliance with the Department's Storage Tank rules and regulations.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Gabrielle Nataline at 813-627-2600, ext. 1226 and/or natalineg@epchc.org.

Sincerely,

Gabrielle Nataline

Environmental Scientist I

Inspection Comments

02/14/2012

02/14/2012 - AM - Met with Todd Stepp of Stepp's Towing Service, Inc. for the annual compliance inspection.

(1) - 8,000 gallon double-walled Nogales Highway Iron and Steel AST DEP EQ-747 with aboveground steel piping.

Release Detection:

Monthly visual inspections of tank system and components, including dispenser/liner and Krueger interstitial leak gauge DEP EQ-675.

Tank is located on a concrete pad and is equipped with:

- Product label - 1993 label only, recommend on-road diesel label.
- Exterior coating is in poor condition. Areas of rust noted on tank system. Areas of rust on tank system must be repainted.
- Normal and emergency venting. Normal vent through roof/covered tank area.
- Electrical grounding present
- Krueger At-A-Glance Interstitial leak gauge - No leak indicated on leak gauge.
- Overfill protection: Morrison clock gauge (high level marked on gauge) with high level alarm.

Test button pressed, audible alarm functional.

Vent whistle alarm also present.

- Remote fill located within the spill containment box.
- Spill box drain valve is closed.
- All aboveground coated steel piping.
- Mechanical antisiphon valve present on supply line at the top of the tank.
- Manual isolation valve also present on supply line.
- The supply line runs to (1) suction dispenser located next to tank.
- Dispenser liner checked, dry.

Shear valve anchored to dispenser.

Hose/nozzle appears in good condition

No obvious leakage noted.

Unregulated (less than 550 gallon) ASTs also on site:

2 - 125 gallon new oil ASTs

1 - 200 gallon double walled used oil AST

Sizes according to operator, unregulated tanks not inspected.

Records:

-Current registration placard posted - 1 Tank.

-Financial Responsibility: Commerce & Industry Insurance Company 07/13/11 to 07/13/12.

-Certification of Financial Responsibility form complete.

-Monthly visual inspection log reviewed 10/03/10 to 02/12/12. Log includes:

Visual inspections of tank system and components, including checks of the interstitial leak gauge and dispenser liner / hose / nozzle.

No problems noted. Inspections performed within 35 days.

-Release Detection Response Level statement present, complete, and accurate.

-Annual operability test of Krueger interstitial leak gauge was performed by Stepp's Towing personnel 11/23/10 and 06/20/11, next test due 06/20/2012.

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Sandy Murman
Mark Sharpe



Executive Director
Richard D. Garrity, Ph.D.

Roger P. Stewart Center
3629 Queen Palm Dr. Tampa, FL 33619
Ph: (813) 627-2600

Fax Numbers (813):
Admin 627-2620 Waste 627-2640
Legal 627-2602 Wetlands 627-2630
Water 627-2670 Air 627-2660
Lab 635-8061

February 28, 2012

Mr. Todd Stepp
Stepp's Towing Service
9602 East Hwy 92
Tampa, FL 33610

Chapter(s) 62-762, F.A.C., Non-Compliance Letter
Hillsborough County – Regulated Storage Tanks
Stepp's Towing Service
9602 East Hwy 92
Tampa, FL 33610
DEP Facility # 9502640

Dear Mr. Stepp:

The Environmental Protection Commission is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in Hillsborough County. On 02/14/12, a storage tank annual compliance inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may not be operating in compliance with the requirements of Chapter 62-762, Florida Administrative Code (F.A.C.).

Any noncompliance items must be corrected immediately. Please provide a written response to this office within 30 days of receipt of this letter and provide documentation to show that the issues addressed in the enclosed report and in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762, F.A.C., may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

If you have any questions please contact me at (813) 627-2600 Ext. 1228 or Murley@epchc.org.

Sincerely,

Andrea Murley
Environmental Specialist III

Enclosure (1)

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www.epchc.org

E-Mail: epcinfo@epchc.org

AN AFFIRMATIVE ACTION – EQUAL OPPORTUNITY EMPLOYER



Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-
 Division of Waste Management
 Bureau of Petroleum Storage Systems

Storage Tank Facility Re-Inspection Site Inspection Report

Facility Information:

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 03/06/2012
 Facility Type: C -Fuel user/Non-retail
 Facility Name: STEPPS TOWING SERVICE OF TAMPA # Of Inspected ASTs: 1
 9602 E HWY 92 USTs: 0
 TAMPA, FL 33610 Mineral Acid Tanks: 0
 Latitude: 27° 59' 43.4344"
 Longitude: 82° 20' 38.193"
 LL Method: DPHO

Inspection Result:

Result : In Compliance
 Description: Facility is In Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
 Insurance Carrier: COMMERCE & INDUSTRY
 Effective Date: 07/13/2011 Expiration Date: 07/13/2012

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Andrea Murley

INSPECTOR NAME

Andrea Murley

INSPECTOR SIGNATURE

emailed to Todd Stepp

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Operability Test	03/09/2010	Passed	09/29/2010	03/09/2011	
Annual Operability Test	06/20/2011	Passed	02/28/2012	06/20/2012	
Annual Operability Test	11/23/2010	Passed	02/28/2012	11/23/2011	

Inspection Comments

03/06/2012

03/06/2012 - AM - On site for re-inspection.

(1) - 8,000 gallon double-walled AST and aboveground piping has been repainted. No rust noted.

Inspection Photos

Added Date 03/06/2012

2012-03-06 - Tank system has been repainted.

Added Date 03/06/2012

2012-03-06 - Tank system has been repainted.



Inspection Comments

03/05/2008 3/05/08 - TCR/CJ - I met Jon Roy, Becki Draffin, and Mike Kelley to conduct a Re-Inspection.

INSPECTED:

- Dispenser - no obvious signs of leakage detected; however, liners need to be properly cleaned for visual observation of any new release
- Performed the annual operability test of Krueger gauge with employees on site. Next test due: 3/05/09 (Krueger gauge located at the northwest end of tank)
- No Overfill protection device - NEED USE AN APPROVED METHOD FOR HIGH PRESSURE FUELING (cannot use manual tank gauging) MUST BE EPC APPROVED
- Product in spill containment (location of remote fill) - INF required
- Exterior coating - NEEDED ON NORMAL VENT & OTHER AREAS
- Small amount of product noted at the piping elbow leading to spill containment which needs to be repaired INF required (use same form for both areas)

OUTSTANDING

Submit the following to EPC:

- INF for seeping piping and product in spill containment
- Monthly monitoring records (Dec 07, Jan 08 and Feb 08) of release detection perform every 30 days not to exceed 35 days
- Specification with Model #s of equipment (overfill protection device and spill containment bucket) you intend to install for EPCs approval prior to installation
- Apply proper exterior coating - NEEDED ON NORMAL VENT & OTHER AREAS
- Repair/replace component that is causing product to seep/leak at the piping elbow leading to spill containment (or elsewhere) - ANY EQUIPMENT REPLACEMENT MUST BE EPC APPROVED PRIOR TO INSTALLATION OF WORK.

Inspection Attachments

01. Piping leading to remote fill in spill containment (dated 11/29/07)



02. Spill containment w/product (dated 11/29/07)





Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Re-Inspection Site Inspection

Facility Information

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 08/07/2008
Facility Name: STEPPS TOWING SERVICE OF TAMPA Facility Type: C - Fuel user/Non-retail
9602 E HWY 92 # Of Inspected ASTs: 1
TAMPA, FL 33610 USTs: 0
Latitude: 27° 59' 43.4344" Mineral Acid Tanks: 0
Longitude: 82° 20' 38.193"
L/L Method: DPHO

Inspection Result

Result : In Compliance
Description: Facility is in compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 07/13/2008 Expiration Date: 07/13/2009

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

MICHAEL MCDANIEL

Todd Steps

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Test Name	Due Date	Completed Date	Result
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To be completed

Annual Operability Test 03/05/2009

Completed Tests

Annual Operability Test	03/05/2009	03/05/2008	Passed
Annual Operability Test	11/30/2007	03/05/2008	Passed

Reviewed Records

Record Category	Record Type	From Date	To Date
Two Years	Certificate of Financial Responsibility	08/13/2007	08/13/2008
Life Time	Written Release Detection Response Level Info	08/01/2008	08/01/2008
Two Years	Monthly Maint. Visual Examinations and Results	01/01/2008	07/31/2008

Inspection Comments

08/14/2008 On 08-01-2008 @ 0900; TCR/MLM, Met with Mr. Todd Stepps to verify piping leak was repaired, product removed from dispenser liner and installation of overfill protection. The piping leak was repaired, the dispenser liner was cleaned and a Morrison clock gauge 918 with alarm (EQ# 527) was installed.

Monthly visual inspection records were reviewed from 01-2008 through 07-2008. There were no evidence of any releases and inspections were performed within 35 days.

RDRL was complete and accurate.

Financial Responsibility was current Commerce and Industry, period of coverage is from 08/13/2008 through 08/13/2009.

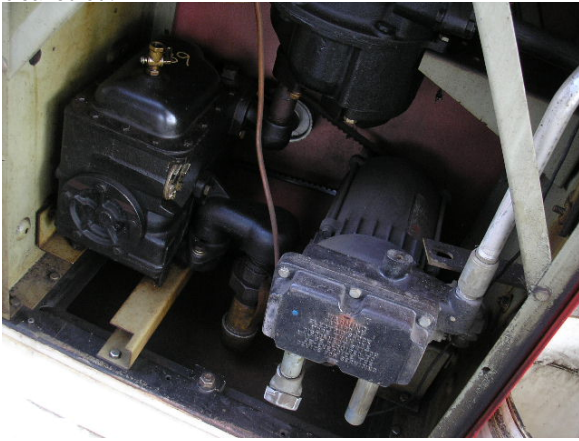
Inspection Attachments

01. 2008-07-31 Repair on leaking pipe union



Inspection Attachments

02. 2008-07-31-Dispenser liner
cleaned out



03. 2008-07-31- Morrison clock
gauge with alarm



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TAMPA, FLORIDA 33619
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EXECUTIVE DIRECTOR
Richard D. Garrity, Ph.D.

10/02/2009

Mr. Todd Stepp

STEPPTS TOWING SERVICE OF TAMPA
9602 E. HWY 92
Tampa, FL 33610

HILLSBOROUGH County - Regulated Storage Tanks
STEPPTS TOWING SERVICE OF TAMPA
9602 E HWY 92
TAMPA, FL 33610
DEP Facility # 9502640
Chapter(s) 62-761/762, FAC Non-Compliance Letter

Dear Mr. Todd Stepp

:

The EPC of Hillsborough County is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in HILLSBOROUGH County. On 09/15/2009, an inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may be in violation of the rules cited below. The following noncompliance items require your attention:

Rule Number(s): 62-762.401(2)(a)1.a., 62-762.401(2)(a)1.b.

Violation Text: Registration fees not paid.

Explanation: Failure to pay registration fees on all ASTs >550 gallons

Corrective Action: Pay registration fees upon receipt of invoice from Florida Department
Environmental Protection
(FDEP)

Rule Number(s): 62-762.451(1)(a)1.

Violation Text: 30 days before installation or upgrade not submitted

Explanation: Failure to notify EPC and receive approval prior to installation of ASTs

Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information as required.

Rule Number(s): 62-762.451(1)(a)1.

Violation Text: 30 days before installation or upgrade not submitted

Explanation: Failure to notify EPC and receive approval prior to installation of 995 gallons AST

Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information as required.

Rule Number(s): 62-762.601(1)(d)

Violation Text: Release detection not performed at least once a month.

Explanation: Failure to perform monthly release detection to include visual inspections on the 995 gallons AST

Corrective Action: Begin to perform monthly release detection to include visual inspections on 995 gallons AST and submit September and October 2009 monitoring logs

Rule Number(s): 62-762.451(1)(a)3.a., 62-762.451(1)(a)3.b., 62-762.451(1)(a)3.c.

Violation Text: 48-hour notification before installation/closure activity, API 653 inspection, change in service status, and tightness tests not submitted.

Explanation: Failure to notify EPC 48 hours before and receive approval prior to installation of 995 gallons AST

Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information required as stated on the application for all tanks

Rule Number(s): 62-762.701(6)

Violation Text: Secondary containment not repaired per 762.501(1)(e).

Explanation: Secondary containment does not appear properly sealed to maintain product tightness and containment volume of the system

Corrective Action: Repair/seal cracks in concrete to maintain containment walls integrity test. Call EPC for re-inspection

Rule Number(s): 62-762.701(1)(c)3.

Violation Text: Release detection devices not tested annually.

Explanation: Annual operability test on Krueger Sentry Leak Gauge Type K past due 3/05/09

Corrective Action: Perform the annual operability test on Krueger Sentry Leak Gauge Type K and submit results to EPC

Rule Number(s): 62-762.401(1)(a), 62-762.401(1)(b)

Violation Text: Systems not registered.

Explanation: Failure to register all ASTs greater 550 gallons

Corrective Action: Complete and submit to EPC the storage tank registration form (STRF) to register the 995 and any other ASTs >550

Rule Number(s): 62-762.401(2)(a)6.

Violation Text: Registration placard is not displayed in plain view.

Explanation: Failure to obtain and post the current registration placard on all ASTs on site

Corrective Action: Obtain and post the current registration placard. Submit copy of placard to EPC

Rule Number(s): 62-762.401(3)(a)1.

Violation Text: No financial responsibility

Explanation: Failure to obtain proof of 3rd party pollution liability insurance on the 995 gallons AST

Corrective Action: Obtain and submit to EPC proof of current 3rd party pollution liability insurance with the certificate of financial responsibility (CFR) on the 995 gallons AST

Rule Number(s): 62-762.451(1)(b)1., 62-762.451(1)(b)2., 62-762.451(1)(b)3., 62-762.451(1)(b)4.

Violation Text: Registration update after change of ownership, closure/upgrade, or change in financial responsibility not submitted within 30 days.

Explanation: Failure to submit an updated Storage Tank Registration Form (STRF) for the 995 gallons AST, ownership information, and/or facility changes

Corrective Action: Submit to EPC updated Storage Tank Registration Form (STRF) to register the 995 gallons AST ownership information and other facility changes

Rule Number(s): 62-762.501(2)(c)3.b.

Violation Text: 110% containment not met.

Explanation: Failure to installed secondary containment that contains a minimum of 110% of the maximum capacity of the tank or the largest single-walled tank within the dike field area

Corrective Action: Submit to EPC capacity calculations which should include the volume occupied above the area of the "footprint" of the tank bottom

Rule Number(s): 62-762.601(1)(a)1.

Violation Text: Cannot detect a new release from any portion of the system.

Explanation: Cannot detect a new release from any portion of the system

Corrective Action: Remove all debris and other items from inside the containment and around the tank to allow visual inspections of tank system and components

This facility may not be operating in compliance with Chapter(s) 62-761/762, Florida Administrative Code, standards. Any noncompliance items should be corrected immediately. Please provide a written response to this office within 30 calendar days upon receipt of this letter and provide documentation to show that the issues addressed in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762, FAC, may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

NOTE

All single walled regulated Aboveground storage Tank Systems must be upgraded with secondary containment by January 1, 2010 in accordance with 62-762.511, F.A.C.

If you have any questions you may contact me (813) 627-2600 ext. 1234.

Sincerely,



Christie Jacobs
Environmental Specialist II

CJ/



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 09/15/2009
Facility Name: STEPPS TOWING SERVICE OF TAMPA Facility Type: C - Fuel user/Non-retail
9602 E HWY 92 # Of Inspected ASTs: 2
TAMPA, FL 33610 USTs: 0
Latitude: 27° 59' 43.4344" Mineral Acid Tanks: 0
Longitude: 82° 20' 38.193"
L/L Method: DPHO

Inspection Result

Result : Major Out of Compliance
Description: Facility is out of compliance

A re-inspection will be scheduled on or after 90 days to verify correction of the non-compliance items noted.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 07/13/2009 Expiration Date: 07/13/2010

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

CHRISTY JACOBS

Mailed to Todd Stepp

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date
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Completed Tests

Annual Operability Test	03/05/2008	Passed	08/14/2008	11/30/2007
Annual Operability Test	03/05/2008	Passed	08/07/2008	03/05/2009

Overdue Tests

Annual Operability Test			08/14/2008	03/05/2009
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Reviewed Records

Record Category	Record Type	From Date	To Date
Life Time	Written Release Detection Response Level Info	09/15/2009	09/15/2009
Two Years	Monthly Maint. Visual Examinations and Results	01/02/2008	09/05/2009

New Violations

Significance Name: Minor
 Rule Number(s): 62-762.401(2)(a)1.a., 62-762.401(2)(a)1.b.
 Violation Text: Registration fees not paid.
 Explanation: Failure to pay registration fees on all ASTs >550 gallons
 Corrective Action: Pay registration fees upon receipt of invoice from Florida Department Environmental Protection (FDEP)

Significance Name: Minor
 Rule Number(s): 62-762.451(1)(a)1.
 Violation Text: 30 days before installation or upgrade not submitted
 Explanation: Failure to notify EPC and receive approval prior to installation of ASTs
 Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information as required.

Significance Name: Minor
 Rule Number(s): 62-762.451(1)(a)1.
 Violation Text: 30 days before installation or upgrade not submitted
 Explanation: Failure to notify EPC and receive approval prior to installation of 995 gallons AST
 Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information as required.

Significance Name: **SNC-B**
 Rule Number(s): **62-762.601(1)(d)**
 Violation Text: **Release detection not performed at least once a month.**
 Explanation: **Failure to perform monthly release detection to include visual inspections on the 995 gallons AST**
 Corrective Action: **Begin to perform monthly release detection to include visual inspections on 995 gallons AST and submit September and October 2009 monitoring logs**

Significance Name: Minor
Rule Number(s): 62-762.451(1)(a)3.a., 62-762.451(1)(a)3.b., 62-762.451(1)(a)3.c.
Violation Text: 48-hour notification before installation/closure activity, API 653 inspection, change in service status, and tightness tests not submitted.
Explanation: Failure to notify EPC 48 hours before and receive approval prior to installation of 995 gallons AST
Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information required as stated on the application for all tanks

Significance Name: Minor
Rule Number(s): 62-762.701(6)
Violation Text: Secondary containment not repaired per 762.501(1)(e).
Explanation: Secondary containment does not appear properly sealed to maintain product tightness and containment volume of the system
Corrective Action: Repair/seal cracks in concrete to maintain containment walls integrity test. Call EPC for re-inspection

Significance Name: Minor
Rule Number(s): 62-762.701(1)(c)3.
Violation Text: Release detection devices not tested annually.
Explanation: Annual operability test on Krueger Sentry Leak Gauge Type K past due 3/05/09
Corrective Action: Perform the annual operability test on Krueger Sentry Leak Gauge Type K and submit results to EPC

Significance Name: Minor
Rule Number(s): 62-762.401(1)(a), 62-762.401(1)(b)
Violation Text: Systems not registered.
Explanation: Failure to register all ASTs greater 550 gallons
Corrective Action: Complete and submit to EPC the storage tank registration form (STRF) to register the 995 and any other ASTs >550

Significance Name: Minor
Rule Number(s): 62-762.401(2)(a)6.
Violation Text: Registration placard is not displayed in plain view.
Explanation: Failure to obtain and post the current registration placard on all ASTs on site
Corrective Action: Obtain and post the current registration placard. Submit copy of placard to EPC

Significance Name: **SNC-B**
Rule Number(s): **62-762.401(3)(a)1.**
Violation Text: **No financial responsibility**
Explanation: **Failure to obtain proof of 3rd party pollution liability insurance on the 995 gallons AST**
Corrective Action: **Obtain and submit to EPC proof of current 3rd party pollution liability insurance with the certificate of financial responsibility (CFR) on the 995 gallons AST**

Significance Name: Minor
Rule Number(s): 62-762.451(1)(b)1., 62-762.451(1)(b)2., 62-762.451(1)(b)3., 62-762.451(1)(b)4.
Violation Text: Registration update after change of ownership, closure/upgrade, or change in financial responsibility not submitted within 30 days.
Explanation: Failure to submit an updated Storage Tank Registration Form (STRF) for the 995 gallons AST, ownership information, and/or facility changes
Corrective Action: Submit to EPC updated Storage Tank Registration Form (STRF) to register the 995 gallons AST ownership information and other facility changes

Significance Name: Minor
Rule Number(s): 62-762.501(2)(c)3.b.
Violation Text: 110% containment not met.
Explanation: Failure to installed secondary containment that contains a minimum of 110% of the maximum capacity of the tank or the largest single-walled tank within the dike field area
Corrective Action: Submit to EPC capacity calculations which should include the volume occupied above the area of the "footprint" of the tank bottom

Significance Name: Minor
Rule Number(s): 62-762.601(1)(a)1.
Violation Text: Cannot detect a new release from any portion of the system.
Explanation: Cannot detect a new release from any portion of the system
Corrective Action: Remove all debris and other items from inside the containment and around the tank to allow visual inspections of tank system and components

Inspection Comments

09/15/2009 LOCATION: HWY 92 E/(Hillsborough Ave)/I-4

On 9/15/09 - TCI/CJ - I met with Todd Stepp, Owner, to conduct the Annual Compliance Inspection.

RELEASE DETECTION:

- Monthly visual inspections of tank system and components
- Visual inspection of Krueger Sentry Leak Gauge - Type K in normal position

TANK: (1) 8,000 gallon Porta Tank (EQ#-207) double-walled AST with all aboveground piping. Tank is located on a concrete pad and pervious surface equipped with:

- Product label - Diesel on spill containment
- (1) Normal vent run covered top
- (1) Emergency vent
- Visual interstitial monitoring of Krueger Sentry Leak Gauge - Type K (northwest end of tank) - NEEDS ANNUAL OPERABILITY TEST

- Overfill protection - 918 Morrison Clock Gauge with Alarm System (EQ-#527)

- Remote fill located in spill containment

- Exterior coating - appeared good

- Electrical grounding present

- Aboveground piping w/anti-siphon valve at top of the tank, manual isolation valve on piping to dispenser, and ball valve to remote fill

No obvious signs of leakage noted

DISPENSERS: (1)

- Liner appeared dry and intact
- Shear valve anchored

#2 - TANK- NOT REGISTERED: (1) 994.57 gallon (measured as 132 1/2" x 47") Steel single-walled Waste Oil AST with all aboveground piping sits in secondary containment -NEED TO VERIFY 110%. Tank is located at the front north east side of the office on the inside of the privacy fence entrance to the repair shop area. (Additional Used & New Oil ASTs appears <550 sit in shop). Tank is equipped with:

- Product label - Used Oil
 - (1) Normal vent
 - (1) Emergency vent
 - Overfill protection - limited secondary containment - MUST MEET THE 110% REQUIREMENTS
 - Spill bucket on top of tank
 - Exterior coating - appeared good
 - Electrical grounding
 - Aboveground piping
- No obvious signs of leakage noted

RECORDS:

Current Registration Placard: 5/19/09 - 6/30/10 (1) Tank (2) ASTs on Site - FDEP Tallahassee will invoice for payment on the Used Oil AST)

Insurance: Commerce & Industry 7/13/09 - 7/13/10

Certificate of Financial Responsibility Form (CFR): EXPIRED - SUBMIT UPDATED FORM TO EPC

Monthly monitoring records 1/02/08 - 9/05/09 reviewed and included:

- Visual inspections of tank system and components
- Visual inspection of Krueger Sentry Leak Gauge - Type K
- Inspections performed within 35 days

Last Annual Operability Test - Kruger Leak Gauge replaced: 3/05/08

Next Annual Operability past due: 3/05/09

Inspection Comments

Problems noted during inspection:

-(1) 1,000 Waste Oil AST (Synergy Recycling) not registered has been on site for 5½ years or more
Written Release Detection Response Level Statement RDRL present, current and accurate

STRF and CFR given to Todd. Explained requirements and procedures to register 1,000 AST and informed that the Facility will be sent to Enforcement

Submit to EPC the following:

- Installation Application with Plans and \$150 fees to include measurement on secondary containment or a Closure Application for the removal of tank
- Storage Tank Registration Form (STRF) to properly register this AST

Inspection Attachments

01. 2009-09-15 Facility Photo
(Registered 8,000 AST)



02. 2009-09-15 Facility Photo (Used
Oil AST - west view)



03. 2009-09-15 Facility Photo (Used
Oil AST - north view)



Inspection Attachments

04. 2009-09-15 Facility Photo (Used
& New Oil ASTs appears <550)



DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 09/15/2009
Facility Name: STEPPS TOWING SERVICE OF TAMPA Facility Type: C - Fuel user/Non-retail
9602 E HWY 92 # Of Inspected ASTs: 2
TAMPA, FL 33610 USTs: 0
Latitude: 27° 59' 43.4344" Mineral Acid Tanks: 0
Longitude: 82° 20' 38.193"
L/L Method: DPHO

Inspection Result

Result : Major Out of Compliance
Description: Facility is out of compliance

A re-inspection will be scheduled on or after 90 days to verify correction of the non-compliance items noted.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 07/13/2009 Expiration Date: 07/13/2010

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

CHRISTY JACOBS

Mailed to Todd Stepp

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date
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Completed Tests

Annual Operability Test	03/05/2008	Passed	08/14/2008	11/30/2007
Annual Operability Test	03/05/2008	Passed	08/07/2008	03/05/2009

Overdue Tests

Annual Operability Test			08/14/2008	03/05/2009
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Reviewed Records

Record Category	Record Type	From Date	To Date
Life Time	Written Release Detection Response Level Info	09/15/2009	09/15/2009
Two Years	Monthly Maint. Visual Examinations and Results	01/02/2008	09/05/2009

New Violations

Significance Name: Minor
 Rule Number(s): 62-762.401(2)(a)1.a., 62-762.401(2)(a)1.b.
 Violation Text: Registration fees not paid.
 Explanation: Failure to pay registration fees on all ASTs >550 gallons
 Corrective Action: Pay registration fees upon receipt of invoice from Florida Department Environmental Protection (FDEP)

Significance Name: Minor
 Rule Number(s): 62-762.451(1)(a)1.
 Violation Text: 30 days before installation or upgrade not submitted
 Explanation: Failure to notify EPC and receive approval prior to installation of ASTs
 Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information as required.

Significance Name: Minor
 Rule Number(s): 62-762.451(1)(a)1.
 Violation Text: 30 days before installation or upgrade not submitted
 Explanation: Failure to notify EPC and receive approval prior to installation of 995 gallons AST
 Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information as required.

Significance Name: **SNC-B**
 Rule Number(s): **62-762.601(1)(d)**
 Violation Text: **Release detection not performed at least once a month.**
 Explanation: **Failure to perform monthly release detection to include visual inspections on the 995 gallons AST**
 Corrective Action: **Begin to perform monthly release detection to include visual inspections on 995 gallons AST and submit September and October 2009 monitoring logs**

Significance Name: Minor
Rule Number(s): 62-762.451(1)(a)3.a., 62-762.451(1)(a)3.b., 62-762.451(1)(a)3.c.
Violation Text: 48-hour notification before installation/closure activity, API 653 inspection, change in service status, and tightness tests not submitted.
Explanation: Failure to notify EPC 48 hours before and receive approval prior to installation of 995 gallons AST
Corrective Action: Submit to EPC the Application for Installation with fee of \$150.00, Plans, to include secondary containment calculations and all other information required as stated on the application for all tanks

Significance Name: Minor
Rule Number(s): 62-762.701(6)
Violation Text: Secondary containment not repaired per 762.501(1)(e).
Explanation: Secondary containment does not appear properly sealed to maintain product tightness and containment volume of the system
Corrective Action: Repair/seal cracks in concrete to maintain containment walls integrity test. Call EPC for re-inspection

Significance Name: Minor
Rule Number(s): 62-762.701(1)(c)3.
Violation Text: Release detection devices not tested annually.
Explanation: Annual operability test on Krueger Sentry Leak Gauge Type K past due 3/05/09
Corrective Action: Perform the annual operability test on Krueger Sentry Leak Gauge Type K and submit results to EPC

Significance Name: Minor
Rule Number(s): 62-762.401(1)(a), 62-762.401(1)(b)
Violation Text: Systems not registered.
Explanation: Failure to register all ASTs greater 550 gallons
Corrective Action: Complete and submit to EPC the storage tank registration form (STRF) to register the 995 and any other ASTs >550

Significance Name: Minor
Rule Number(s): 62-762.401(2)(a)6.
Violation Text: Registration placard is not displayed in plain view.
Explanation: Failure to obtain and post the current registration placard on all ASTs on site
Corrective Action: Obtain and post the current registration placard. Submit copy of placard to EPC

Significance Name: **SNC-B**
Rule Number(s): **62-762.401(3)(a)1.**
Violation Text: **No financial responsibility**
Explanation: **Failure to obtain proof of 3rd party pollution liability insurance on the 995 gallons AST**
Corrective Action: **Obtain and submit to EPC proof of current 3rd party pollution liability insurance with the certificate of financial responsibility (CFR) on the 995 gallons AST**

Significance Name: Minor
Rule Number(s): 62-762.451(1)(b)1., 62-762.451(1)(b)2., 62-762.451(1)(b)3., 62-762.451(1)(b)4.
Violation Text: Registration update after change of ownership, closure/upgrade, or change in financial responsibility not submitted within 30 days.
Explanation: Failure to submit an updated Storage Tank Registration Form (STRF) for the 995 gallons AST, ownership information, and/or facility changes
Corrective Action: Submit to EPC updated Storage Tank Registration Form (STRF) to register the 995 gallons AST ownership information and other facility changes

Significance Name: Minor
Rule Number(s): 62-762.501(2)(c)3.b.
Violation Text: 110% containment not met.
Explanation: Failure to installed secondary containment that contains a minimum of 110% of the maximum capacity of the tank or the largest single-walled tank within the dike field area
Corrective Action: Submit to EPC capacity calculations which should include the volume occupied above the area of the "footprint" of the tank bottom

Significance Name: Minor
Rule Number(s): 62-762.601(1)(a)1.
Violation Text: Cannot detect a new release from any portion of the system.
Explanation: Cannot detect a new release from any portion of the system
Corrective Action: Remove all debris and other items from inside the containment and around the tank to allow visual inspections of tank system and components

Inspection Comments

09/15/2009 LOCATION: HWY 92 E/(Hillsborough Ave)/I-4

On 9/15/09 - TCI/CJ - I met with Todd Stepp, Owner, to conduct the Annual Compliance Inspection.

RELEASE DETECTION:

- Monthly visual inspections of tank system and components
- Visual inspection of Krueger Sentry Leak Gauge - Type K in normal position

TANK: (1) 8,000 gallon Porta Tank (EQ#-207) double-walled AST with all aboveground piping. Tank is located on a concrete pad and pervious surface equipped with:

- Product label - Diesel on spill containment
- (1) Normal vent run covered top
- (1) Emergency vent
- Visual interstitial monitoring of Krueger Sentry Leak Gauge - Type K (northwest end of tank) - NEEDS ANNUAL OPERABILITY TEST

- Overfill protection - 918 Morrison Clock Gauge with Alarm System (EQ-#527)
- Remote fill located in spill containment
- Exterior coating - appeared good
- Electrical grounding present
- Aboveground piping w/anti-siphon valve at top of the tank, manual isolation valve on piping to dispenser, and ball valve to remote fill

No obvious signs of leakage noted

DISPENSERS: (1)

- Liner appeared dry and intact
- Shear valve anchored

#2 - TANK- NOT REGISTERED: (1) 994.57 gallon (measured as 132 1/2" x 47") Steel single-walled Waste Oil AST with all aboveground piping sits in secondary containment -NEED TO VERIFY 110%. Tank is located at the front north east side of the office on the inside of the privacy fence entrance to the repair shop area. (Additional Used & New Oil ASTs appears <550 sit in shop). Tank is equipped with:

- Product label - Used Oil
- (1) Normal vent
- (1) Emergency vent
- Overfill protection - limited secondary containment - MUST MEET THE 110% REQUIREMENTS
- Spill bucket on top of tank
- Exterior coating - appeared good
- Electrical grounding
- Aboveground piping

No obvious signs of leakage noted

RECORDS:

Current Registration Placard: 5/19/09 - 6/30/10 (1) Tank (2) ASTs on Site - FDEP Tallahassee will invoice for payment on the Used Oil AST)

Insurance: Commerce & Industry 7/13/09 - 7/13/10

Certificate of Financial Responsibility Form (CFR): EXPIRED - SUBMIT UPDATED FORM TO EPC

Monthly monitoring records 1/02/08 - 9/05/09 reviewed and included:

- Visual inspections of tank system and components
- Visual inspection of Krueger Sentry Leak Gauge - Type K
- Inspections performed within 35 days

Last Annual Operability Test - Kruger Leak Gauge replaced: 3/05/08

Next Annual Operability past due: 3/05/09

Inspection Comments

Problems noted during inspection:

-(1) 1,000 Waste Oil AST (Synergy Recycling) not registered has been on site for 5½ years or more
Written Release Detection Response Level Statement RDRL present, current and accurate

STRF and CFR given to Todd. Explained requirements and procedures to register 1,000 AST and informed that the Facility will be sent to Enforcement

Submit to EPC the following:

- Installation Application with Plans and \$150 fees to include measurement on secondary containment or a Closure Application for the removal of tank
- Storage Tank Registration Form (STRF) to properly register this AST

Inspection Attachments

01. 2009-09-15 Facility Photo
(Registered 8,000 AST)



02. 2009-09-15 Facility Photo (Used
Oil AST - west view)



03. 2009-09-15 Facility Photo (Used
Oil AST - north view)



Inspection Attachments

04. 2009-09-15 Facility Photo (Used
& New Oil ASTs appears <550)



DRAFT



Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-
 Division of Waste Management
 Bureau of Petroleum Storage Systems

Storage Tank Facility Closure Site Inspection Report

Facility Information:

Facility ID: 9502640 County: HILLSBOROUGH Inspection Date: 04/23/2010
 Facility Type: C -Fuel user/Non-retail
 Facility Name: STEPPS TOWING SERVICE OF TAMPA # Of Inspected ASTs: 1
 9602 E HWY 92 USTs: 0
 TAMPA, FL 33610 Mineral Acid Tanks: 0
 Latitude: 27° 59' 43.4344"
 Longitude: 82° 20' 38.193"
 LL Method: AGPS

Inspection Result:

Result : Minor Out of Compliance
 Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
 Insurance Carrier: COMMERCE & INDUSTRY
 Effective Date: 07/13/2009 Expiration Date: 07/13/2010

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Whit Council

INSPECTOR NAME

Todd Stepp

REPRESENTATIVE NAME

NO SIGNATURE

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Overdue Tests

Annual Operability Test 08/14/2008 03/05/2009

Completed Tests

Annual Operability Test 03/05/2008 Passed 08/14/2008 11/30/2007

Annual Operability Test 03/05/2008 Passed 08/07/2008 03/05/2009

Outstanding Violations:

Type: Violation
 Significance: Minor
 Rule: 62-762.701(1)(c)3.
 Violation Text: Release detection devices not tested annually.
 Explanation: Annual operability test on Krueger Sentry Leak Gauge Type K past due 3/05/09
 Corrective Action: Perform the annual operability test on Krueger Sentry Leak Gauge Type K and submit results to EPC

Inspection Comments

05/06/2010

LOCATION: HWY 92 (Hillsborough Ave)/

On 4/23/10 - 8:30- TXI/CJ - I met with Martin Klein, Consultant, and Dave Lennie w/CT Earle Corporation to conduct the Closure Inspection.

Consultant is waiting for the removal of the canopy/shed to perform the Closure Assessment

Tank Removal? Yes

Closure Assessment required? Yes

Cleanup program eligibility? No

Storage tank number: #2

Storage tank size: 995 - 1,000 gallons

Storage tank construction: Steel

Storage tank integrity: Appeared rusted but in good condition

Description of disposal of tanks: Tank cut open and cleaned out while on site by Monarch Environmental Services

Facility ID: 9502640

Inspection Comments

Amount of product removed from tank: Submit to EPC Manifest

Description of disposal of product/sludge: Disposal Manifest required

Did any spillage occur during the removal?

Any signs of contamination (soil staining, sheen, product, petroleum odor)? N/A

Degassing method: Butterworth Wash

Piping construction: None

Approximate length: N/A

Piping integrity: N/A

Piping removed or capped: N/A

OVA instrument (make and model):

OVA readings:

Location of highest OVA reading (in each source area):

Soil sample for laboratory analysis to be taken at this location?

Temporary well to be installed at this location?

Calibration of the unit:

Were contaminated soils removed from excavation above the 10 ppm criteria (source removal)?

Soil sampling and analyses must be performed in accordance with the States closure requirements.

Depth to groundwater:

Groundwater sampling and analyses must be performed in accordance with the States closure requirements.

Free product recovery initiated, if applicable.

Forms left at the site (DRF, INF, LCSR, etc.) and with whom:

Storage tank registration form has been submitted

Submit to EPC within 60 days:

- Closure Assessment Report
- Manifests for disposal of tank, product and/or sludge, and any contaminated soils removed

05/19/2010

5/17/2010 - Closure/WCC - Met on site with Marty Klien for this inspection.

Inspection Comments

Marty Klien is on site performing assessment.

SOIL:

The asphalt has been removed. There did not appear to be any staining beneath the asphalt. The top layer under the asphalt was very light colored road bed material, any staining would be obvious.

5 Soil borings installed in the foot print of containment area (see map). The soil was visually inspected at 1ft intervals down to 5ft. No staining noted.

Groundwater:

Depth to groundwater is ~12ft

A temporary well was installed at the fill end of the tank. Mr. Klien purged the well prior to sampling. All groundwater samples will be analyzed for waste oil constituents. EPC did not witness groundwater sample collection.

A full closure assessment report must be submitted to EPC within 60 days. The report must include disposal manifests for internal tank media and tank scrap.

05/19/2010

5/10/2010 - Closure/WCC - On site for the assessment associated with removal of a previously unregistered 1000gal waste oil AST.

Marty Klien is performing the assessment.

Mr. Klien called to inform me that he will not be able to perform the assessment today. The top layer of asphalt has not been removed and he cannot bore through it. He rescheduled for next Monday.

I inspected the area where the tank was located. The walls and roof have been removed. There did appear to be some staining on the asphalt where the tank was located.

Inspection Photos

Added Date 05/06/2010

Added Date 05/06/2010

1. 2010-04-23

2. 2010-04-23



Facility ID: 9502640

Added Date 05/06/2010

3. 2010-04-23



Added Date 05/06/2010

5. 2010-04-23



Added Date 05/20/2010

2010/5/17 - Temp well installed. installing SBs



Added Date 05/06/2010

4. 2010-04-23



Added Date 05/19/2010

2010/5/10 - location of form AST



Added Date 05/20/2010

2010/5/17 - waste oil closure



Site 115

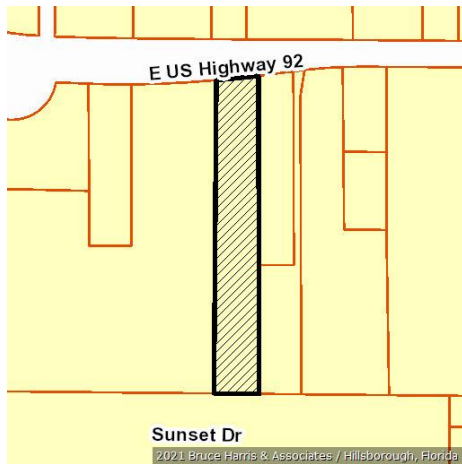
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 040414-0000



Owner Information

Owner Name	7702 INDUSTRIAL LANE LLC
Mailing Address	9605 E US HIGHWAY 92 STE C TAMPA, FL 33610-5964
Site Address	9605 E 92 HWY, UNIT C, TAMPA
PIN	U-06-29-20-1ME-000000-00003.1
Folio	040414-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	4820 WAREHOUSE B
Plat Book/Page	27/98
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1ME STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$770,062	\$743,666	\$0	\$743,666
Public Schools	\$770,062	\$770,062	\$0	\$770,062
Municipal	\$770,062	\$743,666	\$0	\$743,666
Other Districts	\$770,062	\$743,666	\$0	\$743,666

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
22191 / 0856	2013383353	09	2013	WD	Qualified	Improved	\$665,000
21279 / 0066	2012269625	08	2012	CT	Unqualified	Improved	\$100
14691 / 0724	2005065145	02	2005	WD	Qualified	Improved	\$807,000
11885 / 0352	2002290805	08	2002	QC	Unqualified	Improved	\$100
11805 / 0134	2002250693	07	2002	QC	Unqualified	Improved	\$100
8985 / 1476	98095590	04	1998	QC	Unqualified	Improved	\$100
7260 / 0444	94013933	01	1994	WD	Qualified	Improved	\$150,000
6127 / 1417	90238800	11	1990	CT	Qualified	Improved	\$280,000

272-5157



Florida Department of Environmental Regulation
Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DER Form # 17-781(0008)
 Form Title: Storage Tank Registration Form
 Expiration Date: December 18, 1999
 DER Application by: 93 JUN 29 AM 11:02

DATA ENTERED Storage Tank Registration Form

STORAGE TANK REGULATION

JUN 29 1993

Please Print or Type - Review Instructions Before Completing Form

1. DER Facility ID Number: DK 298624804
2. Facility Type: INDUSTRIAL COMPLEX
3. New Registration New Owner Data Facility Revision Tank(s) Revision
4. County and Code of tank(s) location: Hillsborough 1

5. Facility Name: AMRESCO INSTITUTIONAL INC.
 Tank(s) Address: 9605 E. HILLSBOROUGH AVE
 City/State/Zip: TAMPA FLORIDA
 Contact Person: BRAD TAVEN Telephone: (813) 254-8202

6. Financial Responsibility Type: _____

7a. Tank(s) Owner: AMRESCO
 Owner Mailing Address: 100 NORTH TAMPA
 City/State/Zip: TAMPA FL
 Contact Person: B. TAVEN Telephone: (813) 276-7661

7b. New Owner Signature/Change Date: _____

8. Location (optional) Latitude: _____ Longitude: _____ Section _____ Township _____ Range _____

Complete One Line For Each Tank At This Facility (Use Codes - See Instructions)

Complete 9 - 15 for tanks in use; 9 - 19 for tanks out of use

1 - 1000 GALLON STEEL-UNCOATED UST Approved. CONTENTS GASOLINE-PIPING STEEL

9	10	11	12	13	14	15	16	17	18	19
1	1000	A	5/71	V	C	B	"	B		6/93

2a. BRADLEE R TAVEN
Certified Contractor*

DPR# PSSC 050648
Department of Professional Regulation License Number*

*For new tank installation or tank removal

To the best of my knowledge and belief all information submitted on this form is true, accurate and complete.

BRAD TAVEN
Print name & title of owner or authorized person

[Signature]
Signature Date 29 June 93

Stationary Tank Registration/Notification Form DATA ENTERED

Form 17-1.218(2)

MAY 5 1986

BY: Dohra

NAME: Air Brake Control
MAIL ADDRESS: 9605 E. Hillsborough Avenue
CITY/STATE: Tampa, Florida 33677

ADDRESS: FACILITY LOCATION
CITY/STATE: 9605 E. Hillsborough Avenue
Tampa, Florida 33677

(Make corrections to name and addresses here)

1. Facility/Address name: _____

Facility address: _____

Mailing address: _____

Use this form to comply with the following requirements of the Stationary Tank Rule Chapter 17-61, Florida Administrative Code.

- Each owner or operator shall register the following with the department:
 - All existing facilities by December 31, 1984. (Questions 1-19)
 - All new storage systems or facilities at least 10 days prior to the start of installation of tanks except in the cases of emergency replacement. (Questions 1-19)
 - A non-pollutant containing installation which is to be converted to a facility, at least 10 days prior to the placement of pollutants in such a facility. (Questions 1-19)
- Each owner or operator shall notify the department of the following:
 - All storage systems within 10 days of abandonment. (Questions 1-12, 16, 20)
 - Facility sale within 10 days of sale. Notice shall be made by the seller. (Answer questions 1-7, and 11. Question 7 about the new owner.)
 - Retrofiting within 10 days of completion. (Questions 1-19)
- You may notify the department of a change of operator. (Questions 1-6)

Agency Use Only

e

PLEASE PRINT OR TYPE

2. Facility number (DER will provide this number) 298624804 3. Date 12/19/84

4. Federal Employment Identification (number used to file IRS forms) 59-0572743

5. County Code (see enclosed letter) 29

6. Operator of facility Air Brake Control
Effective date (only for change of operator): _____ Telephone number (813) 621-7791

7. Company/Person owning tanks and piping J. H. Williams Oil Co., Inc.
Address: 1237 E. Twiggs St., Tampa, Florida 33602
Contact person Robbie Robertson Telephone number: (813) 228-7776
Effective date (only for change of owner): _____

8. How many tanks at this location have an individual storage capacity of greater than 550 gallons and store vehicular fuel made from petroleum?
1 Underground _____ Aboveground _____

9. Facility location Latitude 0 Longitude 0 Section _____ Township _____ Range _____
This information is listed on property deeds, and in the offices of the property appraiser and tax assessor.

10. Sketch the facility on a separate page showing the APPROXIMATE location of buildings, tanks, and dispensers.
A. Draw a line from tank to dispenser to show which are connected by piping.
B. Label each tank as Tank 1, Tank 2, etc.
C. Write the date and your facility number, if known, or name and address exactly as it appears above.
D. Keep a copy of your sketch.

REFER TO TANKS BY THESE LABELS IN ANY COMMUNICATION WITH THE DEPARTMENT DESCRIBE PIPING BY THE NUMBER OF THE TANK IT IS ATTACHED TO

11. TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL INFORMATION SUBMITTED ON THIS FORM IS TRUE ACCURATE AND COMPLETE

Robbie Robertson
Name of owner, operator or authorized representative

Robbie Robertson
Signature of owner, operator or authorized representative

RECEIVED

DEC 20 1984

KEEP A COPY OF THIS FORM FOR YOUR RECORDS

MAIL TO: DER Stationary Tank Registration
2500 Blair Stone Road
Room 603
Tallahassee, Florida 32301

SOLID WASTE
DER FORM 17-1.218(2)
SUBSECTION

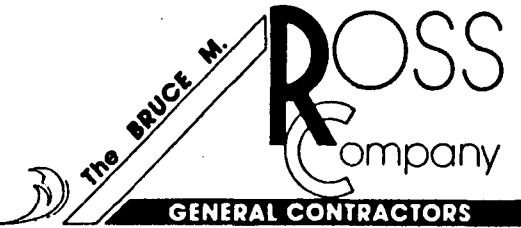
DER FORM 17-1.218(2) 9/1/94 (2/2)

INSTRUCTIONS: Use one row across for each tank counted in question 8. The tank number must agree with the number on the sketch of your facility. A new tank installed where a registered tank was removed should be given the number of the removed tank with an R and a number added. Example. Tank 3R1 is first replacement for tank 3. It is in the same place where tank 3 was. Tank 3R2 is the second replacement for tank 3. Attach extra pages if necessary. Write your facility number, if known, or name and address, exactly as it appears on the front of the form, on all extra pages.

(12) Tank Number	(13) Tank Size in Gallons	(14) Tank Contents (see List 14 below)	(15) Tank Installation Date, Month/Year (put X if unknown)	(16) Underground or Aboveground Tank (write U or A)	(17) Tank Construction Specifics (see List 17U or 17A below)	(18) Integral Piping System Construction Specifics (see List 18 below)	(19) Monitoring System Type (see List 19)	(20) Tank Disposal Method (see List 20)
1	1,000	A	5/12/71	U	C	B	Y	

ENTER THE LETTERS WHICH APPLY TO EACH TANK IN THE BOXES ABOVE. **WRITE ALL THAT APPLY.**

List 14	List 17U UNDERground Tanks	List 17A ABOVEground Tanks	List 18	List 19	List 20
Tank contents are: A. leaded gasoline. B. unleaded gasoline. C. Alcohol enriched gasoline. D. diesel fuel. E. aviation fuel. Z. other.	Underground tank: A. has overfill protection. B. is interior lined. C. is painted/asphalted steel. D. is of unknown type. E. is fiberglass type. F. is fiberglass-clad steel. G. is sacrificial anode type. H. is impressed current type. I. is double walled. J. is concrete. K. is in secondary containment. N. is or has none of the above.	Aboveground tank: O. has overfill protection. P. is surrounded by impervious dike. Q. is surrounded by earth dike. R. rests on an impervious base. S. rests on a earth/gravel base. T. has interior lined bottom. U. is cathodically protected. V. is built of/coated with corrosion resistant materials. W. is supported above the soil. Z. is or has none of the above.	Integral Piping System has: A. no parts in contact with the soil. Parts contacting the soil which are: B. unprotected metal. C. built of corrosion resistant materials. D. corrosion resistant coated. E. cathodically protected. F. double-walled. G. within a secondary containment. H. interior lined. M. none of the above.	Monitoring system is: A. automatically sampled well(s). B. manually sampled well(s). C. groundwater monitoring plan. D. SPCC plan. E. well/detector in secondary containment. F. in-ground detector. G. within walls of double-walled tank. H. continuous in piping. I. not required. N. none of the above.	Tank disposal method. A. Filling. B. Removal. C. Retrofitting. F. Other.



9605 E. HILLSBOROUGH AVE. • TAMPA, FL 33610 • TELEPHONE: (813) 621-6880

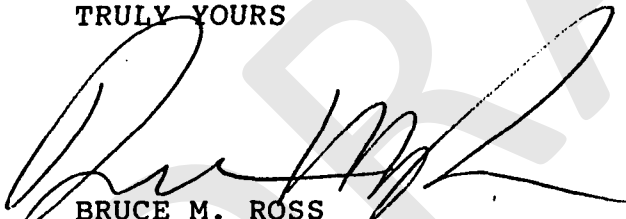
JUNE 24, 1988

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION
MOTOR FUEL TANK REGISTRATION
2600 BLAIRSTONE ROAD
TALLAHASSEE, FLORIDA 32399-2405

RE: INVOICE # 298624804-0000
REGISTRATION FEE
FACILITY ID # 298624804

THIS IS TO ADVISE YOU THAT NO FUELS ARE CURRENTLY
BEING STORED IN THE TANK, NOR HAVE ANY FUELS BEEN
STORED IN THE TANK SINCE WE HAVE BEEN HERE. PLEASE
ADJUST YOUR RECORDS ACCORDINGLY.

TRULY YOURS



BRUCE M. ROSS
PRESIDENT

03/08/89 Letter

RECEIVED

FEB 27 1989

STORAGE TANK
REGULATION

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION
RECEIVED



DALE TWACHTMANN
 SECRETARY

JAN 17 1989

BOB MARTINEZ
 GOVERNOR

ROSS COMPANY

INVOICE
 No. 298624804-00041

ROSS CO., BRUCE M.
 9605 E HILLSBOROUGH AVE
 TAMPA FL 33677

Date: 01/05/89
 Page: 1 of 1

FACILITY ID: 298624804

PREVIOUS CHARGES:

1 Initial tank(s) @ 50.00 \$ 50.00

TOTAL CHARGES INCURRED: CLERICAL CK. \$ 50.00

PAYMENTS RECEIVED:

VENDOR NO. Depleg
 CODE _____

TOTAL AMOUNT PAID:

APPROVED _____ \$ 0.00

POSTED _____

TOTAL AMOUNT DUE:

DATE PAID _____ \$ 50.00

CHECK NO. _____

Amount due must be submitted immediately.
 Make check payable to: Department of Environmental Regulation
 For Journal Transfer Use: 56 20 2 212001 56000000 00 000100

Please return this portion along with your remittance to:
 MOTOR FUEL TANK REGISTRATION
 2600 BLAIRSTONE ROAD, TALLAHASSEE, FL 32399-2405

Facility ID: 298624804
 Name: ROSS CO., BRUCE M.
 Location: 9605 E HILLSBOROUGH AVE
 TAMPA

Date: 01/05/89

TOTAL CHARGES INCURRED: \$ 50.00
 TOTAL AMOUNT PAID: \$ 0.00
 TOTAL AMOUNT DUE: \$ 50.00

If any information on this form is incorrect, written documentation or a revised registration form (17-61.090(3)) must be included.

For further assistance, please call (904) 488-0300.

0 298624804

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

DALE TWACHTMANN
SECRETARY



BOB MARTINEZ
GOVERNOR

J.H. WILLIAMS OIL CO. INC.
1237 E TWIGGS ST
TAMPA FL 33602

SECOND NOTICE

0 298624804 001 870218 00050

Department of Environmental Regulation records indicate that you have failed to pay the registration fee for regulated tanks at your facility. Tanks requiring registration are those which exceed 550 gallons and store vehicular fuels. Our files show the following:

Tanks requiring registration	<u>1</u>
Initial registration fee due	<u>\$50.00</u>
Registration due	<u>APRIL 30, 1987</u>

Return this notice with your payment to:

MOTOR FUEL TANK REGISTRATION
2600 Blairstone RD
Tallahassee, FL 32399-2405

If you need further assistance, please call (904) 488-0300.

NOTE: All regulated fuel tanks are subject to a renewal fee of twenty five dollars (\$25.00) per tank, due July 1, 1987.

AIR BRAKE CONTROL
9605 E HILLSBOROUGH AVE
TAMPA



298624804

OWNER OF TANK

They were given 1st bill in March, 1987 which they were supposed to pay. If it has not been paid, contact them directly.

Stationary Tank Registration/Notification Form

Form 17-1.218(2)

DATA ENTERED

Changed name from Air Brake Control to: The Bruce M. Ross Company

MAY 5 1987

NAME: Air Brake Control
MAIL ADDRESS: 9605 E. Hillsborough Avenue
CITY/STATE: Tampa, Florida 33677

FACILITY LOCATION
ADDRESS: 9605 E. Hillsborough Avenue
CITY/STATE: Tampa, Florida 33677

(Make corrections to name and addresses here)

1. Facility/Address name The Bruce M. Ross Company (Formerly THE Air Brake Control)

Facility address 9605 E. Hillsborough Ave. - Tampa, FL 33677

Mailing address Same

Use this form to comply with the following requirements of the Stationary Tank Rule Chapter 17-61, Florida Administrative Code.

- Each owner or operator shall register the following with the department:
 - All existing facilities by December 31, 1984. (Questions 1-19)
 - All new storage systems or facilities at least 10 days prior to the start of installation of tanks except in the case of emergency replacement. (Questions 1-19)
 - A non-pollutant containing installation which is to be converted to a facility; at least 10 days prior to the placement of pollutants in such a facility. (Questions 1-19)
- Each owner or operator shall notify the department of the following:
 - All storage systems within 10 days of abandonment. (Questions 1-12, 16, 20)
 - Facility sale within 10 days of sale. Notice shall be made by the seller. (Answer questions 1-7, and 11. Question 7 about the new owner.)
 - Retrofitting within 10 days of completion. (Questions 1-19)
- You may notify the department of a change of operator. (Questions 1-6)

RECEIVED
Agency Use Only
APR 23 1987
Bureau of Waste Management
Stationary Tanks

PLEASE PRINT OR TYPE

2. Facility number (DER will provide this number) 298624804 3. Date 12/19/84
4. Federal Employment Identification (number used to file IRS forms) 59-0572743
5. County Code (see enclosed letter) 29
6. Operator of facility ~~Air Brake Control~~ The Bruce M. Ross Company
Effective date (only for change of operator): 3/23/87 Telephone number (813) 621-7791 6880
7. Company/Person owning tanks and piping ~~J. H. Williams Oil Co., Inc.~~ The Bruce M. Ross Company
Address: ~~1237 E. Twiggs St., Tampa, Florida 33602~~ 9605 E. Hillsborough Ave., Tampa, FL 33677
Contact person Robbie Robertson Bruce M. Ross, Pres. Telephone number: (813) 228-7776 33677
Effective date (only for change of owner): 3/23/87
8. How many tanks at this location have an individual storage capacity of greater than 550 gallons and store vehicular fuel made from petroleum?
1 Underground 0 Aboveground
9. Facility location Latitude 0 Longitude 0 Section 0 Township 0 Range 0
This information is listed on property deeds, and in the offices of the property appraiser and tax assessor.
10. Sketch the facility on a separate page showing the APPROXIMATE location of buildings, tanks, and dispensers.
A. Draw a line from tank to dispenser to show which are connected by piping.
B. Label each tank as Tank 1, Tank 2, etc.
C. Write the date and your facility number, if known, or name and address exactly as it appears above.
D. Keep a copy of your sketch.

REFER TO TANKS BY THESE LABELS IN ANY COMMUNICATION WITH THE DEPARTMENT DESCRIBE PIPING BY THE NUMBER OF THE TANK IT IS ATTACHED TO

11. TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL INFORMATION SUBMITTED ON THIS FORM IS TRUE ACCURATE, AND COMPLETE

Robbie Robertson Name of owner, operator or authorized representative
Robbie Robertson Signature of owner, operator or authorized representative

KEEP A COPY OF THIS FORM FOR YOUR RECORDS

MAIL TO: DER Stationary Tank Registration
2500 Blair Stone Road
Room 603
Tallahassee, Florida 32301

DER FORM 17-1.218(2) 9/1/86 QZ1

INSTRUCTIONS: Use one row across for each tank counted in question 8. The tank number must agree with the number on the sketch of your facility. A new tank installed where a registered tank was removed should be given the number of the removed tank with an R and a number added. Example. Tank 3R1 is first replacement for tank 3. It is in the same place where tank 3 was. Tank 3R2 is the second replacement for tank 3. Attach extra pages if necessary. Write your facility number, if known, or name and address, exactly as it appears on the front of the form, on all extra pages.

(12) Tank Number	(13) Tank Size in Gallons	(14) Tank Contents (see List 14 below)	(15) Tank Installation Date, Month/Year (put X if unknown)	(16) Underground or Aboveground Tank (write U or A)	(17) Tank Construction Specifics (see List 17U or 17A below)	(18) Integral Piping System Construction Specifics (see List 18 below)	(19) Monitoring System Type (see List 19)	(20) Tank Disposal Method (see List 20)
1	1,000	A	05/13/71	U	C	B	N	B F
								Sold to Air Brake Control
								#50 registration fee form was given to Air Brake Control for payment 3/87

ENTER THE LETTERS WHICH APPLY TO EACH TANK IN THE BOXES ABOVE. **WRITE ALL THAT APPLY.**

List 14	List 17U UNDERground Tanks	List 17A ABOVEground Tanks	List 18	List 19	List 20
<p>Tank contents are</p> <p>A. leaded gasoline. B. unleaded gasoline. C. Alcohol enriched gasoline. D. diesel fuel. E. aviation fuel. Z. other.</p>	<p>Underground tank:</p> <p>A. has overfill protection. B. is interior lined. C. is painted/asphalted steel. D. is of unknown type. E. is fiberglass type. F. is fiberglass-clad steel. G. is sacrificial anode type. H. is impressed current type. I. is double walled. J. is concrete. K. is in secondary containment. N. is or has none of the above.</p>	<p>Aboveground tank:</p> <p>O. has overfill protection. P. is surrounded by impervious dike. Q. is surrounded by earth dike. R. rests on an impervious base. S. rests on a earth/gravel base. T. has interior lined bottom. U. is cathodically protected. V. is built of/coated with corrosion resistant materials. W. is supported above the soil. Z. is or has none of the above.</p>	<p>Integral Piping System has:</p> <p>A. no parts in contact with the soil. Parts contacting the soil which are: B. unprotected metal. C. built of corrosion resistant materials. D. corrosion resistant coated. E. cathodically protected. F. double-walled. G. within a secondary containment. H. interior lined. M. none of the above.</p>	<p>Monitoring system is:</p> <p>A. automatically sampled well(s). B. manually sampled well(s). C. groundwater monitoring plan. D. SPCC plan. E. well/detector in secondary containment. F. in-ground detector. G. within walls of double-walled tank. H. continuous in piping. I. not required. N. none of the above.</p>	<p>Tank disposal method.</p> <p>A. Filling. B. Removal. C. Retrofitting. F. Other.</p>

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION



DALE TWACHTMANN
 SECRETARY

RECEIVED

JUN 26 1989

**BOB MARTINEZ
 GOVERNOR**

ROSS COMPANY

INVOICE
 No. 298624804-00051

Date: 06/20/89
 Page: 1 of 1

ROSS CO., BRUCE M.
 9605 E HILLSBOROUGH AVE
 TAMPA FL 33677

FACILITY ID: 298624804

PREVIOUS CHARGES:

1 Initial tank(s) @ 50.00

\$ 50.00

TOTAL CHARGES INCURRED:

\$ 50.00

CLERICAL CK. _____

PAYMENTS RECEIVED:

VENDOR NO. _____

CODE _____

\$ 0.00

TOTAL AMOUNT PAID:

APPROVED _____

TOTAL AMOUNT DUE:

POSTED _____

\$ 50.00

DATE PAID _____

CHECK NO. _____

Amount due must be submitted immediately.
 Make check payable to: Department of Environmental Regulation
 For Journal Transfer Use: 56 20 2 212001 56000000 00 000100

Please return this portion along with your remittance to:
 MOTOR FUEL TANK REGISTRATION
 2600 BLAIRSTONE ROAD, TALLAHASSEE, FL 32399-2405

Facility ID: 298624804
 Name: ROSS CO., BRUCE M.
 Location: 9605 E HILLSBOROUGH AVE
 TAMPA

Date: 06/20/89

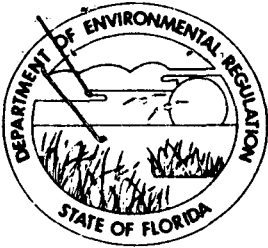
TOTAL CHARGES INCURRED: \$ 50.00
 TOTAL AMOUNT PAID: \$ 0.00

 TOTAL AMOUNT DUE: \$ 50.00
 =====

If any information on this form is incorrect, written documentation or a revised registration form (17-61.090(3)) must be included.

For further assistance, please call (904) 488-3936.

0 298624804



Florida Department of Environmental Regulation

Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

Petroleum Liability Insurance Program Affidavit Form

In 1988, the Florida Legislature established the Florida Petroleum Liability Insurance Program in Chapter 376.3072, Florida Statutes. The program provides up to one million dollars coverage for third party liability and one million dollars for restoration of petroleum contaminated sites. In order to be eligible for the Insurance Program or the Restoration Program, a facility owner or operator must sign this affidavit to affirm that the facility is in compliance with the Department's Storage Tank Rule (Chapter 17-61, Florida Administrative Code) and Chapter 376, Florida Statutes and that he or she has read and is familiar with these rules and statutes.

State of Florida
County of Hillsborough

I, Bruce M. Ross, hereby affirm that:
(Name of owner or operator)

The petroleum storage systems, as defined in Chapter 376.301, Florida Statutes, located at the facilities listed on the attached application, are now in compliance and shall maintain compliance with applicable provisions relating to stationary tanks in Chapter 376.303, Florida Statutes and Florida Administrative Code Rule 17-61, including but not limited to, those provisions for:

- (a) the installation, maintenance and repair of new and existing aboveground petroleum storage systems;
- (b) the installation, maintenance and repair of new and existing underground petroleum storage systems;
- (c) the installation, maintenance and repair of new and existing integral piping systems;
- (d) petroleum storage system registration;
- ~~(e) notification of sale, abandonment, replacement, or upgrading of petroleum storage systems;~~
- (f) notification of a discharge of a pollutant from or in connection with the operation of a petroleum storage system;
- (g) overfill protection of petroleum storage systems;
- (h) leak detection systems, inventory schedules and loss investigation for petroleum storage systems;

I, Bruce M. Ross, have read Chapter 376, Florida Statutes and Florida Administrative Code Rule 17-61, and the facility or facilities listed on the attached application meet the requirements for participation in the Florida Pollution Liability Insurance Program as described in Chapter 376.3072, Florida Statutes.

[Signature]
(Signature of owner or operator)
owner
(Title of owner or operator)

Subscribed and sworn to before me this 14th day of March, 1989.

Kristin J. Nicks
(Signature and title of notary)

(Official Seal)

My commission expires 19
NOTARY PUBLIC, State of Florida
My commission expires Dec. 30, 1991

INFORMATION CODE LIST

<u>List (4)</u>	<u>List (9)</u>	<u>List (10)</u>	<u>List (11)</u>	<u>List (12)</u>	<u>List (13)</u>
Facility Type	Tank Number	Tank Size Gallons	Tank contents are:	Tank Installation Date/Month/Year	Underground or Aboveground (write <u>U</u> or <u>A</u>)
A. service station			A. leaded gasoline		
B. residence			B. unleaded gasoline		
C. business (no fuel sold)			C. unleaded gasohol		
D. bulk petroleum storage			D. vehicular diesel		
E. industrial plant			F. aviation gas	<u>No skid or portable tanks</u>	
F. federal government (give GSA#)			G. jet fuel		
G. state government			H. concrete		
H. local government			I. sand		
I. collection station			K. kerosene		
K. bulk chemical storage			L. used (waste) oil		
L. chemical user facility			M. diesel (boilers & generators)		
M. agricultural facility			N. leaded gasohol		
N. facility on Indian land.			O. new oil		
S. small user facility			P. pesticide (write in name) _____		
T. terminal facility/marina			R. ammonia compound (write in name) _____		
			S. chlorine compound (write in name) _____		
			V. hazardous substance (write in name or Chemical Abstract Service (CAS) number _____)		
			W. water		
			Z. other (write in name) _____		

List (14) U

- Underground tank
- A. has overfill protection
 - B. is interior lined
 - C. is painted/asphalted steel
 - D. is of unknown type
 - E. is fiberglass type
 - F. is fiberglass-clad steel
 - G. is sacrificial anode type
 - H. is impressed current type
 - I. is double walled
 - K. is in secondary containment
 - L. compartmented

List (15)

- Integral piping system has:
- A. no parts in contact with the soil
- Parts contacting the soil which are:
- B. galvanized or unprotected metal
 - C. built of corrosion resistant metal
 - D. corrosion resistant coated
 - E. cathodically protected
 - F. double-walled
 - G. within a secondary containment
 - H. interior lined

List (17)

- Tank disposal method
- A. abandoned in place
filled w/sand or concrete
 - B. removed from site
 - C. retrofitted
 - F. abandoned in place, but not
filled w/sand or concrete

List (18)

Gallons Left

List (19)

Date Abandoned
Month/Year

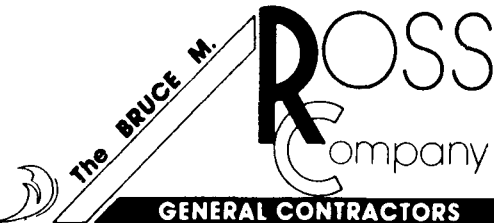
List (14) A

- Aboveground tank
- M. is double-walled
 - P. is surrounded by
impervious dike
 - Q. is surrounded by earth dike
 - R. rests on an impervious base
 - S. rests on an earth/gravel base
 - T. has interior lined bottom
 - U. is cathodically protected
 - V. is built of/coated with cor-
rosion resistant material
 - W. is supported above the soil

List (16)

- Monitoring system is:
- A. automatically sampled well(s)
 - B. manually sampled well(s)
 - C. groundwater monitoring plan
 - D. SPCC plan
 - E. well/detector in secondary
containment
 - F. in-ground detector
 - G. within walls of double-wall
tank
 - H. continuous in piping
 - I. not required

DER approved alternate
procedure(s), if applicable:



9605 E. HILLSBOROUGH AVE. ● TAMPA, FL 33610 ● TELEPHONE: (813) 621-6880

JUNE 24, 1988

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION
MOTOR FUEL TANK REGISTRATION
2600 BLAIRSTONE ROAD
TALLAHASSEE, FLORIDA 32399-2405

JUL 2 1988
Bureau of
Waste Management
Stationary Tanks

RE: INVOICE # 298624804-0000
REGISTRATION FEE
FACILITY ID. # 298624804

THIS IS TO ADVISE YOU THAT NO FUELS ARE CURRENTLY
BEING STORED IN THE TANK, NOR HAVE ANY FUELS BEEN
STORED IN THE TANK SINCE WE HAVE BEEN HERE. PLEASE
ADJUST YOUR RECORDS ACCORDINGLY.

TRULY YOURS

BRUCE M. ROSS
PRESIDENT

Site 116

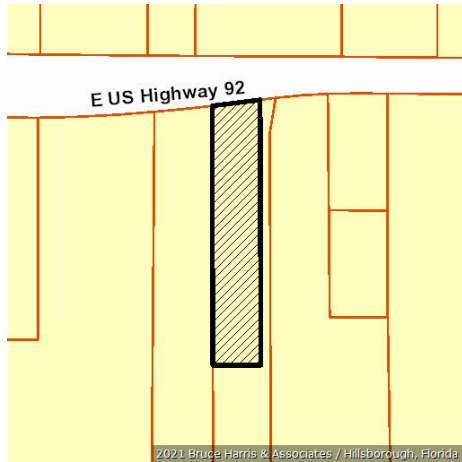
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 040412-0000



Owner Information

Owner Name	YONA VENTURES LLC
Mailing Address	3110 MCINTOSH RD DOVER, FL 33527-4822
Site Address	9611 E 92 HWY, TAMPA
PIN	U-06-29-20-1ME-000000-00003.0
Folio	040412-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	2754 AUTO REPAIR D
Plat Book/Page	27/98
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1ME STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$229,298	\$204,981	\$0	\$204,981
Public Schools	\$229,298	\$229,298	\$0	\$229,298
Municipal	\$229,298	\$204,981	\$0	\$204,981
Other Districts	\$229,298	\$204,981	\$0	\$204,981

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
27182 / 0605	2019532519	12	2019	WD	Unqualified	Improved	\$31,700
9418 / 0527	99001619	12	1998	WD	Qualified	Improved	\$85,000
9051 / 0028	98140750	02	1997	TD	Unqualified	Improved	\$30,000
6830 / 0680	92285737	12	1992	WD	Qualified	Improved	\$100,000

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0430	GARAGE METAL	0	2006	26	16	416.00	\$5,847
0430	GARAGE METAL	0	2006	16	30	480.00	\$6,746
0520	CANOPY	0	2006	6	30	180.00	\$1,116
0651	SHED NOT PERMANENTLY AFFIXED	0	2006	0	0	1.00	\$0
0260	FENCE CL6	0	2006	0	0	1,915.00	\$15,129
0430	GARAGE METAL	0	2011	40	30	1,200.00	\$16,865
0460	CARPORT	0	2011	12	32	384.00	\$3,502
0460	CARPORT	0	2016	38	32	1,216.00	\$13,862

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	CG	105.00	529.98	SF SQUARE FEET	55,756.00	\$166,231

Legal Description

STATE HIGHWAY FARMS W 1/2 OF E 1/2 OF TRACT 3 AND LESS RD R/W FOR STATE HWY 92 AND LESS S 365.02 FT THEREOF AND LESS E 20 FT OF W 1/2 OF E 1/2 OF SD TRACT 3

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
47946	Hillsborough	O - Out Of Business			2916579	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
J Ryan Marine Corp	9611 E Hillsborough Ave Tampa, FL 33610	9611 Hillsborough Tampa, 33610	Unknown	Unknown	(813) 272-5788				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	- Unverified Generator Status	0	P - Verification By Phone Call	1/18/2001	Javier	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:12:56 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 117

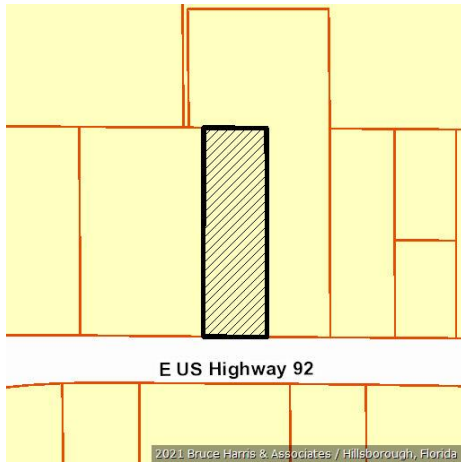
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 040574-0000



Owner Information

Owner Name	STEPHENS TRAVIS
Mailing Address	5824 MARINER ST TAMPA, FL 33609-3412
Site Address	9718 E 92 HWY, TAMPA
PIN	U-06-29-20-1MG-000000-00056.1
Folio	040574-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1740 OFFICE 1 STY D
Plat Book/Page	26/12
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	1MG STATE HIGHWAY FARMS

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$176,400	\$174,460	\$0	\$174,460
Public Schools	\$176,400	\$176,400	\$0	\$176,400
Municipal	\$176,400	\$174,460	\$0	\$174,460
Other Districts	\$176,400	\$174,460	\$0	\$174,460

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
21003 / 1426	2012086613	02	2012	QC	Unqualified	Improved	\$100
18594 / 0820	2008148739	04	2008	WD	Unqualified	Improved	\$40,000
18594 / 0814	2008148736	05	2007	WD	Unqualified	Improved	\$100
13280 / 1853	2003471626	10	2003	WD	Qualified	Improved	\$160,000
5862 / 0234	89275454	12	1989	QC	Unqualified	Improved	\$16,029
4216 / 1896		11	1983	WD	Unqualified	Improved	\$125,000
4216 / 1895		11	1983	WD	Qualified	Improved	\$44,800

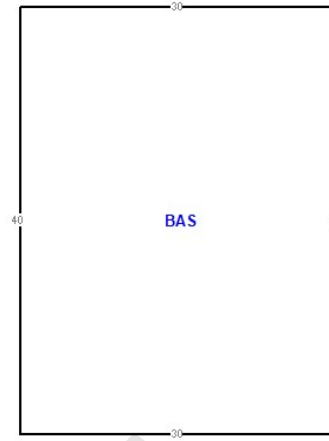
Building Information

Building 1

Type	49 OFFICE <3 STORY
Year Built	1960

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	7	Tile
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	10.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,200	1,200	\$68,506
Totals	1,200	1,200	\$68,506

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	0	2009	0	0	1,200.00	\$3,494
0020	ASPHALT PAVING	1	2011	0	0	1,860.00	\$3,857

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	CG	100.00	327.00	SF SQUARE FEET	32,700.00	\$98,100

Legal Description

STATE HIGHWAY FARMS LOT BEG 184.7 FT W OF SE COR OF LOT 56 AND RUN N 326.58 FT W 100 FT S 327.10 FT AND E 100 FT TO BEG LESS HWY

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
36839	Hillsborough	O - Out Of Business			2901444	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
C And C Radiator Shop	9718 E Hillsborough Ave Tampa, FL 33610	9718 Hillsborough Tampa, 33610	Unknown	Owner	(813) 626-1514				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7539 - Services - Automotive Repair Shops, Nec	N - NOT A HAZARDOUS WASTE GENERATOR	0	P - Verification By Phone Call	12/18/2006	December Project	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		12/21/2007 6:18:58 PM							
Comments:									
Comment Date	Comment								
2/12/1997	Closed File Status Ok?								
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
MSSH - Dust And Solids With Heavy Metals	C1 - 0-9 Gallon Container	HR - Shipped For Rcra Reuse/Recycle	16.66 (POUNDS)	17	200	Off-Site	N	N	Y
UKEH - Absorbents Contaminated W/Oil	C1 - 0-9 Gallon Container	DT - Disposal To Septic Tank	1.37 (POUNDS)	1	17	Off-Site	N	N	N
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 118

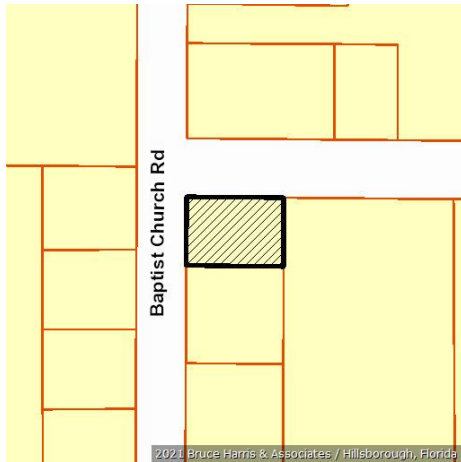
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065219-0000



Owner Information

Owner Name	KNECHT CRAIG MARTIN LIFE ESTATE KNECHT CHRISTOPHER MICHAEL KNECHT COREY MATTHEW
Mailing Address	5419 BAPTIST CHURCH RD TAMPA, FL 33610-9700
Site Address	5419 BAPTIST CHURCH RD, TAMPA
PIN	U-06-29-20-ZZZ-000002-38320.0
Folio	065219-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$68,707	\$23,960	\$23,960	\$0
Public Schools	\$68,707	\$23,960	\$23,960	\$0
Municipal	\$68,707	\$23,960	\$23,960	\$0
Other Districts	\$68,707	\$23,960	\$23,960	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
27053 / 1959	2019458553	10	2019	WD	Unqualified	Improved	\$100
19459 / 0988	2009300889	09	2009	WD	Unqualified	Improved	\$18,000
19411 / 1137	2009266829	07	2009	CT	Unqualified	Improved	\$100
7892 / 1378	95216893	09	1995	WD	Qualified	Improved	\$36,600
6680 / 1925	92165120	07	1992	CT	Unqualified	Improved	\$100
6262 / 1164	91089606	05	1991	WD	Qualified	Improved	\$36,000

Building Information

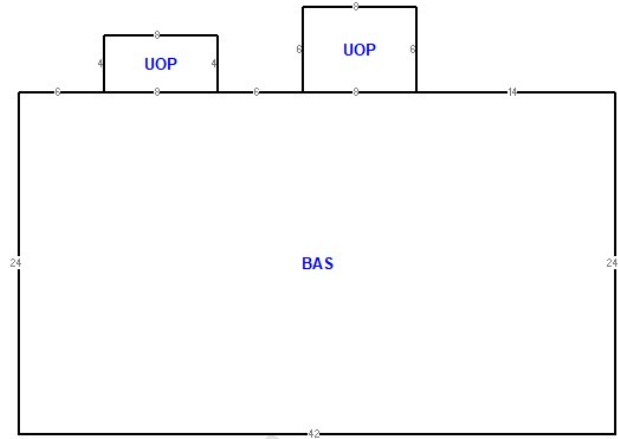
Building 1

Type 01 | SINGLE FAMILY

Year Built 1955

Building 1 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	0	None
Architectural Style	4	Basic 1-Story
Condition	2	Fair
Bedrooms	3.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,008	1,008	\$36,404
UOP	48		\$253
UOP	32		\$181
Totals	1,088	1,008	\$36,838

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0640	UTILITY CB	1	1955	0	0	99.00	\$1,569
0651	SHED NOT PERMANENTLY AFFIXED	1	2015	0	0	2.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
REC0	Res SF Class 3.00	CG	100.00	100.00	SE SF LOTS W/ EFF SIZE	10,000.00	\$30,300

Legal Description

N 100 FT OF E 100 FT OF W 125 FT OF NE 1/4 OF NE 1/4

Facility Detailed List Report

Number of Facilities = 1

Facility Info										
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up				
110848	Hillsborough	O - Out Of Business			2910794	N - None Needed				
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address				
C & S Refinishing	5419 Baptist Church Rd Tampa, FL 33610	5419 Baptist Church Tampa, 33610	Unknown	Unknown	(813) 272- 5960					
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code				
7389 - Services - Business Services, Nec	- Unverified Generator Status	0	P - Verification By Phone Call	12/2/2004	December Project	29 - Hillsborough				
Full-Time Employees		Facility Updated Date								
		3/16/2006 5:47:06 PM								
Waste Info										
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/ Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous	
Facility has no corresponding waste information.										
Activity Info										
Activity Type	Description	Activity Date	Return To Compliance Date							
Facility has no corresponding activity information.										

Site 119

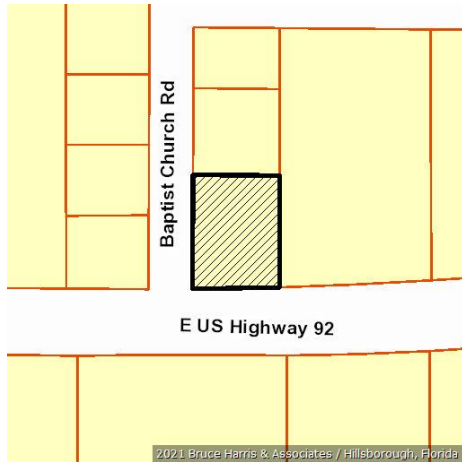
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065221-0000



Owner Information

Owner Name	MIGUEL JERRY L MIGUEL PATRICIA L
Mailing Address	9802 E US HIGHWAY 92 TAMPA, FL 33610-5932
Site Address	9802 E 92 HWY, TAMPA
PIN	U-06-29-20-ZZZ-000002-38340.0
Folio	065221-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	1227 MIXED USE AUTO
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$74,996	\$70,584	\$0	\$70,584
Public Schools	\$74,996	\$74,996	\$0	\$74,996
Municipal	\$74,996	\$70,584	\$0	\$70,584
Other Districts	\$74,996	\$70,584	\$0	\$70,584

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
11771 / 1310	2002233548	07	2002	QC	Unqualified	Improved	\$70,000
7315 / 0975	94059808	03	1994	WD	Qualified	Improved	\$55,000
6973 / 1784	93107455	05	1993	WD	Qualified	Improved	\$20,000
6787 / 0749	92251088	11	1992	QC	Unqualified	Improved	\$100

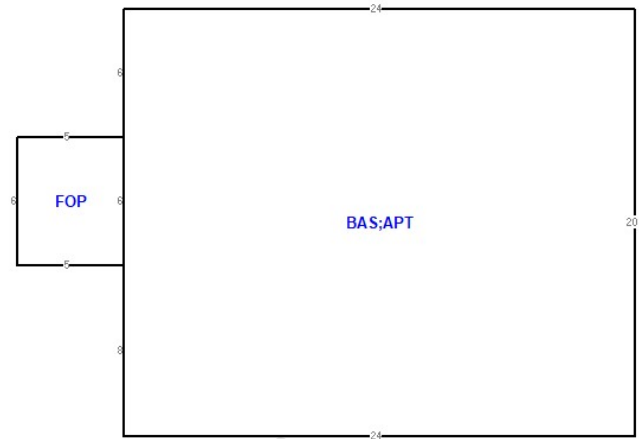
Building Information

Building 1

Type	84 WRHSE - STORAGE
Year Built	1953

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Heat/AC	1	Non-Ducted
Plumbing	2	Below Average
Condition	2	Fair
Stories	2.0	
Units	1.0	
Wall Height	8.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	480	480	\$7,025
APT	480	480	\$9,132
FOP	30		\$220
Totals	990	960	\$16,377

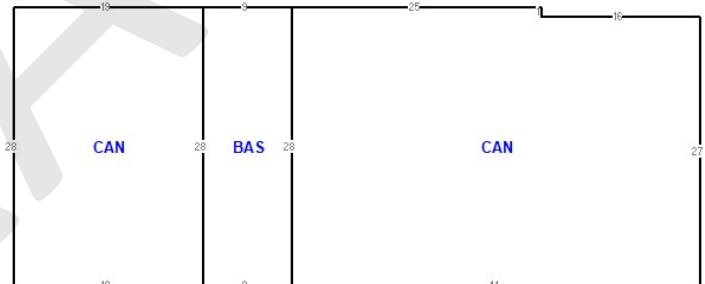
Building 2

Type	65 AUTO SERVICE/REPAIR GARAGE
-------------	---------------------------------

Year Built	1994
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Building 2 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	1	Minimum
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Plumbing	0	None
Condition	2	Fair
Stories	1.0	
Units	1.0	
Wall Height	10.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	1,132		\$8,813
BAS	252	252	\$6,532
CAN	532		\$4,147
Totals	1,916	252	\$19,492

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	1	1985	0	0	320.00	\$2,528

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
----------	-------------	------	-------	-------	-----------	------------------	------------

Legal Description

E 100 FT OF W 125 FT OF THAT PART OF NE 1/4 OF NE 1/4 N OF STATE RD 17 LESS N 200 FT

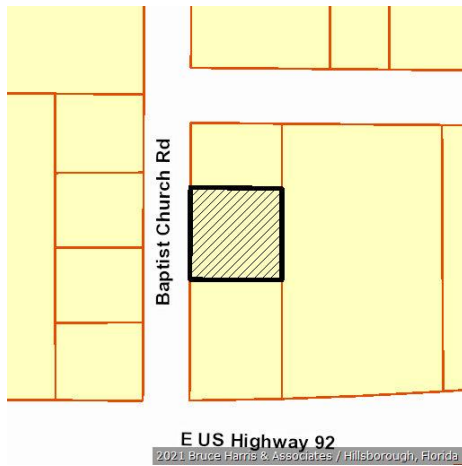
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Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065220-0000



Owner Information

Owner Name	MIGUEL JERRY L
Mailing Address	11108 MAHIN LN RIVERVIEW, FL 33578-4521
Site Address	5415 BAPTIST CHURCH RD, TAMPA
PIN	U-06-29-20-ZZZ-000002-38330.0
Folio	065220-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	2754 AUTO REPAIR D
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$62,590	\$58,590	\$0	\$58,590
Public Schools	\$62,590	\$62,590	\$0	\$62,590
Municipal	\$62,590	\$58,590	\$0	\$58,590
Other Districts	\$62,590	\$58,590	\$0	\$58,590

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
6938 / 0640	93079692	04	1993	WD	Qualified	Improved	\$23,400
6787 / 0751	92251089	11	1992	QC	Unqualified	Improved	\$12,000
5095 / 0455	87088014	04	1987	WD	Qualified	Improved	\$32,800

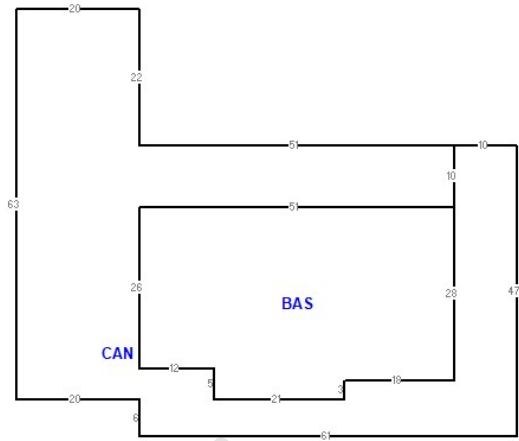
Building Information

Building 1

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	1954

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	12	Metal
Exterior Wall	5	Concrete Block
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	1	Non-Ducted
Plumbing	2	Below Average
Condition	2	Fair
Stories	1.0	
Units	1.0	
Wall Height	10.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	2,660		\$11,491
BAS	1,467	1,467	\$21,125
Totals	4,127	1,467	\$32,616

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0520	CANOPY	1	2002	39	10	390.00	\$1,814
0260	FENCE CL6	1	1954	0	0	400.00	\$3,160

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COA3	Comm Class 1	CG	100.00	100.00	SF SQUARE FEET	10,000.00	\$25,000

Legal Description

LOT BEG 25 FT E AND 100 FT S OF NW COR OF NE 1/4 OF NE 1/4 AND RUN E 100 FT, S 100 FT, W 100 FT AND N 100 FT TO BEG

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
135884	Hillsborough	O - Out Of Business			2923316	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Fultz Edward P All Pro Roofing	9802 E Hwy 92 Tampa, FL 33610	9802 Hwy 92 Tampa, 33610	Unknown	Unknown	(813) 272-5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	- Unverified Generator Status	0	V - Verification By On-Site Visit	2/1/2005	Eggert	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/16/2006 5:44:33 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 120

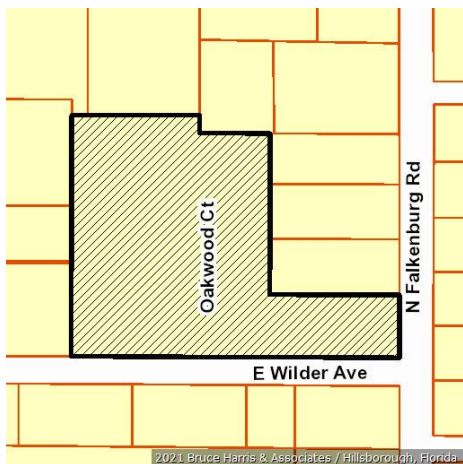
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

<https://www.hcpafil.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 065246-0000



Owner Information	
Owner Name	OAKWOOD TAMPA LLC
Mailing Address	1712 ARABIAN DR LOXAHATCHEE, FL 33470-3905
Site Address	5313 OAKWOOD CT, TAMPA
PIN	U-06-29-20-ZZZ-000002-38530.0
Folio	065246-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0350 MFR CLASS E
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$1,441,800	\$1,441,800	\$0	\$1,441,800
Public Schools	\$1,441,800	\$1,441,800	\$0	\$1,441,800
Municipal	\$1,441,800	\$1,441,800	\$0	\$1,441,800
Other Districts	\$1,441,800	\$1,441,800	\$0	\$1,441,800

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
	2020078527	02	2020	WD	Qualified	Improved	\$1,750,000
3718 / 0405		10	1980	WD	Unqualified	Improved	\$364,000
2475 / 0911		01	1972		Qualified		\$1,200
2412 / 0324		01	1971		Qualified		\$7,100

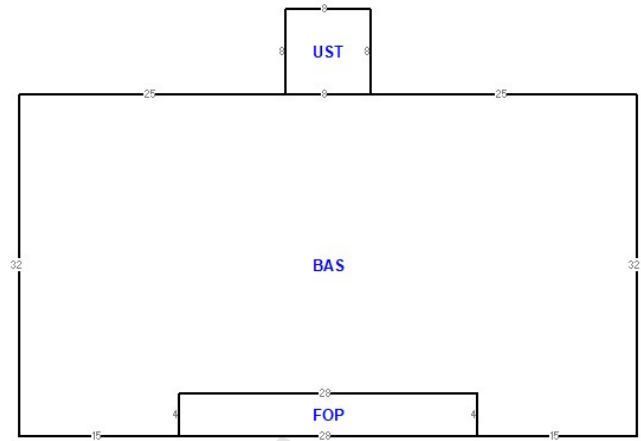
Building Information

Building 1

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1968

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 1 subarea

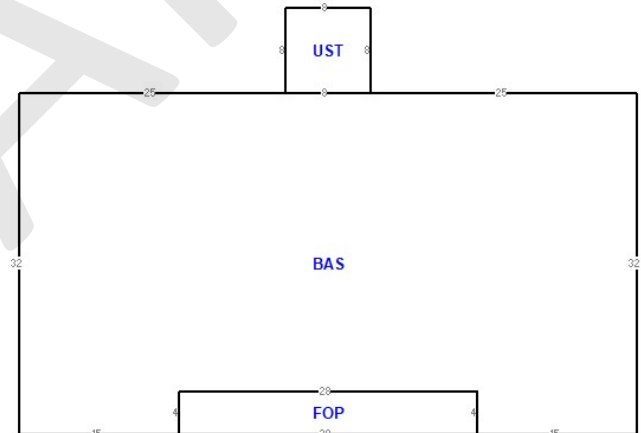
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$72,930
UST	64		\$1,087
FOP	112		\$1,171
Totals	1,920	1,744	\$75,188

Building 2

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1970

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 2 subarea

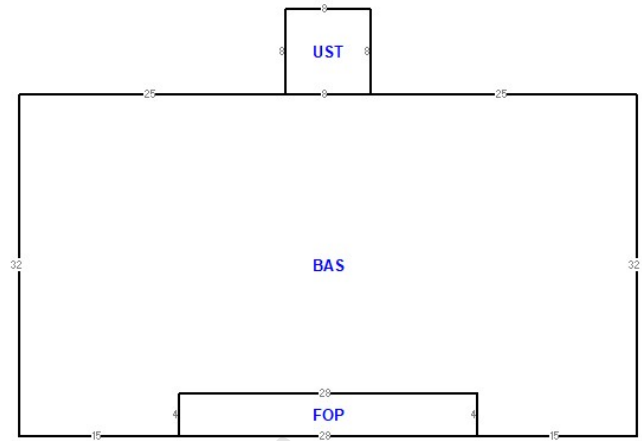
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$80,527
UST	64		\$1,201
FOP	112		\$1,293
Totals	1,920	1,744	\$83,021

Building 3

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1970

Building 3 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 3 subarea

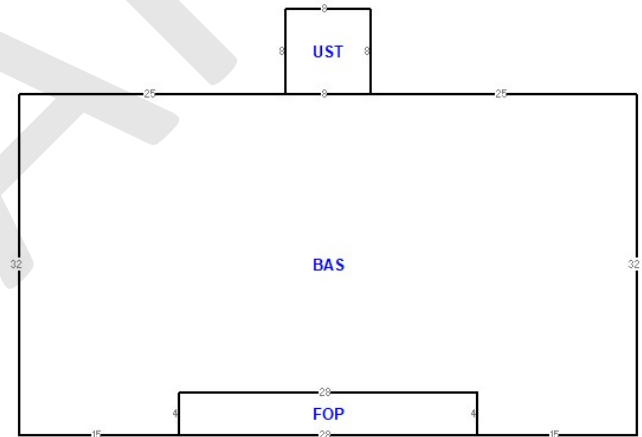
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$80,527
UST	64		\$1,201
FOP	112		\$1,293
Totals	1,920	1,744	\$83,021

Building 4

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1971

Building 4 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 4 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$79,713
UST	64		\$1,188
FOP	112		\$1,280
Totals	1,920	1,744	\$82,181

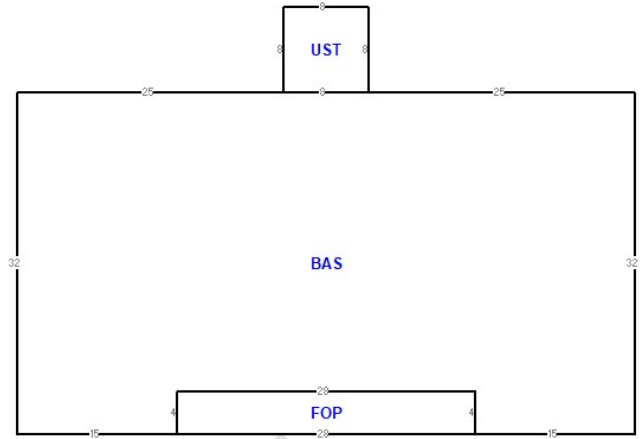
Building 5

Type 27 | DUPLEX/TRIPLEX/
QUADPLX/ETC

Year Built 1972

Building 5 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 5 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$79,713
UST	64		\$1,188
FOP	112		\$1,280
Totals	1,920	1,744	\$82,181

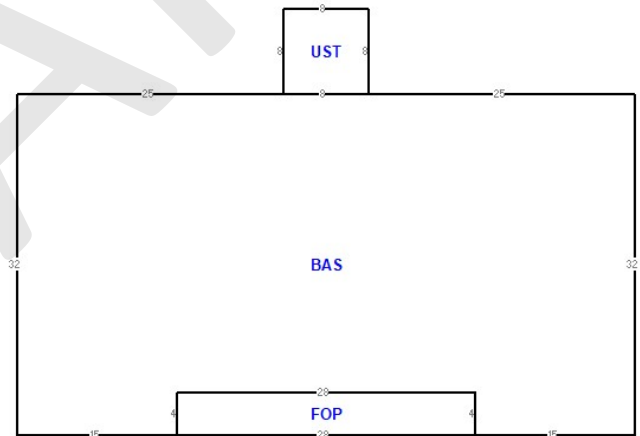
Building 6

Type 27 | DUPLEX/TRIPLEX/
QUADPLX/ETC

Year Built 1972

Building 6 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 6 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$79,713
UST	64		\$1,188
FOP	112		\$1,280
Totals	1,920	1,744	\$82,181

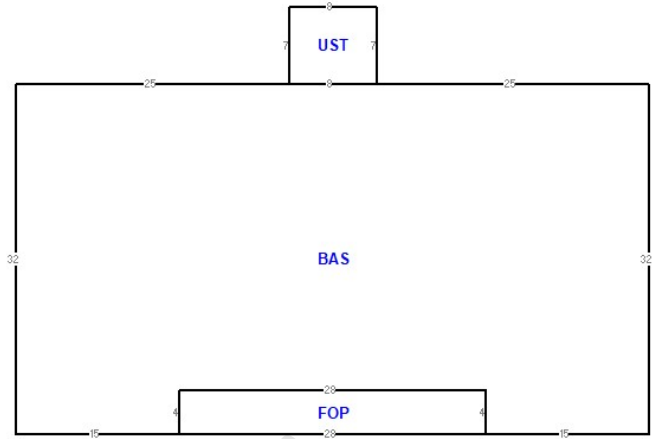
Building 7

Type 27 | DUPLEX/TRIPLEX/
QUADPLX/ETC

Year Built 1973

Building 7 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	

**Building 7 subarea**

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$88,124
UST	56		\$1,112
FOP	112		\$1,415
Totals	1,912	1,744	\$90,651

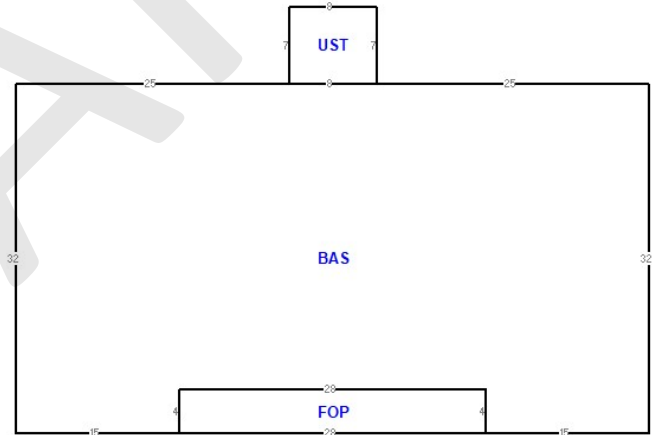
Building 8

Type 27 | DUPLEX/TRIPLEX/
QUADPLX/ETC

Year Built 1973

Building 8 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	

**Building 8 subarea**

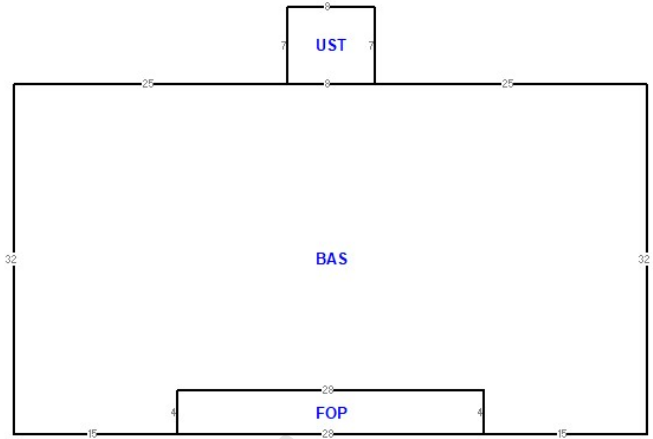
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$88,124
UST	56		\$1,112
FOP	112		\$1,415
Totals	1,912	1,744	\$90,651

Building 9

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1973

Building 9 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 9 subarea

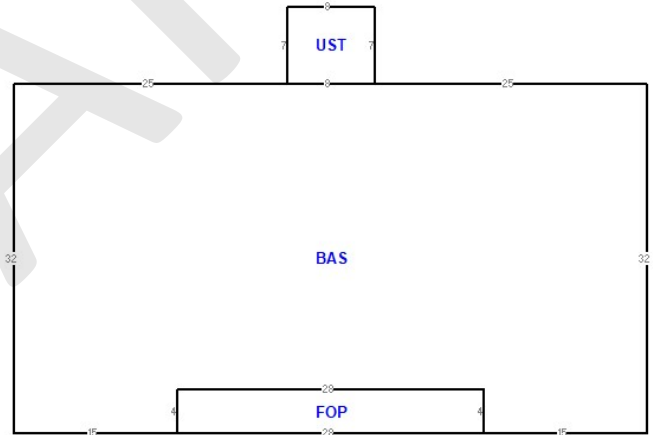
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$88,124
UST	56		\$1,112
FOP	112		\$1,415
Totals	1,912	1,744	\$90,651

Building 10

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1973

Building 10 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 10 subarea

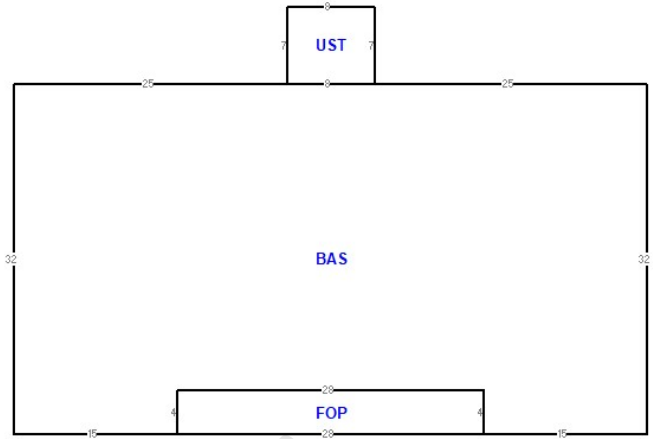
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$88,124
UST	56		\$1,112
FOP	112		\$1,415
Totals	1,912	1,744	\$90,651

Building 11

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1973

Building 11 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 11 subarea

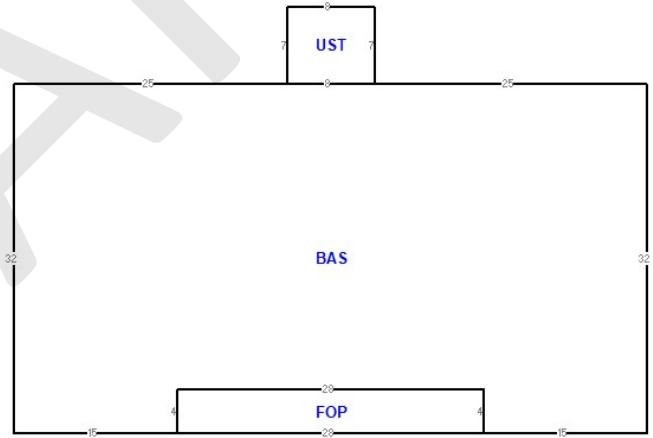
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$88,124
UST	56		\$1,112
FOP	112		\$1,415
Totals	1,912	1,744	\$90,651

Building 12

Type	27 DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built	1973

Building 12 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 12 subarea

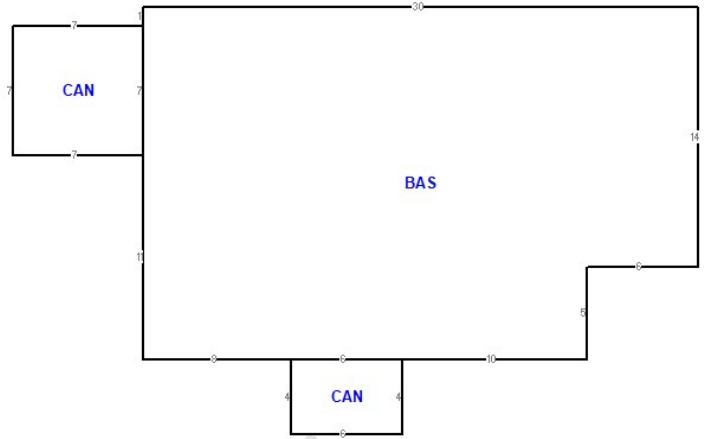
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$88,124
UST	56		\$1,112
FOP	112		\$1,415
Totals	1,912	1,744	\$90,651

Building 13

Type 49 | OFFICE <3 STORY
Year Built 1973

Building 13 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	1	Flat
Roof Cover	2	Rolled Composition
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	1	Non-Ducted
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	8.00	



Building 13 subarea

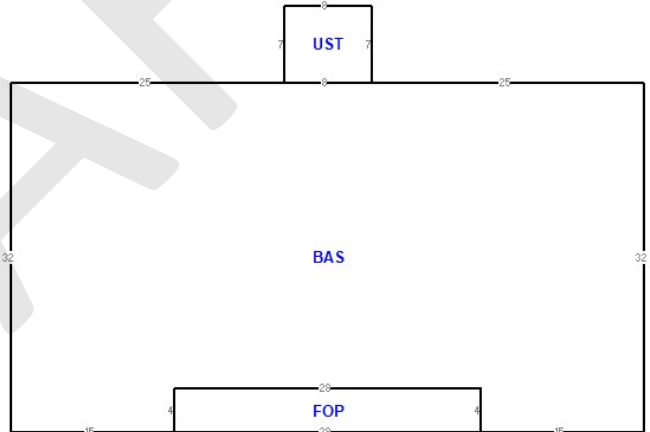
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	540	540	\$41,214
CAN	49		\$1,145
CAN	24		\$534
Totals	613	540	\$42,893

Building 14

Type 27 | DUPLEX/TRIPLEX/ QUADPLX/ETC
Year Built 1970

Building 14 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	2	Central
Condition	3	Average
Stories	1.0	
Bedrooms	2.0	
Bathrooms	1.0	
Units	2.0	



Building 14 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,744	1,744	\$79,713
UST	56		\$1,006
FOP	112		\$1,280
Totals	1,912	1,744	\$81,999

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	0	2002	0	0	9,720.00	\$12,933
0060	CONCRETE PAVEMENT	0	2007	0	0	210.00	\$659
0280	FENCE WOOD	0	2007	0	0	2,200.00	\$14,329
0370	POOL COMMERCIAL	13	1973	0	0	648.00	\$25,466
0140	DECK COOL	13	1973	0	0	972.00	\$2,939

0651	SHED NOT PERMANENTLY AFFIXED	13	1990	0	0	1.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	0	2010	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994A	Acreage Class 4	RMC-16	0.0	0.0	AC ACREAGE	4.13	\$165,200
REC0	Res SF Class 3.00	RMC-16	75.00	117.00	SE SF LOTS W/ EFF SIZE	8,775.00	\$27,115

Legal Description

TRACT BEG 687 FT E AND 166 FT N OF SW COR OF NE 1/4 OF NE 1/4 AND RUN N 115 FT E 225 FT S 115 FT AND W 225 FT TO BEG AND TRACT BEG 956 FT E AND 166 FT N OF SW COR OF NE 1/4 OF NE 1/4 AND RUN N 90 FT E 87 FT S 90 FT AND W 87 FT TO BEG AND N 117 FT OF S 283 FT OF E 175 FT OF NE 1/4 OF NE 1/4 TOGETHER WITH THE FOLLOWING DESC
 PARCEL TRACT BEG 912 FT E AND 166 FT N OF SW COR OF NE 1/4 OF NE 1/4 ANF RUN N 115 FT W 225 FT N 59 FT W 200 FT N 1 FT E 200 FT N 269 FT E 238 FT S 27 FT E 120 FT S 327 FT W 87 FT S 90 FT AND W 44 FT TO BEG TOGETHER WITH THE FOLLOWING DESC TRACT DESC AS BEG 1127 FT E AND 166 FT N OF SW COR OF NE 1/4 OF NE 1/4 AND RUN N 117 FT W 75 FT S 117 FT AND E 75 FT TO BEG

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
48322	Hillsborough	O - Out Of Business			2916964	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Lutkus John R/Dbal/Final Touch	5313 Oakwood Ct Tampa, FL 33610	5313 Oakwood Tampa, 33610	Unknown	Unknown	(813) 272-5788				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	- Unverified Generator Status	0	P - Verification By Phone Call	11/2/2001	Bruce	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:18:18 PM							
Comments:									
Comment Date	Comment								
11/2/2001	Was 2906143								
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 121

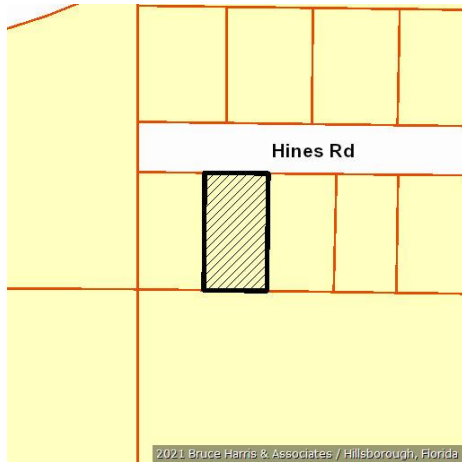
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 062664-0000



2021 Bruce Harris & Associates / Hillsborough, Florida

Owner Information

Owner Name	SCOTT SHIRLEY DIANE
Mailing Address	10004 HINES RD TAMPA, FL 33610-9705
Site Address	10004 HINES RD, TAMPA
PIN	U-31-28-20-ZZZ-000002-24270.0
Folio	062664-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$87,946	\$34,453	\$25,000	\$9,453
Public Schools	\$87,946	\$34,453	\$25,000	\$9,453
Municipal	\$87,946	\$34,453	\$25,000	\$9,453
Other Districts	\$87,946	\$34,453	\$25,000	\$9,453

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
	2021445723	08	2021	WD	Unqualified	Improved	\$79,900
	2020315210	07	2020	WD	Unqualified	Improved	\$38,000
17909 / 1299	2007297420	06	2007	WD	Unqualified	Improved	\$96,000
17098 / 1306	2006510668	02	2006	TR	Unqualified	Improved	\$45,000
6281 / 0920	91105288	05	1991	QC	Unqualified	Improved	\$100
3849 / 1169		08	1981	WD	Unqualified	Improved	\$33,300
3368 / 0220		05	1978		Qualified	Improved	\$11,000

Building Information

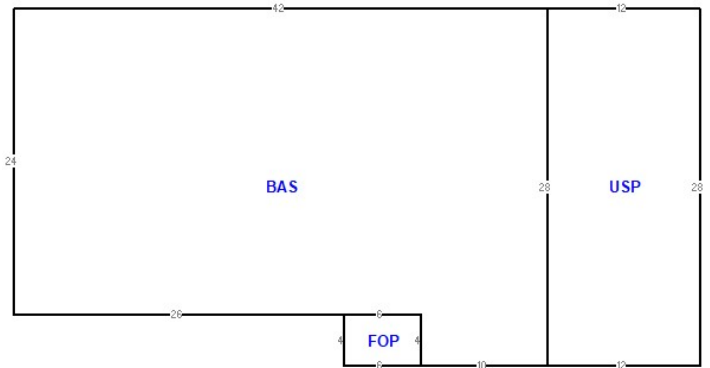
Building 1

Type 01 | SINGLE FAMILY

Year Built 1960

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Interior Flooring	4	Vinyl
Heat/AC	1	Non-Ducted
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	2.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,048	1,048	\$50,805
FOP	24		\$291
USP	336		\$4,072
Totals	1,408	1,048	\$55,168

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	1	2019	0	0	2.00	\$0
0470	OPEN SHED	1	2001	0	0	300.00	\$1,872

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
RECO	Res SF Class 3.00	RSC-6	75.00	136.00	SE SF LOTS W/ EFF SIZE	10,200.00	\$30,906

Legal Description

TRACT BEG 663.86 FT S AND 506.78 FT W OF NE COR OF SE 1/4 OF SE 1/4 AND RUN N 136.98 FT W 75 FT S 136.98 FT AND E 75 FT TO POB

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
48578	Hillsborough	O - Out Of Business			2917224	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Jay Andrew Burton	10004 Hines Rd Tampa, FL 33610	10004 Hines Tampa, 33610	Unknown	Unknown	(813) 272-5788				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7692 - Services - Welding Repair	- Unverified Generator Status	0	P - Verification By Phone Call	12/10/2001	Gauthier	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:13:28 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 122

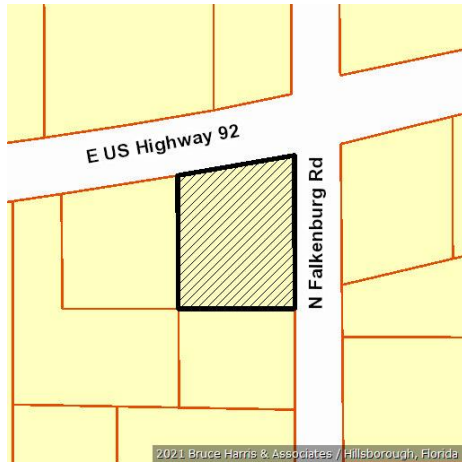
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065222-1000



Owner Information

Owner Name	5320 N FALKENBURG RD LLC
Mailing Address	5320 N FALKENBURG RD TAMPA, FL 33610-5924
Site Address	5320 N FALKENBURG RD, TAMPA
PIN	U-06-29-20-ZZZ-000002-38350.0
Folio	065222-1000
Prior PIN	
Prior Folio	065222-0000
Tax District	U - UNINCORPORATED
Property Use	1423 Conv Store /Gas D
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$479,889	\$429,442	\$0	\$429,442
Public Schools	\$479,889	\$479,889	\$0	\$479,889
Municipal	\$479,889	\$429,442	\$0	\$429,442
Other Districts	\$479,889	\$429,442	\$0	\$429,442

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26734 / 0879	2019271029	05	2019	QC	Unqualified	Improved	\$100
17154 / 1913	2006534957	08	2005	WD	Qualified	Improved	\$1,050,000
15385 / 0252	2005369653	08	2005	WD	Unqualified	Improved	\$800,000
15385 / 0249	2005369652	06	2003	WD	Unqualified	Improved	\$100
12928 / 0462	2003315217	06	2003	WD	Qualified	Improved	\$345,000
6652 / 0517	92141402	06	1992	TR	Unqualified	Improved	\$100
4958 / 0431	86247311	11	1986	TR	Unqualified	Improved	\$100
4559 / 0511		05	1985	WD	Unqualified	Improved	\$100

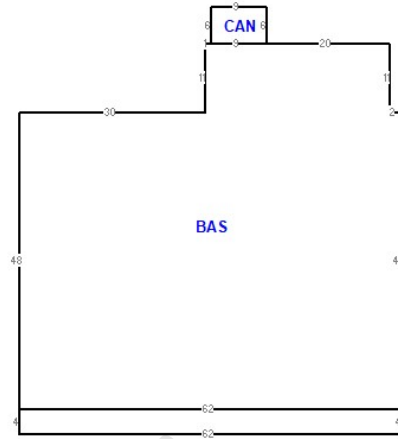
Building Information

Building 1

Type	43 CONVENIENCE STORE
Year Built	1968

Building 1 Construction Details

Element Class	Code	Construction Detail
	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	9	Rigid Frame/Barjoist
Roof Cover	12	Rubber or Plastic
Interior Walls	1	Masonry or Minimum
Interior Flooring	6	Terrazzo
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	3,306	3,306	\$189,396
CAN	54		\$917
CAN	248		\$4,239
Totals	3,608	3,306	\$194,552

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0020	ASPHALT PAVING	1	1968	0	0	6,380.00	\$6,284
0540	CANOPY GAS PUMP	1	1998	100	31	3,100.00	\$63,085
0060	CONCRETE PAVEMENT	1	1982	0	0	3,248.00	\$7,421
1051	UndrGrd fuel tank conv. stores	1	2019	0	0	10,000.00	\$15,200
1051	UndrGrd fuel tank conv. stores	1	2019	0	0	10,000.00	\$15,200
1051	UndrGrd fuel tank conv. stores	1	2019	0	0	10,000.00	\$15,200

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TLE0	TL Class 4	CG	0.0	0.0	SF SQUARE FEET	27,157.80	\$162,947

Legal Description

COMM AT NE COR OF SEC 6 AND RUN S 239.8 FT TO S BDRY OF SR NO 600 CONTINUE S 100.08 FT AND W 30 FT TO POB THENCE S 106.23 FT W 152.32 FT N 105.45 FT AND E 152.64 FT TO POB... TOG WITH COMM AT A PT 239.8 FT S OF NE CORNER OF SEC 6 BEING ON S R/W LINE OF SR NO 600 RUN THN S 100.08 FT AND W 30 FT TO POB CONT W 152.64 N 61.58 FT TO S R/W LINE OF SR NO 600 NELY ALG R/W 156.04 FT AND S 93.82 FT TO POB LESS RD R/W BEG AT SE COR OF SD TRACT RUN W 5 FT N 83.28 FT N 73 DEG 28 MIN W 20.41 FT TO S BDRY OF SR 600 THN N 77 DEG 53 MIN E 25.11 FT TO W R/W FAULKENBURG RD THN S 93.82 FT TO POB



Department of Environmental Regulation
 OILY DETECTION INCENTIVE PROGRAM
 NOTIFICATION APPLICATION

Use this form to notify the Department of Environmental Regulation of petroleum contamination problems. This form is required to determine eligibility for the EDI program. FOR NOTIFICATION PURPOSES ONLY.

D. E. R.
 FEB 20 1987

PLEASE PRINT OR TYPE
 Put "X" where answer is unknown.

SOUTH WEST DISTRICT
 TAMPA

- Business/Site Name: MAJIK MARKET 51060
 Business/Site Operator: Munford Inc., DBA MAJIK MARKET
 Business/Site Owner: Munford Inc. Property Owner: Mr. Peter Tibma
 Business/Site Address: US 92 and Faulkenberg Rd., Tampa, Fl. 33610
 Telephone Number: Atlanta Office Number 404-352-6633 County: Hillsborough
 (Business) (Home)
 Mailing Address: P.O.Box 7701, Station C, Atlanta, Ga. 30357
- Date of discovery: Wells installed 2/4/87, Report received 2/16/87 (month/day/year)
- Have you previously reported this discharge to DER? No Yes
 If yes, date of report and to whom _____
- Method of initial discovery (circle one only)
 A. Automatic detector in ground, monitoring well, or containment
 B. NFPA 329 test (underground tanks only)
 C. Manual test of monitoring wells(s)
 D. Emptying and inspection
 E. Inventory control
 F. Odor or visible signs at facility or in vicinity
 G. Other Initial manual test of (explain) moniter wells at installation
- Estimated number of gallons lost: No leak identified, only evidence of contamination in wells
- What part of the storage system is leaking? (circle all that apply) A. Dispenser B. Pipe C. Fitting
 Copy of monitoring well layout and installation information attached Yes D. Tank E. Overfill F. Unknown
 Has the system been repaired? No Yes Unknown
- Cause of leak (circle all that apply)
 (A) Unknown Piping Tank
 B. Split G. Split J. Installation failure
 C. Loose Connection H. Corrosion P. Overfill
 D. Other I. Puncture Q. Accident
 R. Other
- If a tank is leaking, circle the choices which describe the type
 A. Aboveground E. Bare or asphalt-coated steel I. Impressed current type
 B. Factory welded F. Fiberglass-clad steel J. Double walled
 C. Field erected G. Fiberglass K. Abandoned or out of service
 D. Underground H. Sacrificial anode type M. Other or unknown (explain)
 Tanks are asphalt coated steel
- Type of product discharged (circle one)
 A. Leaded gasoline K. Kerosene
 B. Unleaded gasoline L. Used oil
 C. Gasohol or alcohol-enriched gasoline M. General diesel
 D. Vehicular diesel Y. Other (explain)
 E. Aviation fuel Z. Unknown No way of knowing at this point (explain)
- DER Facility Number 298624968
- DER Tank Number ?

RECEIVED
 FEB 20 1987
 ENFORCEMENT

Walter A. McCall
 Signature of Person Completing Form

Dir. of Petroleum Opns
 Title

February 17, 1987
 Date



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 03/16/2007
Facility Name: CITGO FALKENBURG Facility Type: A - Retail Station
Latitude: 27° 59' 42.7992" # Of Inspected ASTs: 0
Longitude: 82° 20' 7.3315" USTs: 3
L/L Method: DPHO Mineral Acid Tanks: 0

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: Insurance
Insurance Carrier: Commerce & Industry
Effective Date: 08/15/2006 Expiration Date: 08/15/2007

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

FRANK ARCURI
Inspector Name

SENT TO: MAURY RAZAVI, FALKENBURG CITGO,
10230 DOUGLAS OAK CIRCLE #304, TAMPA, FL
33610
Facility Representative Name


Inspector Signature

No signature available
Facility Representative Signature

Reviewed Records

Record Category	Record Type	From Date	To Date
Life Time	Written Release Detection Response Level Info	03/29/2007	03/29/2007
Two Years	Monthly Release Detection Results	12/15/2005	03/01/2007
Two Years	Certificate of Financial Responsibility	03/29/2007	03/29/2007

New Violations

Significance Name: Minor

Rule Number(s): 62-761.640(4)(a)1., 62-761.640(4)(a)2., 62-761.640(4)(a)3., 62-761.640(4)(a)4.

Violation Text: Ust Line Leak Detector Cannot Detect A 3.0 Gph Discharge; Not Tested Annually.

Explanation: Current Annual Leak Detector Test Results Not Available For Inspection.

Corrective Action: Submit Annual Leak Detector Test Results To Epc Within 30 Days.

Inspection Comments

03/16/2007 Met With The Store Operator For The Annual Compliance Inspection On 3-29-07.

Release Detection:

Monthly Visual Monitoring Of Tank Interstice, Stp Sumps, Dispenser Liners, Spill Buckets And Dispenser/Liners. For Piping, Mechanical Line Leak Detectors, With Annual 3 Gph Leak Tests.

Tanks/Sumps/Piping:

(3) 10,000 Gallon Double Walled Fiberglass Tanks And Environ (Eq# 511) Double Walled Flex Piping.

Tanks Equipped With:

(3) Stp Sumps Inspection Dry

Mechanical Leak Detectors Present

(3) Spill Buckets Appear To Be Intact.

Dual Point Vapor Recovery Present.

Overfill Protection Ball Floats Are Used As Overfill Protection.

Dispensers:

(4) Dispensers Checked Liners Dry

Shear Valves Have Anchors

Secondary Piping Test Boots Appear Closed

No Obvious Signs Of Leakage Noted.

Records:

Current Registration Placard Posted: (3) Tanks

Release Detection Response Level Statement - Present, Complete And Accurate.

Monthly Monitoring Logs Reviewed And Include:

Visual Inspections Of Tank Interstice, Spill Containment Buckets, Dispenser/Liners.

No Problems Noted, Inspections Performed Within 35 Days.

Annual Line Leak Detector Tests Not Available For Inspection.

Within 30 Days Submit Current Annual Leak Detector Test Results To Epc.

March 29, 2007

Account owner:
MAURY RAZAVI
10230 DOUGLAS OAK CIRCLE #304
TAMPA, FL 33610-

Tank owner:
OMAR MATTAR
5320 N FALKENBURG RD
TAMPA, FL 33610-

Chapter(s) 62-761/762, FAC Non-Compliance Letter
CITGO FALKENBURG
5320 N FALKENBURG RD
TAMPA, FL33610-5924
DEP Facility # 8624968
HILLSBOROUGH County - Regulated Storage Tanks

Dear MAURY RAZAVI

The HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (County) is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in HILLSBOROUGH County. On 2007-03-29 an inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may be in violation of the rules cited below. The following noncompliance items require your attention:

New Violations found during Site Inspection Activity

Significance: Minor

Explanation: CURRENT ANNUAL LEAK DETECTOR TEST RESULTS NOT AVAILABLE FOR INSPECTION.

Violation Text: UST line leak detector cannot detect a 3.0 gph discharge; not tested annually.

Rule: 62-761.640(4)(a)1.

Be capable of detecting a discharge of 3.0 gph with a probability of detection of 0.95 and a probability of false alarm of 0.05 at a line pressure of 10 psi within one hour;

Rule: 62-761.640(4)(a)2.

Have an annual test of the operation of the leak detector conducted in accordance with the manufacturer's requirements by an individual certified or trained by the manufacturer to determine whether the device is functioning as designed. Remote testing of the leak detector can be performed by the manufacturer if the remote test is approved under subsection 62-761.850(2), F.A.C.;

Rule: 62-761.640(4)(a)3.

Restrict flow within one hour if designed with mechanical flow restriction;

Rule: 62-761.640(4)(a)4.

When a discharge of 3.0 gph is detected, shut off power to the pump if designed with automatic electronic shutoff. When in test mode, line leak detectors with automatic electronic shutoff shall also be able to detect a discharge of 0.2 gph at a line pressure of 150% of operating pressure, or an equivalent leak rate, with a probability of detection within a one month

period of at least 0.95 and a probability of false alarm of no more than 0.05. When a discharge of 0.2 gph is detected, the leak detector shall provide audible or visual alarms that can be clearly heard or seen by the operator of the facility, or if monitored remotely on a real time basis, the alarm condition must be immediately transmitted from the remote location to the facility operator; and

Corrective Action: SUBMIT ANNUAL LEAK DETECTOR TEST RESULTS TO EPC WITHIN 30 DAYS.

This facility may not be operating in compliance with FAC Chapter(s) 62-761/762, standards. Any noncompliance items should be corrected immediately. Please provide a written response to this office within 30 calendar days upon receipt of this letter and provide documentation to show that the issues addressed in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of FAC Chapter(s) 62-761/762 may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

NOTE

SUBMIT ANNUAL LEAK DETECTOR TEST RESULTS TO EPC WITHIN 30 DAYS.

If you have any questions you may contact me at the letterhead address or telephone number.

Sincerely,

FRANK ARCURI

Storage Tank Compliance Inspector

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 04/29/2008
Facility Name: CITGO FALKENBURG Facility Type: A - Retail Station
5320 N FALKENBURG RD # Of Inspected ASTs: 0
TAMPA, FL 33610-5924 USTs: 3
Latitude: 27° 59' 42.7992" Mineral Acid Tanks: 0
Longitude: 82° 20' 7.3315"
L/L Method: DPHO

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2007 Expiration Date: 08/31/2008

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

WHITNEY COUNCIL

Mailed To: Maury Razavi
Facility Representative Name

Inspector Name

No signature available

Facility Representative Signature

Inspector Signature

System Tests

Test Name	Due Date	Completed Date	Result
-----------	----------	----------------	--------

Overdue Tests

Annual Inline Leak Detector Test	10/18/2004
Annual Operability Test	11/02/2004

Reviewed Records

Record Category	Record Type	From Date	To Date
Life Time	Written Release Detection Response Level Info	04/24/2008	04/24/2008
Two Years	Monthly Maint. Visual Examinations and Results	02/28/2007	03/21/2008
Two Years	Electronic Release Detection Equip. Monthly Checks	02/21/2007	03/21/2008

New Violations

Significance Name: Minor

Rule Number(s): 62-761.640(4)(a)1., 62-761.640(4)(a)2., 62-761.640(4)(a)3., 62-761.640(4)(a)4.

Violation Text: UST line leak detector cannot detect a 3.0 gph discharge; not tested annually.

Explanation: ANNUAL LEAK DETECTOR TESTS ARE PAST DUE

Corrective Action: IMMEDIATELY PERFORM ANNUAL LEAK DETECTOR TESTING AND SEND RESULTS TO EPC.

Significance Name: Minor

Rule Number(s): 62-761.700(1)(c)3.

Violation Text: Release detection devices not tested annually.

Explanation: ANNUAL RELEASE DETECTION OPERABILITY TEST OF VEEDER-ROOT SYSTEM IS PAST DUE

Corrective Action: IMMEDIATELY PERFORM OPERABILITY TEST OF RELEASE DETECTION SYSTEM AND SEND RESULTS TO EPC.

Inspection Comments

04/29/2008 4/24/08 Annual/WCC - Met with the store operator for the Annual Compliance Inspection on.

Release Detection:

- Monthly visual monitoring of Tank Interstice, STP Sumps, Dispenser Liners, spill buckets and dispenser/liners.
- Checked all tank interstices - found traces of water in all < 3/4", no petroleum noted
- Veeder-Root TLS350 monitors liquid sensors in the STP Sumps
 - Panel displayed "All Functions Normal" at inspection
 - Panel alarms tested and functioned
- Alarm history pulled, all alarms listed occurred prior to the previous compliance inspection.
- Double walled piping
- Mechanical line leak detectors with annual 3 gph functional tests.

Tanks/Sumps/Piping:

- This facility consists of (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks and Environ (EQ# 511) double walled flex piping.
- (3) STP/Piping sumps inspected, no obvious leakage noted
- Regular sump contained trace of water - OK, all other sumps dry at inspection
 - Mechanical leak detectors present
 - Sump sensors present in each sump
 - Secondary piping open to sumps
- (3) Fills inspected
- Spill buckets appear to be intact.
 - The bucket are starting to warp and need to be monitored closely for any further damage. No obvious cracks noted at this inspection.
 - Dual point vapor recovery present.
 - Overfill protection ball floats are used as overfill protection. (Ball floats present according to installation plans)

Dispensers:

- (4) Dispensers inspected, no obvious leakage noted
- Liners dry at inspection
 - Shear valves have anchors

Inspection Comments

- Secondary piping closed/jumped in liners
- Hoses/Nozzles appear in good shape

Records:

- Current 07-08 placard posted: (3) tanks
- Release Detection Response Level Statement: On site, complete and accurate.
- Financial Responsibility: Commerce and Industry, 8/31/07-8/31/08
- Certificate of Financial Responsibility (CFR): On Site
- Monthly Monitoring Logs reviewed and include: 2/28/07-3/21/08, all required tank system components inspected monthly within 35 days.
 - Removed 6" of water from the premium tank interstice in 12/07 & 2/08
- Annual line leak detector tests: PAST DUE
 - ** IMMEDIATELY PERFORM ANNUAL LEAK DETECTOR TESTING AND SEND RESULTS TO EPC
- Annual release detection operability tests: PAST DUE
 - ** IMMEDIATELY PERFORM ANNUAL OPERABILITY TEST OF THE VEEDER-ROOT SYSTEM AND SEND RESULTS TO

Inspection Attachments

01. 2008/4/24 annual/wcc - general
site photo





Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Site Inspection Report

Facility Information

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 02/12/2009
Facility Name: CITGO FALKENBURG Facility Type: A - Retail Station
5320 N FALKENBURG RD # Of Inspected ASTs: 0
TAMPA, FL 33610-5924 USTs: 3
Latitude: 27° 59' 42.7992" Mineral Acid Tanks: 0
Longitude: 82° 20' 7.3315"
L/L Method: DPHO

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2008 Expiration Date: 08/31/2009

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

WHITNEY COUNCIL

Mailed To: Maury Rasavi
Facility Representative Name

Inspector Name

No signature available

Facility Representative Signature

Inspector Signature

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date
------	----------------	---------	----------	---------------

Completed Tests

Annual Operability Test	05/06/2008	Passed	02/12/2009	05/06/2009
Annual Inline Leak Detector Test	05/06/2008	Passed	02/12/2009	05/06/2009

Reviewed Records

Record Category	Record Type	From Date	To Date
Life Time	Written Release Detection Response Level Info	02/11/2009	02/11/2009
Two Years	Electronic Release Detection Equip. Monthly Checks	04/25/2008	01/14/2009
Two Years	Certificate of Financial Responsibility	08/31/2008	08/31/2009
Two Years	Monthly Maint. Visual Examinations and Results	04/25/2008	01/14/2009

New Violations

Significance Name: Minor

Rule Number(s): 62-761.600(1)(a)1.

Violation Text: Cannot detect a new release from any portion of the system.

Explanation: 3" of water found in premium tank interstice, no petroleum noted

Corrective Action: Remove all liquid from tank interstice and notify EPC upon completion.

Significance Name: Minor

Rule Number(s): 62-761.820(1)(a), 62-761.820(1)(b), 62-761.820(1)(c)

Violation Text: Incident not promptly investigated.

Explanation: Two unexplained alarms found in alarm history. The L1-reg sump alarmed on 7/1/08 & 6/13/08.

Corrective Action: Send investigation for each alarm to EPC. Document what caused alarms and how each was resolved.

Inspection Comments

02/12/2009 2/11/08 Annual/WCC - Met with the store Maury Razavi operator for the Annual Compliance Inspection .

Release Detection:

- Monthly visual monitoring of Tank Interstice, STP Sumps, Dispenser Liners, spill buckets and dispenser/liners.
- Checked all tank interstices - found 3" of water in premium tank, no petroleum noted. All others dry
- ** Remove all water from the premium tank interstice and notify EPC. Found port cap loose, could not tighten. may need to replace cap.
- Veeder-Root TLS350 monitors liquid sensors in the STP Sumps
- Panel displayed "All Functions Normal" at inspection
- Panel alarms tested and functioned
- Alarm history pulled: Tapes revealed 2 unexplained alarms for the L1-Reg sump sensor on 7/1/08 & 6/13/08.
- ** Send investigations/documentation of cause of alarms to EPC.
- Double walled piping
- Mechanical line leak detectors with annual 3 gph functional tests.

Tanks/Sumps/Piping:

This facility consists of (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks and Environ (EQ# 511) double walled flex piping.

- (3) STP/Piping sumps inspected, no obvious leakage noted
- Regular sump contained small amount of water, no sheen. Water removed on site
- All other sumps dry at inspection
- Mechanical leak detectors present
- Sump sensors present in each sump
- Secondary piping open to sumps
- (3) Fills inspected
- Fill box covers are marked accordingly
- Spill buckets appear to be intact.
- The buckets are warping, monitor closely for any further damage. No obvious cracks noted at this inspection.
- Dual point vapor recovery present.

Inspection Comments

- Overfill protection ball floats are used as overfill protection. (Ball floats present according to installation plans)

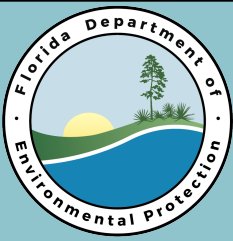
Dispensers:

- (4) Dispensers inspected, no obvious leakage noted
- Liners dry at inspection
- Shear valves have anchors
- Secondary piping closed/jumped in liners
- Hoses/Nozzles appear in good shape

Records:

- Current 08-09 placard posted: (3) tanks
- Release Detection Response Level Statement: On site, complete and accurate.
- Financial Responsibility: Commerce and Industry, 8/31/08-8/31/09
- Certificate of Financial Responsibility (CFR): On Site
- Monthly Monitoring Logs: 4/25/08-1/14/09, all required tank system components inspected monthly within 35 days.
 - Noted water in all tank interstices 1"-3" at several months in records
- Annual line leak detector tests performed by Hytech on 5/6/08 passing, next tests due by 5/6/09
- Annual release detection operability tests performed by Hytech on 5/6/08 passing, next test due by 5/6/09

DRAFT



Facility Information:

Facility ID:	8624968	County:	HILLSBOROUGH	Inspection Date:	10/05/2018
Facility Type:	A - Retail Station				
Facility Name:	N & R EXPRESS			# of Inspected ASTs:	0
	5320 N FALKENBURG RD			USTs:	3
	TAMPA, FL 33610-5924			Mineral Acid Tanks:	0
Latitude:	27° 59' 42.7992"				
Longitude:	82° 20' 7.3315"				
LL Method:	DPHO				

Inspection Result:

Result: Minor Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Katie C Young

Emailed to Maury Razavi on 10/12/2018.

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: COMMERCE & INDUSTRY

Effective Date: 08/31/2018

Expiration Date: 08/31/2019

Findings:

Class A Owner Training Certificates are present.
 Class B Maintenance Training Certificates are present.
 Class C Operator Training Certificates are present.

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Inline Leak Detector Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Operability Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Inline Leak Detector Test	05/12/2015	Passed	06/14/2016	05/12/2016	Performed by HyTech Petroleum.
Annual Operability Test	06/29/2016	Passed	08/03/2016	06/29/2017	Performed by Hy-Tech Petroleum
Annual Operability Test	05/12/2015	Passed	06/12/2016	05/12/2016	Performed by Hy-Tech Petroleum

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	08/31/2017	08/31/2018	
Two Years	Certificate of Financial Responsibility	08/31/2016	08/31/2017	
Two Years	Electronic Release Detection Equip. Monthly Checks	10/24/2016	09/03/2018	
Two Years	Monthly Maint. Visual Examinations and Results	10/24/2016	09/03/2018	

Areas of Concern

Type: Area of Concern
 Rule: 62-761.600(1)(d), 62-761.600(1)(e)

Facility ID: 8624968

Violation Text: Release detection, including visual inspections not being conducted monthly (not to exceed 35 days.) For electronically monitored sumps, visual inspections not conducted every 6 months. This violation may lead to Placard Revocation and Delivery Prohibition.

Explanation: Inspections from 02/15/2017-03/24/2017 were performed greater than 35 days apart. All other inspection logs were performed in the correct timeframe. Reminded operator, monthly inspections must be completed every month, not to exceed 35 days between inspections.

Corrective Action: Ensure future inspection logs are performed every calendar month, not exceeding 35 days between inspections.

Type: Area of Concern

Rule: 62-761.600(1)(g)

Violation Text: Electronic release detection devices not inspected monthly.

Explanation: Inspections from 02/15/2017-03/24/2017 were performed greater than 35 days apart. All other inspection logs were performed in the correct timeframe. Reminded operator, monthly inspections must be completed every month, not to exceed 35 days between inspections.

Corrective Action: Ensure future inspection logs are performed every calendar month, not exceeding 35 days between inspections.

Type: Area of Concern

Rule: 62-761.700(3), 62-761.700(3)(a), 62-761.700(3)(a)1., 62-761.700(3)(a)1.a., 62-761.700(3)(a)1.b., 62-761.700(3)(a)1.c., 62-761.700(3)(a)1.d., 62-761.700(3)(a)1.e., 62-761.700(3)(a)1.f., 62-761.700(3)(a)2.

Violation Text: Failure to conduct required periodic containment and interstitial integrity testing.

Explanation: Periodic Testing is due by 10/13/2018:
**Sumps must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.
**Liners must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.
**Double-walled spill buckets must be integrity tested by October 13, 2018 and every 3 years thereafter.

Corrective Action: Ensure that periodic testing is completed by 10/13/2018 and every 3 years thereafter.

New Violations

Type: Violation

Significance: Minor

Rule: 62-761.600(4)

Violation Text: Release detection devices not tested annually.

Facility ID: 8624968

Explanation: No Annual Operability testing and Annual Line Leak Detector testing was available for review. Reminded operator, Annual Operability testing and Annual Line Leak Detector testing must be completed every year, not to exceed 12 months between tests.

Corrective Action: Conduct Annual Operability testing (of spill bucket gauges and sump sensors) and Annual Line Leak Detector testing and submit results to EPC upon completion.

Type: Violation

Significance: Minor

Rule: 62-761.500(7)(e)

Violation Text: Overfill protection devices not registered or tested annually.

Explanation: No Overfill Protection testing records were available for review. Reminded operator, all approved overfill protection equipment must be tested for operability annually at intervals not exceeding 12 months to ensure proper operation. Initial operability testing for overfill protection devices was due by January 11, 2018.

Corrective Action: Conduct and record operability tests for all approved overfill protection equipment on your storage tank system and submit results to EPC upon completion.

Inspection Comments

10/05/2018

10/05/2018 – KCY/TCI – Met onsite with Mike Bateman of Hy-Tech Petroleum and Maury Razavi of N & R Express for the routine compliance inspection.

RELEASE DETECTION:

- Visual monitoring of dispenser liners, and spill buckets.
- Manual monitoring of tank interstices, checked during this inspection:
 - =Regular interstice contained 7" water, Diesel interstice contained 2" water and the Regular interstice contained 11" water. Per technician, all interstitial caps were broken and loose. Interstitial port for the Diesel tank had a buildup of soil around the cap, preventing it from sealing the interstice.
 - =All (3) tank interstitial ports were pumped out by technician onsite and all (3) tank interstitial caps were replaced. Stuck fills after pump-out, all interstices were dry.
- Electronic monitoring of STP sumps using Veeder Root TLS 350. Panel indicated, "All Functions Normal."
- Audiovisual alarm tested - appeared operational.
- Alarm history report printed, on file.
- Mechanical line leak detectors with annual 3.0 gph testing.

TANKS: (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks with associated Environ double walled flex piping. Tanks are equipped with:

- (3) Vent lines present with caps.
- (3) STP sumps inspected, appeared intact. Premium and Diesel sumps appeared dry and the Regular sump contained less than 1" water.

Facility ID: 8624968

STP heads appeared in good condition.

Sensors were positioned correctly.

Secondary piping open to sumps.

- (3) Double-walled spill containment buckets inspected, appeared intact and contained less than 1" water.

(3) Spill bucket interstitial gauges appeared in normal position.

- Fill lids properly marked.

- Dual point vapor recovery present.

- Overfill protection-ball floats, according to installation plans.

No obvious signs of leakage noted.

DISPENSERS:

- Dispensers/liners inspected, appeared dry and intact.

- Shear valves appeared anchored.

- Hoses/nozzles appeared in good condition.

No obvious signs of leakage noted.

RECORDS:

- Current registration placard posted onsite: (3) Tanks

- Monthly release detection records reviewed and included:

Visual inspections of tank interstices, dispenser liners, and spill buckets.

Audible/visual alarm checks.

Alarm panel status checks and Veeder Root liquid status and alarm history printouts.

Minor maintenance and pump-outs noted in logs.

Inspections from 02/15/2017-03/24/2017 were performed greater than 35 days apart. All other inspection logs were performed in the correct timeframe. Reminded operator, monthly inspections must be completed every month, not to exceed 35 days between inspections. Ensure future inspection logs are performed every calendar month, not exceeding 35 days between inspections.

- Alarm history indicates operability testing of sump sensors and water on 06/28/2018, as noted in logs.

- No Annual Operability testing and Annual Line Leak Detector testing was available for review.

Reminded operator, Annual Operability testing and Annual Line Leak Detector testing must be completed every year, not to exceed 12 months between tests. Conduct Annual Operability testing (of spill bucket gauges and sump sensors) and Annual Line Leak Detector testing and submit results to EPC upon completion.

- No Overfill Protection testing records were available for review. Reminded operator, all approved overfill protection equipment must be tested for operability annually at intervals not exceeding 12 months to ensure proper operation. Initial operability testing for overfill protection devices was due by January 11, 2018. Conduct and record operability tests for all approved overfill protection equipment on your storage tank system and submit results to EPC upon completion.

Reviewed inspection results onsite with facility operator, following the inspection.

New Testing Requirements

**Sumps must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.

**Liners must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.

**Double-walled spill buckets must be integrity tested by October 13, 2018 and every 3 years thereafter.

Facility ID: 8624968

Inspection Photos

Added Date 10/12/2018

2018-10-05 Site Photo

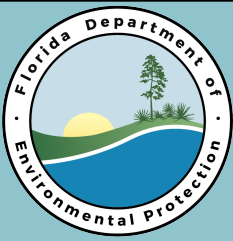


Added Date 10/12/2018

2018-10-05 Tank Pad



DRAFT



Facility Information:

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 10/05/2018
 Facility Type: A - Retail Station
 Facility Name: N & R EXPRESS # of Inspected ASTs: 0
 5320 N FALKENBURG RD USTs: 3
 TAMPA, FL 33610-5924 Mineral Acid Tanks: 0
 Latitude: 27° 59' 42.7992"
 Longitude: 82° 20' 7.3315"
 LL Method: DPHO

Inspection Result:

Result: Minor Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Katie C Young

Emailed to Maury Razavi on 10/12/2018.

Inspector Name

Representative Name

No Signature

Inspector Signature
Principal Inspector
HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION

Representative Signature

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE
 Insurance Carrier: COMMERCE & INDUSTRY
 Effective Date: 08/31/2018 Expiration Date: 08/31/2019

Findings:

Class A Owner Training Certificates are present.
 Class B Maintenance Training Certificates are present.
 Class C Operator Training Certificates are present.

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Inline Leak Detector Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Operability Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Inline Leak Detector Test	05/12/2015	Passed	06/14/2016	05/12/2016	Performed by HyTech Petroleum.
Annual Operability Test	06/29/2016	Passed	08/03/2016	06/29/2017	Performed by Hy-Tech Petroleum
Annual Operability Test	05/12/2015	Passed	06/12/2016	05/12/2016	Performed by Hy-Tech Petroleum

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	08/31/2017	08/31/2018	
Two Years	Certificate of Financial Responsibility	08/31/2016	08/31/2017	
Two Years	Electronic Release Detection Equip. Monthly Checks	10/24/2016	09/03/2018	
Two Years	Monthly Maint. Visual Examinations and Results	10/24/2016	09/03/2018	

Areas of Concern

Type: Area of Concern
 Rule: 62-761.600(1)(d), 62-761.600(1)(e)

Facility ID: 8624968

Violation Text: Release detection, including visual inspections not being conducted monthly (not to exceed 35 days.) For electronically monitored sumps, visual inspections not conducted every 6 months. This violation may lead to Placard Revocation and Delivery Prohibition.

Explanation: Inspections from 02/15/2017-03/24/2017 were performed greater than 35 days apart. All other inspection logs were performed in the correct timeframe. Reminded operator, monthly inspections must be completed every month, not to exceed 35 days between inspections.

Corrective Action: Ensure future inspection logs are performed every calendar month, not exceeding 35 days between inspections.

Type: Area of Concern

Rule: 62-761.600(1)(g)

Violation Text: Electronic release detection devices not inspected monthly.

Explanation: Inspections from 02/15/2017-03/24/2017 were performed greater than 35 days apart. All other inspection logs were performed in the correct timeframe. Reminded operator, monthly inspections must be completed every month, not to exceed 35 days between inspections.

Corrective Action: Ensure future inspection logs are performed every calendar month, not exceeding 35 days between inspections.

Type: Area of Concern

Rule: 62-761.700(3), 62-761.700(3)(a), 62-761.700(3)(a)1., 62-761.700(3)(a)1.a., 62-761.700(3)(a)1.b., 62-761.700(3)(a)1.c., 62-761.700(3)(a)1.d., 62-761.700(3)(a)1.e., 62-761.700(3)(a)1.f., 62-761.700(3)(a)2.

Violation Text: Failure to conduct required periodic containment and interstitial integrity testing.

Explanation: Periodic Testing is due by 10/13/2018:
**Sumps must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.
**Liners must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.
**Double-walled spill buckets must be integrity tested by October 13, 2018 and every 3 years thereafter.

Corrective Action: Ensure that periodic testing is completed by 10/13/2018 and every 3 years thereafter.

New Violations

Type: Violation

Significance: Minor

Rule: 62-761.600(4)

Violation Text: Release detection devices not tested annually.

Facility ID: 8624968

Explanation: No Annual Operability testing and Annual Line Leak Detector testing was available for review. Reminded operator, Annual Operability testing and Annual Line Leak Detector testing must be completed every year, not to exceed 12 months between tests.

Corrective Action: Conduct Annual Operability testing (of spill bucket gauges and sump sensors) and Annual Line Leak Detector testing and submit results to EPC upon completion.

Type: Violation

Significance: Minor

Rule: 62-761.500(7)(e)

Violation Text: Overfill protection devices not registered or tested annually.

Explanation: No Overfill Protection testing records were available for review. Reminded operator, all approved overfill protection equipment must be tested for operability annually at intervals not exceeding 12 months to ensure proper operation. Initial operability testing for overfill protection devices was due by January 11, 2018.

Corrective Action: Conduct and record operability tests for all approved overfill protection equipment on your storage tank system and submit results to EPC upon completion.

Inspection Comments

10/05/2018

10/05/2018 – KCY/TCI – Met onsite with Mike Bateman of Hy-Tech Petroleum and Maury Razavi of N & R Express for the routine compliance inspection.

RELEASE DETECTION:

- Visual monitoring of dispenser liners, and spill buckets.
- Manual monitoring of tank interstices, checked during this inspection:
 - =Regular interstice contained 7" water, Diesel interstice contained 2" water and the Regular interstice contained 11" water. Per technician, all interstitial caps were broken and loose. Interstitial port for the Diesel tank had a buildup of soil around the cap, preventing it from sealing the interstice.
 - =All (3) tank interstitial ports were pumped out by technician onsite and all (3) tank interstitial caps were replaced. Stuck fills after pump-out, all interstices were dry.
- Electronic monitoring of STP sumps using Veeder Root TLS 350. Panel indicated, "All Functions Normal."
- Audiovisual alarm tested - appeared operational.
- Alarm history report printed, on file.
- Mechanical line leak detectors with annual 3.0 gph testing.

TANKS: (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks with associated Environ double walled flex piping. Tanks are equipped with:

- (3) Vent lines present with caps.
- (3) STP sumps inspected, appeared intact. Premium and Diesel sumps appeared dry and the Regular sump contained less than 1" water.

Facility ID: 8624968

STP heads appeared in good condition.

Sensors were positioned correctly.

Secondary piping open to sumps.

- (3) Double-walled spill containment buckets inspected, appeared intact and contained less than 1" water.

(3) Spill bucket interstitial gauges appeared in normal position.

- Fill lids properly marked.

- Dual point vapor recovery present.

- Overfill protection-ball floats, according to installation plans.

No obvious signs of leakage noted.

DISPENSERS:

- Dispensers/liners inspected, appeared dry and intact.

- Shear valves appeared anchored.

- Hoses/nozzles appeared in good condition.

No obvious signs of leakage noted.

RECORDS:

- Current registration placard posted onsite: (3) Tanks

- Monthly release detection records reviewed and included:

Visual inspections of tank interstices, dispenser liners, and spill buckets.

Audible/visual alarm checks.

Alarm panel status checks and Veeder Root liquid status and alarm history printouts.

Minor maintenance and pump-outs noted in logs.

Inspections from 02/15/2017-03/24/2017 were performed greater than 35 days apart. All other inspection logs were performed in the correct timeframe. Reminded operator, monthly inspections must be completed every month, not to exceed 35 days between inspections. Ensure future inspection logs are performed every calendar month, not exceeding 35 days between inspections.

- Alarm history indicates operability testing of sump sensors and water on 06/28/2018, as noted in logs.

- No Annual Operability testing and Annual Line Leak Detector testing was available for review.

Reminded operator, Annual Operability testing and Annual Line Leak Detector testing must be completed every year, not to exceed 12 months between tests. Conduct Annual Operability testing (of spill bucket gauges and sump sensors) and Annual Line Leak Detector testing and submit results to EPC upon completion.

- No Overfill Protection testing records were available for review. Reminded operator, all approved overfill protection equipment must be tested for operability annually at intervals not exceeding 12 months to ensure proper operation. Initial operability testing for overfill protection devices was due by January 11, 2018. Conduct and record operability tests for all approved overfill protection equipment on your storage tank system and submit results to EPC upon completion.

Reviewed inspection results onsite with facility operator, following the inspection.

New Testing Requirements

**Sumps must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.

**Liners must be integrity (hydrostatically) tested by October 13, 2018 and every 3 years thereafter.

**Double-walled spill buckets must be integrity tested by October 13, 2018 and every 3 years thereafter.

Facility ID: 8624968

Inspection Photos

Added Date 10/12/2018

2018-10-05 Site Photo



Added Date 10/12/2018

2018-10-05 Tank Pad



DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-2400
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Re-Inspection Site Inspection

Facility Information

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 05/28/2009
Facility Name: N & R EXPRESS Facility Type: A - Retail Station
5320 N FALKENBURG RD # Of Inspected ASTs: 0
TAMPA, FL 33610-5924 USTs: 3
Latitude: 27° 59' 42.7992" Mineral Acid Tanks: 0
Longitude: 82° 20' 7.3315"
L/L Method: DPHO

Inspection Result

Result : Minor Out of Compliance
Description: Facility is out of compliance
No re-inspection needed for this Facility.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2008 Expiration Date: 08/31/2009

Signatures

TKHLEP - HILLSBOROUGH ENVIRONMENTAL
PROTECTION COMMISSION
Storage Tank Program Office

(813) 627-2600
Storage Tank Program Office Phone Number

WHITNEY COUNCIL

Mailed To: Maury Razavi

Inspector Name

Facility Representative Name

No signature available

Inspector Signature

Facility Representative Signature

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date
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Completed Tests

Annual Operability Test	05/06/2008	Passed	02/12/2009	05/06/2009
Annual Inline Leak Detector Test	05/06/2008	Passed	02/12/2009	05/06/2009

Outstanding Violations

Significance Name: Minor

Rule Number(s): 62-761.600(1)(a)1.

Violation Text: Cannot detect a new release from any portion of the system.

Explanation: 3" of water found in premium tank interstice, no petroleum noted

Corrective Action: Remove all liquid from tank interstice and notify EPC upon completion.

Comments:

05/28/2009 THIS VIOLATION REMAINS OPEN. FOUND ~4" OF WATER IN TANK INTERSTICE. ALL WATER MUST BE REMOVED FROM THE TANK INTERSTICE. A NEW MONITORING PORT CAP HAS BEEN INSTALLED. NOTIFY EPC ONCE ALL WATER HAS BEEN REMOVED.

Significance Name: Minor

Rule Number(s): 62-761.820(1)(a), 62-761.820(1)(b), 62-761.820(1)(c)

Violation Text: Incident not promptly investigated.

Explanation: Two unexplained alarms found in alarm history. The L1-reg sump alarmed on 7/1/08 & 6/13/08.

Corrective Action: Send investigation for each alarm to EPC. Document what caused alarms and how each was resolved.

Comments:

05/28/2009 THIS VIOLATION REMAINS OPEN. MRS. RASAVI IS GOING TO CONTACT HYTECH TO SEE IF THEY RESPONDED TO THESE ALARMS. IF NOT, A STATEMENT WILL BE SUBMITTED STATING THEY UNDERSTAND ALL ALARMS MUST BE INVESTIGATED.

Inspection Comments

05/28/2009 5/27/09 - Re-inspection/WCC - Met on site with Mrs. Rasavi for a re-inspection of non-compliance items noted at the last annual inspection.

Mrs. Rasavi stated that Hytech came out and pumped out the water from the premium tank interstice.
- Re-inspection of preim tank interstice revealed ~4" of water, no petroleum. Appears this water maybe condensation. When the port cap was removed a fair amount of water was dripping from bottom of cap.
- A new cap has been installed on the monitoring port since the last inspection.

Alarm investigations.

- Mrs. Rasavi is going to contact Hytech to see if they responded to any of the alarms.
I explained that all the alarms must be investigated as soon as they are discovered. If she can not find any past investigations, then she will prepare a written statement saying she understands the requirements.



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID:	8624968	County:	HILLSBOROUGH	Inspection Date:	06/01/2010
Facility Type:	A -Retail Station				
Facility Name:	N & R EXPRESS	# Of Inspected ASTs:	0		
	5320 N FALKENBURG RD	USTs:	3		
	TAMPA, FL 33610	Mineral Acid Tanks:	0		
Latitude:	27° 59' 42.7992"				
Longitude:	82° 20' 7.3315"				
LL Method:	AGPS				

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2009 Expiration Date: 08/31/2010

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Whitney Council

INSPECTOR NAME

INSPECTOR SIGNATURE

Maury Razavi

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Inline Leak Detector Test 05/06/2008 Passed 02/12/2009 05/06/2009

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	06/01/2010	06/01/2010	
Two Years	Monthly Maint. Visual Examinations and Results	02/18/2009	05/27/2010	
Two Years	Certificate of Financial Responsibility	08/31/2009	08/31/2010	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-761.640(4)(a)4., 62-761.640(4)(a)3., 62-761.640(4)(a)2., 62-761.640(4)(a)1.
 Violation Text: UST line leak detector cannot detect a 3.0 gph discharge; not tested annually.
 Explanation: Leak detector testing is past due. Received work order for testing, but no results.
 Corrective Action: Send leak detector test results to EPC.

Type: Violation
 Significance: Minor
 Rule: 62-761.700(1)(c)1.
 Violation Text: Spill containment, dispenser liners and piping sumps accessible; water and regulated substances not removed.
 Explanation: Regular sump contained water.
 Corrective Action: Remove water and notify EPC. Received work for water removal, violation will be closed with NCL.

Inspection Comments

06/09/2010

6/1/2010 Annual/WCC - Met with the store Maury Razavi operator for the Annual Compliance Inspection .

Release Detection:

- Monthly visual monitoring of Tank Interstices, STP Sumps, Dispenser Liners, spill buckets and dispenser liners.
- Double walled piping
- Mechanical line leak detectors with annual 3 gph functional tests.

Inspection Comments

Tanks/Sumps/Piping:

This facility consists of (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks and Environ (EQ#511) double walled flex piping.

(3) Tank interstice inspected - Reg and Plus DRY; Prem ~1" water only.

-Note on 5/2010 monitoring logs stated the prem int cap will be replaced.

(3) STP/Piping sumps inspected, no obvious leakage noted

*Regular sump contained water, no sheen. Remove water and notify EPC.

-Received work from Hytech for water removal. This violation will be closed

-All other sumps dry at inspection

-Mechanical leak detectors present

-Sump sensors present in each sump (in house only)

-Secondary piping open to sumps

(3) Fills inspected

-Fill box covers are marked accordingly

-Spill buckets appear to be intact.

-The buckets are warping, monitor closely for any further damage. No obvious cracks noted at this inspection.

-Dual point vapor recovery present.

-Overfill protection ball floats are used as overfill protection. (Ball floats present according to installation plans)

Dispensers:

(4) Dispensers inspected, no obvious leakage noted

-Liners dry at inspection

-Shear valves have anchors

-Secondary piping closed/jumped in liners

-Hoses/Nozzles appear in good shape

Records:

-Current 2009-2010 placard posted: (3) tanks

-Release Detection Response Level Statement: On site, complete and accurate.

-Financial Responsibility: Commerce and Industry, 8/31/09-8/31/10

-Certificate of Financial Responsibility (CFR): On Site

-Monthly Monitoring Logs: 2/18/09-5/27/2010, all required tank system components inspected monthly within 35 days.

-Noted water in Prem tank interstice 1"-5" several months in records. According to logs water is removed when found

*Annual line leak detector tests: PAST DUE

-Received work for leak detector testing performed on 6/3/2010, but no results.

*Send results of 6/3/10 leak detector testing to EPC.

COMMISSION
KEVIN BECKNER
ROSE V. FERLITA
KEN HAGAN
AL HIGGINBOTHAM
JIM NORMAN
MARK SHARPE
KEVIN WHITE



ROGER P. STEWART CENTER
3629 Queen Palm Dr. · Tampa, FL 33619
Ph: (813) 627-2600

FAX NUMBERS (813):

ADMIN	627-2620	WASTE	627-2640
LEGAL	627-2602	WETLANDS	627-2630
WATER	627-2670	ERM	627-2650
AIR	627-2660	LAB	635-8061

Executive Director
RICHARD D. GARRITY, Ph.D

June 9, 2010

Maury Razavi
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610

Chapter(s) 62-761/762, F.A.C., Non-Compliance Letter
Hillsborough County – Regulated Storage Tanks
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610
DEP Facility # 298624968

Dear Maury Razavi:

The Environmental Protection Commission is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in Hillsborough County. On 6/1/2010, a storage tank annual inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may not be operating in compliance with the requirements of Chapter(s) 62-761/762, Florida Administrative Code (F.A.C.).

Any noncompliance items must be corrected immediately. Please provide a written response to this office within 30 days of receipt of this letter and provide documentation to show that the issues addressed in the enclosed report and in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762, F.A.C., may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

If you have any questions please contact Whit Council at (813) 627-2600 ext.1235 or Council@epchc.org

Sincerely,

Whit Council
Environmental Specialist II
cc:

www.epchc.org
E-Mail: epcinfo@epchc.org





Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID:	8624968	County:	HILLSBOROUGH	Inspection Date:	05/17/2011
Facility Type:	A -Retail Station				
Facility Name:	N & R EXPRESS	# Of Inspected ASTs:	0		
	5320 N FALKENBURG RD	USTs:	3		
	TAMPA, FL 33610	Mineral Acid Tanks:	0		
Latitude:	27° 59' 42.7992"				
Longitude:	82° 20' 7.3315"				
LL Method:	AGPS				

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2010 Expiration Date: 08/31/2011

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Whitney Council

INSPECTOR NAME

INSPECTOR SIGNATURE

Mailed To: Maury Razavi

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Inline Leak Detector Test 06/03/2010 Passed 05/24/2011 06/03/2011

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	05/17/2011	05/17/2011	
Two Years	Monthly Maint. Visual Examinations and Results	05/27/2010	04/30/2011	
Two Years	Certificate of Financial Responsibility	08/31/2010	08/31/2011	

New Violations

Type: Violation
 Significance: Minor
 Rule: 62-761.600(1)(a)1.
 Violation Text: Cannot detect a new release from any portion of the system.
 Explanation: Plus tank interstice contains 3" of water, no petroleum noted.
 Corrective Action: Remove water from plus tank interstice and notify EPC upon completion.

Inspection Comments

05/17/2011

5/17/2011 - Annual/WCC - Met with facility owner Mrs. Razavi operator for the annual compliance inspection.

Release Detection:

- Monthly visual monitoring of Tank Interstices, STP Sumps, Dispenser Liners, spill buckets and dispenser liners.
- Double walled piping
- Mechanical line leak detectors with annual 3 gph functional tests.

Tanks/Sumps/Piping:

This facility consists of (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks and Environ (EQ#511) double walled flex piping.

(3) Tank interstice inspected - Reg and Prem slight moisture only; Plus ~3" water only.

*Remove water from plus tank interstice and notify EPC upon completion. Water has been removed from the plus interstice several times since the last compliance inspection.

RECOMMENDATION: The interstice port manways need to be dug out to allow proper drainage. The dirt in the manways is above the cap. Any water collected in the manway will sit over the port cap and eventually drain into the interstices.

(3) STP/Piping sumps inspecte, no obvious leakage noted

- Sumps contained only slight moisture.
- Mechanical leak detectors present

Inspection Comments

- Sump sensors present in each sump (in house only)
- Secondary piping open to sumps
- (3) Fills inspected
- Fill box covers are marked accordingly
- Spill buckets appear to be intact.
- The buckets are warping, monitor closely for any further damage. No obvious cracks noted at this inspection. Bucket deformations appears unchanged since last inspection.
- Dual point vapor recovery present.
- Overfill protection ball floats are used as overfill protection. (Ball floats present according to installation plans)

Dispensers:

- (4) Dispensers inspected, no obvious leakage noted
- Liners dry at inspection
- Shear valves have anchors
- Secondary piping closed/jumped in liners
- Hoses/Nozzles appear in good shape

Records:

- Current 2010-2011 placard posted: (3) tanks
- Release Detection Response Level Statement: On site, complete and accurate.
- Financial Responsibility: Commerce and Industry, 8/31/10-8/31/11
- Certificate of Financial Responsibility (CFR): On Site
- Monthly Monitoring Logs: 5/27/2010-4/30/2011, all required tank system components inspected monthly within 35 days.
- Noted water in Plus tank interstice 1" several months in records. According to logs water is removed when found
- Annual leak detector testing performed on 6/3/2010 passing, next tests due by 6/3/2011

COMMISSION
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Lesley “Les” Miller – Vice Chairman
Victor Crist
Ken Hagan
Al Higginbotham
Sandy Murman
Mark Sharpe



Executive Director
Richard D. Garrity, Ph.D.

Roger P. Stewart Center
3629 Queen Palm Dr. Tampa, FL 33619
Ph: (813) 627-2600

Fax Numbers (813):
Admin 627-2620 Waste 627-2640
Legal 627-2602 Wetlands 627-2630
Water 627-2670 Air 627-2660
Lab 635-8061

May 24, 2011

N&R Express
Maury Razavi
5320 N Falkenburg Rd.
Tampa, FL 33610

Chapter(s) 62-761/762, F.A.C., Non-Compliance Letter
Hillsborough County – Regulated Storage Tanks
N&R Express
5320 N Falkenburg Rd.
Tampa, FL 33610

DEP Facility # 298624968

Dear Maury Razavi:

The Environmental Protection Commission is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in Hillsborough County. On 5/17/2011, a storage tank installation inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may not be operating in compliance with the requirements of Chapter(s) 62-761/762, Florida Administrative Code (F.A.C.).

Any noncompliance items must be corrected immediately. Please provide a written response to this office within 30 days of receipt of this letter and provide documentation to show that the issues addressed in the enclosed report and in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762, F.A.C., may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

If you have any questions please contact Whit Council at (813) 627-2600 ext.1235 or Council@epchc.org

Sincerely,

Whit Council
Environmental Specialist II
cc:

An agency with values of environmental stewardship, integrity, honesty, and a culture of fairness and cooperation.
www.epchc.org

E-Mail: epcinfo@epchc.org

AN AFFIRMATIVE ACTION – EQUAL OPPORTUNITY EMPLOYER



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-
Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Closure Site Inspection Report

Facility Information:

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 08/25/2011
Facility Type: A -Retail Station
Facility Name: N & R EXPRESS # Of Inspected ASTs: 0
5320 N FALKENBURG RD USTs: 3
TAMPA, FL 33610 Mineral Acid Tanks: 0
Latitude: 27° 59' 42.7992"
Longitude: 82° 20' 7.3315"
LL Method: AGPS

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Over Due

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2010 Expiration Date: 08/31/2011

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Sahand Nasseri

INSPECTOR NAME

INSPECTOR SIGNATURE

Mailed to Maury Razavi

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Inline Leak Detector Test 06/03/2010 Passed 05/24/2011 06/03/2011

Outstanding Violations

Type: Violation
Significance: Minor
Rule: 62-761.600(1)(a)1.
Violation Text: Cannot detect a new release from any portion of the system.
Explanation: Plus tank interstice contains 3" of water, no petroleum noted.
Corrective Action: Remove water from plus tank interstice and notify EPC upon completion.

Inspection Comments

08/25/2011

CLOSURE INSPECTION REPORT

Arrival and Departure time: 08/25/2011: arrived-1400 hrs, departed-1430 hrs.

Company and Representative on site: Central Florida Environmental Services

PSSSC #: (USTs only) 056842

Tank Removal? No, removal of existing spill containment buckets and installing new buckets.

Closure Assessment required? No, spill buckets passed hydrostatic test on

Cleanup program eligibility? N/A

Did any spillage occur during the removal? No

Backfill material: Soil

Any signs of contamination (soil staining, sheen, product, petroleum odor)? None noticed.

Pollution liability insurance in effect at time of this inspection.

Underground Storage System Installation and Removal Form for Certified Contractors has been submitted to EPC within 30 days.

COMMISSION
Kevin Beckner – Chairman
Lesley "Les" Miller – Vice Chairman
Victor Crist
Ken Hagan
Al Higginbotham
Sandy Murman
Mark Sharpe



Executive Director
Richard D. Garrity, Ph.D.

Roger P. Stewart Center
3629 Queen Palm Dr. Tampa, FL 33619
Ph: (813) 627-2600

Fax Numbers (813):
Admin 627-2620 Waste 627-2640
Legal 627-2602 Wetlands 627-2630
Water 627-2670 Air 627-2660
Lab 635-8061

September 7, 2011

Mr. Maury Razavi
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610

Chapter(s) 62-761, F.A.C., Non-Compliance Letter
Hillsborough County – Regulated Storage Tanks
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610
DEP Facility # 298624968

Dear Mr. Razavi:

The Environmental Protection Commission is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in Hillsborough County. On 08/25/11, a storage tank closure inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may not be operating in compliance with the requirements of Chapter(s) 62-761, Florida Administrative Code (F.A.C.).

Any noncompliance items must be corrected immediately. Please provide a written response to this office within 30 days of receipt of this letter and provide documentation to show that the issues addressed in the enclosed report and in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762, F.A.C., may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

If you have any questions please contact me at (813) 627-2600 Ext. 1355 or nasseris@epchc.org.

Sincerely,

Sahand Nasseris
Environmental Specialist I

Enclosure

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www.epchc.org

E-Mail: epcinfo@epchc.org

AN AFFIRMATIVE ACTION – EQUAL OPPORTUNITY EMPLOYER



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 02/18/2013
Facility Type: A -Retail Station
Facility Name: N & R EXPRESS # Of Inspected ASTs: 0
5320 N FALKENBURG RD USTs: 3
TAMPA, FL 33610 Mineral Acid Tanks: 0
Latitude: 27° 59' 42.7992"
Longitude: 82° 20' 7.3315"
LL Method: DPHO

Inspection Result:

Result : Major Out of Compliance
Description: Facility is Major Out of Compliance.

Financial Responsibility

Over Due

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2011 Expiration Date: 08/31/2012

Findings:

No Training Certificates are Available.

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 8624968

Sahand Nasseri

INSPECTOR NAME



INSPECTOR SIGNATURE

Mailed to Maury Razavi

REPRESENTATIVE NAME

NO SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit:

http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
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Completed Tests

Annual Inline Leak Detector Test 06/03/2010 Passed 05/24/2011 06/03/2011

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	02/18/2013	02/18/2013	

New Violations

Type: Violation
Significance: Minor
Rule: 62-761.640(4)(a)4., 62-761.640(4)(a)3., 62-761.640(4)(a)2., 62-761.640(4)(a)1.
Violation Text: UST line leak detector cannot detect a 3.0 gph discharge; not tested annually.
Explanation: Annual leak detector testing past due date of 6/3/11.
Corrective Action: Perform the test and submit the results to EPC.

Type: Violation
Significance: Minor
Rule: 62-761.700(1)(c)3.
Violation Text: Release detection devices not tested annually.
Explanation: Annual operability test of the sump leak sensors past due date.
Corrective Action: Perform the test and submit the results to EPC.

Type: Violation
Significance: **SNC-B**
Rule: **62-761.600(1)(d)**

Facility ID: 8624968

Violation Text: Release detection not performed at least once a month.

Explanation: Monthly release detection logs for the period of 5/2011 to present not available during inspection.

Corrective Action: Submit monthly inspections logs for the period of 5/2011 to present to EPC.

Type: Violation

Significance: Minor

Rule: 62-761.400(2)(f)

Violation Text: Placard is not displayed in plain view.

Explanation: Current registration placard not on site.

Corrective Action: Obtain current registration placard and display in plain view.

Type: Violation

Significance: SNC-B

Rule: 62-761.400(3)(a)1.

Violation Text: No financial responsibility.

Explanation: Current financial responsibility insurance not available.

Corrective Action: Submit proof of current financial responsibility insurance to EPC.

Type: Violation

Significance: Minor

Rule: 62-761.710(2)(h), 62-761.710(2)(g), 62-761.710(2)(f), 62-761.710(2)(e), 62-761.710(2)(d), 62-761.710(2)(c), 62-761.710(2)(b), 62-761.710(2)(a)

Violation Text: Records requiring 2 year documentation period not kept by facility.

Explanation: Certificate of Financial Responsibility (CFR): Not available.

Corrective Action: Submit current Certificate of Financial Responsibility form to EPC.

Type: Violation

Significance: Minor

Rule: 62-761.500(1)(d)5.

Violation Text: Failure to allow for/perform a breach of integrity test.

Explanation: 5 year breach of integrity test of the tanks past due date.

Corrective Action: Perform the breach of integrity test of the tanks within the next 12 months and submit the results to EPC.

Type: Violation

Significance: Minor

Rule: 62-761.600(1)(e)

Violation Text: Continuous electronic leak detection not inspected monthly.

Explanation: Monthly release detection logs for the period of 5/2011 to present not available during inspection.

Corrective Action: Submit monthly inspections logs for the period of 5/2011 to present to EPC.

Inspection Comments

02/18/2013

2/18/13-SN-Met on site with Mike Bateman (Hytech) for the annual compliance inspection.

Release Detection:

- Monthly visual monitoring of tank interstices, dispenser liners, spill buckets and dispenser liners.
- Electronic monitoring of piping sump by use of Veeder Root TLS 350, displaying "All Functions Normal"
- Mechanical line leak detectors with annual 3 gph testing.

Tanks/Sumps/Piping:

This facility consists of (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks with associated Environ double walled flex piping.

- (3) Tank interstice inspected - Premium contained slight amount of moisture
 - (3) STP/Piping sumps inspected, no obvious leakage noted
 - Sumps contained only slight moisture.
 - Mechanical leak detectors present
 - Sump sensors positioned correctly at the bottom of the sumps
 - Secondary piping open to sumps
 - (3) Fills inspected
 - Fill box covers are marked accordingly
 - Double-walled spill buckets appear to be intact, small amount of water present in all buckets
 - Dual point vapor recovery present.
 - Overfill protection ball floats are used as overfill protection. (Ball floats present according to installation plans)
- No obvious sign of leakage noted.

Dispensers:

- (4) Dispensers inspected, no obvious leakage noted
- Liners dry at inspection
- Shear valves have anchors
- Secondary piping closed/jumped in liners
- Hoses/Nozzles appear in good shape

Records:

- Current registration placard not on site. Obtain current registration placard and display in plain view.
- Release Detection Response Level Statement: On site, complete and accurate.
- Financial Responsibility: Not available. Submit proof of current financial responsibility insurance to EPC.
- Certificate of Financial Responsibility (CFR): Not available. Submit current Certificate of Financial Responsibility form to EPC.
- Monthly release detection logs for the period of 5/2011 to present not available during inspection. Submit monthly inspections logs for the period of 5/2011 to present to EPC.
- Annual leak detector testing past due date of 6/3/11. Perform the test and submit the results to EPC.
- Annual operability test of the sump leak sensors past due date. Perform the test and submit results to EPC.
- 5 year breach of integrity test of the tanks past due date. Perform the breach of integrity test of the tanks within the next 12 months and submit the results to EPC.



COMMISSION

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Victor D. Crist Sandra L. Murman
Ken Hagan Mark Sharpe
Al Higginbotham

DIVISION DIRECTORS

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Waste Management Hooshang Boostani, P.E.
Water Management Sam Elrabi, P.E.
Wetlands Management Scott Emery, Ph.D.

EXECUTIVE DIRECTOR
Richard D. Garrity, Ph.D.

February 27, 2013

Mr. Maury Razavi
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610

Chapter(s) 62-761, F.A.C., Non-Compliance Letter
Hillsborough County – Regulated Storage Tanks
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610
DEP Facility # 298624968

Dear Mr. Razavi:

The Environmental Protection Commission is contracted with the Florida Department of Environmental Protection (Department) to conduct the Storage Tank System Compliance Verification Program for facilities located in Hillsborough County. On 2/18/13, a storage tank annual compliance inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may not be operating in compliance with the requirements of Chapter(s) 62-761, Florida Administrative Code (F.A.C.).

Any noncompliance items must be corrected immediately. Please provide a written response to this office within 30 days of receipt of this letter and provide documentation to show that the issues addressed in the enclosed report and in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762, F.A.C., may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

If you have any questions please contact me at (813) 627-2600 Ext. 1355 or nasseris@epchc.org.

Sincerely,

Sahand Nasser
Environmental Specialist I

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Ken Hagan Mark Sharpe
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Air Management Jerry Campbell, P.E.
Waste Management Hooshang Boostani, P.E.
Water Management Sam Elrabi, P.E.
Wetlands Management Scott Emery, Ph.D.

EXECUTIVE DIRECTOR
Richard D. Garrity, Ph.D.

06/09/2014

Mr. Maury Razavi
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610

Chapter(s) 62-761/762, F.A.C., Non-Compliance Letter
Hillsborough County – Regulated Storage Tanks
N & R Express
5320 N Falkenburg Rd.
Tampa, FL 33610
DEP Facility #298624968

Dear Mr. Razavi,

The Environmental Protection Commission is contracted with the Florida Department of Environmental Protection to conduct the Storage Tank System Compliance Verification Program for facilities located in Hillsborough County. On 05/23/14, a storage tank compliance inspection was conducted at the above referenced facility. A copy of the inspection report is enclosed for your review. Based on the inspection, you may not be operating in compliance with the requirements of Chapter(s) 62-761/762, Florida Administrative Code (F.A.C.).

Any noncompliance items must be corrected immediately. Please provide a written response to this office within 10 days of receipt of this letter and provide documentation to show that the issues addressed in the enclosed report and in this letter have been resolved. Please include the facility identification number on all correspondence. Your failure to timely respond may result in further enforcement action.

Please be aware that violations of Chapter(s) 62-761/762, F.A.C., may subject you to penalties of up to \$10,000.00 per day per violation, in addition to investigative costs. These penalties and costs may be imposed in accordance with Chapters 376 and 403, Florida Statutes.

If you have any questions please contact Amanda Harvey at 813-627-2600 ext: 1333 or harveya@epchc.org.

Sincerely,

Amanda Harvey
Environmental Specialist I

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www.epchc.org

E-Mail: epcinfo@epchc.org

AN AFFIRMATIVE ACTION – EQUAL OPPORTUNITY EMPLOYER



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 05/23/2014
Facility Type: A -Retail Station
Facility Name: N & R EXPRESS # Of Inspected ASTs: 0
5320 N FALKENBURG RD USTs: 3
TAMPA, FL 33610 Mineral Acid Tanks: 0
Latitude: 27° 59' 42.7992"
Longitude: 82° 20' 7.3315"
LL Method: DPHO

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2013 Expiration Date: 08/31/2014

Findings:

No Training Certificates are Available.

Signatures:

PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 8624968

Amanda J Harvey

Mailed to Maury Razavi 6/9/14

INSPECTOR NAME

REPRESENTATIVE NAME



NO SIGNATURE

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 requires Operator Training at all facilities by August 8, 2012. For further information please visit:

http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
------	----------------	---------	----------	---------------	---------

Completed Tests

Annual Operability Test	12/12/2012	Passed	03/28/2013	12/12/2013	By HyTech Petroleum
Annual Inline Leak Detector Test	12/12/2012	Passed	03/28/2013	12/12/2013	By HyTech Petroleum
Annual Inline Leak Detector Test	05/27/2014	Passed	06/09/2014	05/27/2015	Performed by HyTech Petroleum.
Breach of Integrity Test	05/27/2014	Passed	06/09/2014	05/27/2019	Performed by HyTech Petroleum.
Annual Operability Test	05/27/2014	Passed	06/09/2014	05/27/2015	Performed by HyTech Petroleum.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Two Years	Monthly Maint. Visual Examinations and Results	03/25/2013	04/24/2014	
Life Time	Written Release Detection Response Level Info	05/23/2014	05/23/2014	
Two Years	Certificate of Financial Responsibility	08/31/2013	08/31/2014	
Two Years	Electronic Release Detection Equip. Monthly Checks	03/25/2013	04/24/2014	

New Violations

Type: Violation
Significance: Minor
Rule: 62-761.640(4)(a)4., 62-761.640(4)(a)3., 62-761.640(4)(a)2., 62-761.640(4)(a)1.
Violation Text: UST line leak detector cannot detect a 3.0 gph discharge; not tested annually.
Explanation: Annual in line leak detector test past due date of 12/12/2013. Annual leak detector test performed on 05/27/2014.

Facility ID: 8624968

Corrective Action: Reminded operator that tests must be performed on or before the next due date.

Type: Violation

Significance: Minor

Rule: 62-761.700(1)(c)3.

Violation Text: Release detection devices not tested annually.

Explanation: Operability test past due date of 12/12/2013. Operability test performed on 05/27/2014.

Corrective Action: Reminded operator that release detection system operability test must be performed on or before the next due date.

Inspection Comments

05/23/2014

05/19/2014 AH & SN/TCI Met on site with Mike Bateman of HyTech Petroleum for the annual compliance inspection.

Release Detection:

- Monthly visual monitoring of tank interstices, dispenser liners, and spill buckets.
- Electronic monitoring of piping sump by use of Veeder Root TLS 350, displaying =All Functions Normal=.
- Mechanical line leak detectors with annual 3 gph testing.

Tanks:

- (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks with associated Environ double walled flex piping.
 - (3) Vent lines present with caps.
 - (3) tank interstices inspected-All contained slight amount of moisture, less than one inch.
 - (3) STP/Piping sumps inspected, no obvious leakage noted.
- Sumps contained only slight moisture.
Mechanical leak detectors present.
Sump sensor in diesel sump not positioned correctly. Fixed by Mike Bateman during inspection. Other sensors positioned correctly.
Secondary piping open to sumps.
- (3) Double walled spill containment buckets inspected-appeared intact. Small amount of Petroleum Contact Water present in regular spill bucket.
- Spill bucket lids are properly labeled.
Spill bucket interstitial gauges indicate that interstices are dry.
Dual point vapor recovery present.
Overfill protection-ball floats, according to installation plans.
No obvious signs of leakage noted.

Dispensers:

- (4) Dispensers inspected.
 - Liners appear dry and intact.
 - Shear valves have anchors.
 - Secondary piping closed/jumped in liners.
 - Hoses/Nozzles appear in good condition.
- No obvious signs of leakage noted.

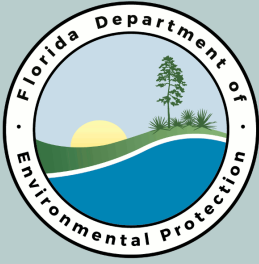
Records:

- Current registration placard on site: (3) Tanks
- Release Detection Response Level Statement: On site, complete and accurate.

Inspection Comments

-Monthly release detection records reviewed and included:
Visual inspections of tank interstices, dispenser liners, and spill buckets.
Audible/visual alarm checks.
Alarm panel status checks and Veeder Root tape printouts.
Breach of integrity test of the tanks performed by HyTech Petroleum on 5/27/14 with passing results. Next test due by 05/27/2019.

DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road. Tallahassee, Florida 32399-

Division of Waste Management
Bureau of Petroleum Storage Systems

Storage Tank Facility Annual Compliance Site Inspection Report

Facility Information:

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 06/01/2016
Facility Type: A -Retail Station
Facility Name: N & R EXPRESS # Of Inspected ASTs: 0
5320 N FALKENBURG RD USTs: 3
TAMPA, FL 33610 Mineral Acid Tanks: 0
Latitude: 27° 59' 42.7992"
Longitude: 82° 20' 7.3315"
LL Method: DPHO

Inspection Result:

Result : Minor Out of Compliance
Description: Facility is Minor Out of Compliance.

Financial Responsibility

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2015 Expiration Date: 08/31/2016

Findings:

Class A Owner Training Certificates are present.
Class B Maintenance Training Certificates are present.
Class C Operator Training Certificates are present.

Signatures:

PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 8624968

Malik Pickering

Emailed to Maury Rizavi

INSPECTOR NAME

REPRESENTATIVE NAME



NO SIGNATURE

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Inline Leak Detector Test	05/27/2014	Passed	06/09/2014	05/27/2015	Performed by HyTech Petroleum.
Breach of Integrity Test	05/27/2014	Passed	06/09/2014	05/27/2019	Performed by HyTech Petroleum.
Annual Operability Test	05/27/2014	Passed	06/09/2014	05/27/2015	Performed by HyTech Petroleum.
Annual Operability Test	05/12/2015	Passed	06/12/2016	05/12/2016	Performed by Hy-Tech Petroleum
Annual Inline Leak Detector Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Operability Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Inline Leak Detector Test	05/12/2015	Passed	06/14/2016	05/12/2016	Performed by HyTech Petroleum.

Reviewed Records

Record Category	Record Type	From Date	To Date	Reviewed Record Comment
Life Time	Written Release Detection Response Level Info	06/01/2016	06/01/2016	
Two Years	Monthly Maint. Visual Examinations and Results	05/23/2014	05/20/2016	
Two Years	Certificate of Financial Responsibility	08/31/2015	08/31/2016	
Two Years	Electronic Release Detection Equip. Monthly Checks	05/23/2014	05/20/2016	

New Violations

Type: Violation
Significance: Minor
Rule: 62-761.600(1)(a)1.

Facility ID: 8624968

Violation Text: Cannot detect a new release from any portion of the system.

Explanation: Regular sump is full of Petroleum Contact Water. Unable to properly inspect.

Corrective Action: Remove PCW and submit disposal manifest to EPC. Contact EPC for re-inspection.

Violation Photos

Added Date 06/14/2016

Regular Sump filled with pcw



Type: Violation

Significance: Minor

Rule: 62-761.600(1)(a)1.

Violation Text: Cannot detect a new release from any portion of the system.

Explanation: Liquid sensors are currently emerged in petroleum contact water in regular sump. Regular sump Sensor is not responding, no active alarms on Veeder Root.

Corrective Action: Perform an operability test on the sensors and submit results to the EPC.

Violation Photos

Added Date 06/12/2016

Sensor in emerged in pcw - no alarm



Inspection Comments

Inspection Comments

06/01/2016

06/01/2016 MP/TCI Met on site with Maury Rizavi of N&R Express for the storage tank compliance inspection.

RELEASE DETECTION:

- Monthly visual monitoring of tank interstices, dispenser liners, and spill buckets.
- Electronic monitoring of STP sumps by use of Veeder Root TLS 350, displaying -All Functions Normal.
- Audible/visual alarm tested - appeared operational.
- Mechanical line leak detectors with annual 3 gph testing.

Tanks: (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks with associated Environ double walled flex piping. Tanks are equipped with:

- (3) Vent lines present with caps.
- (3) Tank interstices inspected with stick gauge and fuel paste - All contained slight amount of moisture, less than one inch.
- (3) STP sumps inspected – all intact. Regular sump filled with pcw above penetrations, unable to properly inspect. Remove pcw and contact EPC for re-inspection. Regular sump sensor is emerged in pcw and is not responding, no active alarms on Veeder Root. Perform an operability test on the sensors and submit results to the EPC.
- STP heads with mechanical leak detectors appeared in good condition.
- Sump sensors were positioned correctly.
- Secondary piping open to sumps.
- (3) Double walled spill containment buckets inspected-appeared dry and intact.
- Spill bucket lids are properly labeled. Spill bucket interstitial gauges indicate that interstices are dry.
- Dual point vapor recovery present.
- Overfill protection-ball floats, according to installation plans.
- No obvious signs of leakage noted.

DISPENSERS: (4) Dispensers inspected.

- Liners appear dry and intact.
- Shear valves have anchors.
- Secondary piping closed/jumped in liners.
- Hoses/Nozzles appear in good condition.
- No obvious signs of leakage noted.

RECORDS:

Current registration placard on site: (3) Tanks

Release Detection Response Level Statement: On site, complete and accurate.

-Monthly release detection records reviewed and included:

- Visual inspections of tank interstices, dispenser liners, and spill buckets.
- Audible/visual alarm checks.
- Alarm panel status checks and Veeder Root tape printouts.

Alarm history indicates operability testing of sump sensors.

Alarms for L1:Diesel stp sump on 9/9/14 and L2 Reg stp sump on 9/11/14 were due to water in the sumps according to monthly logs.

Breach of integrity test of the tanks performed by HyTech Petroleum on 5/27/14 with passing results. Next test due by 05/27/2019.

Inspection Photos

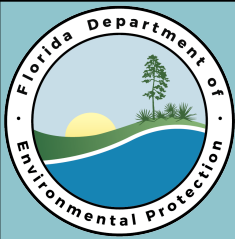
Facility ID: 8624968

Added Date 06/12/2016

Facility



DRAFT



Florida Department of Environmental Protection
Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
Division of Waste Management
Petroleum Storage Systems
Storage Tank Facility Re-Inspection Site Inspection Report

Facility Information:

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 07/27/2016
Facility Type: A - Retail Station
Facility Name: N & R EXPRESS # of Inspected ASTs: 0
5320 N FALKENBURG RD USTs: 1
TAMPA, FL 33610-5924 Mineral Acid Tanks: 0
Latitude: 27° 59' 42.7992"
Longitude: 82° 20' 7.3315"
LL Method: DPHO

Inspection Result:

Result: In Compliance

Also Performed:

Financial Responsibility:

Financial Responsibility: INSURANCE
Insurance Carrier: COMMERCE & INDUSTRY
Effective Date: 08/31/2015 Expiration Date: 08/31/2016

Findings:

Signatures:

PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION

Storage Tank Program Office

(813) 627-2600

Storage Tank Program Office Phone Number

Facility ID: 8624968

Malik Pickering

Emailed to Maury Rizavi

INSPECTOR NAME

REPRESENTATIVE NAME



No Signature

INSPECTOR SIGNATURE

REPRESENTATIVE SIGNATURE

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J, requires Operator Training at all facilities by October 15, 2018. For further information please visit: http://www.dep.state.fl.us/waste/categories/tanks/pages/op_train.htm

System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Completed Tests					
Breach of Integrity	05/27/2014	Passed	06/09/2014	05/27/2019	Performed by HyTech Petroleum.
Annual Operability	05/12/2015	Passed	06/12/2016	05/12/2016	Performed by Hy-Tech Petroleum
Annual Inline Leak	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Operability	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Inline Leak	05/12/2015	Passed	06/14/2016	05/12/2016	Performed by HyTech Petroleum.
Annual Operability	06/29/2016	Passed	08/03/2016	06/29/2017	Performed by Hy-Tech Petroleum

Inspection Comments

07/27/2016

On 7/27/2016- MP- Met with Maury Rizavi of N&R Express to conduct a re-inspection of non-compliance items.

RELEASE DETECTION:

- Monthly visual monitoring of tank interstices, dispenser liners, and spill buckets.
- Electronic monitoring of piping sump by use of Veeder Root TLS 350, displaying -All Functions Normal.
- Mechanical line leak detectors with annual 3 gph testing.

TANK: Regular

-During the annual inspection on 6/01/2016, regular stp sump was filled with pcw above the penetrations and liquid sensor was emerged in it. The regular sump sensor was not responding, no active alarms were on the Veeder Root during annual inspection. Water was removed before this re-inspection. Regular sump appeared dry and intact. The regular sump sensor was tested and appeared operational. See photo.
No obvious signs of leakage noted.

Inspection Photos

Added Date 08/03/2016

Regular STP sump dry and intact



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Sam Elrabi, P.E.

06/12/2019

N & R Express
5320 N Falkenburg Rd
Tampa, FL 33610

RE: Return to Compliance

N & R Express; 5320 N Falkenburg Rd, Tampa, FL 33610
DEP Facility ID#: 29/8624968
Hillsborough County – Storage Tanks

Dear Maury and Shiva Razavi:

The Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection, issued a Compliance Assistance Offer letter to the above-referenced facility on 10/12/2018. Based on the information provided on 03/19/2019, the facility was determined to have returned to compliance with the Department's Storage Tank rules and regulations.

The Department appreciates your efforts to maintain this facility in compliance with state and federal rules. Should you have any questions or comments, please contact Katie Young at 813-627-2600, ext. 1220 and/or youngk@epchc.org.

Sincerely,

Katie Young
Environmental Scientist I



Florida Department of Environmental Protection
 Twin Towers Office Bldg. 2600 Blair Stone Road, Tallahassee, Florida, 32399-2400
 Division of Waste Management
 Petroleum Storage Systems
 Storage Tank Facility Routine Compliance Site Inspection Report

Facility Information:

Facility ID: 8624968 County: HILLSBOROUGH Inspection Date: 03/03/2021
 Facility Type: A - Retail Station
 Facility Name: N & R EXPRESS # of inspected ASTs: 0
 5320 N FALKENBURG RD USTs: 3
 TAMPA, FL 33610-5924 Mineral Acid Tanks: 0
 Latitude: 27° 59' 42.7992"
 Longitude: 82° 20' 7.3315"
 LL Method: DPHO

Inspection Result:

Result: Minor Out of Compliance

Signatures:

TKHLEP - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION (813) 627-2600

Storage Tank Program Office and Phone Number

Katie C Young

Emailed to Shiva Rizavi on 03/16/2021.

Inspector Name

Representative Name

No Signature

Inspector Signature

Representative Signature

Principal Inspector
 HILLSBOROUGH ENVIRONMENTAL PROTECTION
 COMMISSION

Owners of UST facilities are reminded that the Federal Energy Policy Act of 2005 and 40 CFR 280 Subpart J requires Operator Training at all facilities by October 13, 2018. For further information please visit: <https://floridadep.gov/waste/permitting-compliance-assistance/content/underground-storage-tank-operator-training>

Financial Responsibility:

Financial Responsibility: INSURANCE

Insurance Carrier: COMMERCE & INDUSTRY INSURANCE CO

Effective Date: 08/31/2020 Expiration Date: 08/31/2021

Findings:

Class A Owner Training Certificates are present.
 Class B Maintenance Training Certificates are present.
 Class C Operator Training Certificates are present.

Completed System Tests

Type	Date Completed	Results	Reviewed	Next Due Date	Comment
Annual Operability Test	06/29/2016	Passed	08/03/2016	06/29/2017	Performed by Hy-Tech Petroleum
Annual Inline Leak Detector Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum
Annual Operability Test	05/09/2016	Passed	06/12/2016	05/09/2017	Performed by Hy-Tech Petroleum

Reviewed Records

Record Category	Record type	From Date	To Date	Reviewed Record Comment
Two Years	Certificate of Financial Responsibility	08/31/2019	08/31/2020	
Two Years	Certificate of Financial Responsibility	08/31/2020	03/03/2021	
Two Years	Electronic Release Detection Equip. Monthly Checks	12/13/2018	03/03/2021	
Two Years	Monthly Maint. Visual Examinations and Results	12/13/2018	03/03/2021	

Violations:

Type: Violation
 Significance: Minor
 Rule: 62-761.700(3), 62-761.700(3)(a), 62-761.700(3)(a)1., 62-761.700(3)(a)1.a., 62-761.700(3)(a)1.b., 62-761.700(3)(a)1.c., 62-761.700(3)(a)1.d., 62-761.700(3)(a)1.e., 62-761.700(3)(a)1.f., 62-761.700(3)(a)2.
 Violation Text: Failure to conduct required periodic containment and interstitial integrity testing.
 Explanation: No periodic breach of integrity testing results were available for review. Breach of integrity testing for below-grade sumps, dispenser liners and double-walled spill buckets were to be tested by 10/13/2018 and every 3 years thereafter.
 Corrective Action: Conduct breach of integrity tests on you spill buckets, STP sumps and dispenser liners and submit testing to EPC.

Type: Violation
 Significance: Minor

Rule: 62-761.600(4)
Violation Text: Release detection devices not tested annually.
Explanation: No Annual Operability testing and Annual Line Leak Detector testing was available for review. Reminded operator, Annual Operability testing and Annual Line Leak Detector testing must be completed every year, not to exceed 12 months between tests.
Corrective Action: Conduct Annual Operability testing (of spill bucket gauges and sump sensors) and Annual Line Leak Detector testing and submit results to EPC upon completion.

Type: Violation
Significance: Minor
Rule: 62-761.500(7)(e)
Violation Text: Overfill protection devices not registered or tested annually.
Explanation: No Overfill Protection testing records were available for review. Reminded operator, all approved overfill protection equipment must be tested for operability annually at intervals not exceeding 12 months to ensure proper operation.
Corrective Action: Conduct and record operability tests for all approved overfill protection equipment on your storage tank system and submit results to EPC upon completion.

Inspection Comments

03/16/2021

03/03/2021– KCY/TCI – Met onsite with Mike Bateman of Hy-Tech Petroleum and Shiva Razavi of N & R Express for the routine compliance inspection.

RELEASE DETECTION:

- Visual monitoring of dispenser liners, and spill buckets.
- Manual monitoring of tank interstices, checked during this inspection:
Regular contained 2" water
Diesel contained 1" water
Premium contained 1.5" water
All readings verified with fuel-finding paste. Water likely due to condensation.
- Electronic monitoring of STP sumps using Veeder Root TLS 350.
Panel indicated, "All Functions Normal."
Audiovisual alarm tested - appeared operational.
Alarm history report printed, on file.
- Mechanical line leak detectors with annual 3.0 gph testing.

TANKS: (3) 10,000 gallon Modern Welding Glasteel II double walled fiberglass clad steel tanks with associated Environ double-walled flexible piping. Tanks are equipped with:

- (3) Vent lines present with caps.
 - (3) STP sumps inspected, appeared dry and intact.
STP heads appeared in good condition.
Mechanical line leak detectors present.
Sensors were positioned correctly.
Secondary piping open to sumps.
 - (3) Double-walled spill containment buckets inspected, appeared intact and contained less than 1" water.
 - (3) Spill bucket interstitial gauges appeared in normal position.
 - Fill lids properly marked.
 - Dual point vapor recovery present.
 - Overfill protection-ball floats.
- No obvious signs of leakage noted.

DISPENSERS:

- Dispensers/liners inspected, appeared dry and intact.
- Shear valves appeared anchored.
- Hoses/nozzles appeared in good condition.

No obvious signs of leakage noted.

RECORDS:

- Current registration placard posted onsite: (3) Tanks
- Monthly release detection records reviewed and included:
Visual inspections of tank interstices, dispenser liners, and spill buckets.
Audible/visual alarm checks.
Alarm panel status checks and Veeder Root liquid status and alarm history printouts.
Minor maintenance and pump-outs noted in logs.
November 2018 inspection log not available for review. Records must be maintained for 3 years.
All other inspections performed within 35 days.
- Alarm history indicates operability testing of sump sensors, faulty sensor on 2/4/21 and water in sumps as noted in logs.
- No Annual Operability testing and Annual Line Leak Detector testing was available for review. Reminded operator, Annual Operability testing and Annual Line Leak Detector testing must be completed every year, not to exceed 12 months between tests. Conduct Annual Operability testing (of spill bucket gauges and sump sensors) and Annual Line Leak Detector testing and submit results to EPC upon completion.
- No Overfill Protection testing records were available for review. Reminded operator, all approved overfill protection equipment must be tested for operability annually at intervals not exceeding 12 months to ensure proper operation. Conduct and record operability tests for all approved overfill protection equipment on your storage tank system and submit results to EPC upon completion.
- No periodic breach of integrity testing results were available for review. Breach of integrity testing for below-grade sumps, dispenser liners and double-walled spill buckets were to be tested by 10/13/2018 and every 3 years thereafter. Conduct breach of integrity tests on you spill buckets, STP sumps and dispenser liners and submit testing to EPC.

Reviewed inspection results onsite with facility operator, following the inspection.

Inspection Photos

Added Date 03/16/2021

2021-03-03 Site Photo



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03/16/2021

N & R Express
5320 N Falkenburg Rd
Tampa, FL 33610

RE: Compliance Assistance Offer
N & R Express; 5320 N Falkenburg Rd, Tampa, FL 33610
DEP Facility ID#: 29/8624968
Hillsborough County – Storage Tanks

Dear Ms. Shiva Razavi:

A storage tanks inspection and file review were conducted at the above noted facility on 03/03/2021, by the Environmental Protection Commission of Hillsborough County, on behalf of the Florida Department of Environmental Protection. During the inspection and file review, potential non-compliance was noted. The purpose of this letter is to offer compliance assistance as a means of resolving this matter.

Specifically, potential non-compliance with the requirements of Chapter 376 and 403, Florida Statutes, and Chapter 62-761 or 62-762, Florida Administrative Code (Fla. Admin. Code) was observed. Please see the attached inspection report for a full account of Department observations and recommendations.

We request you review the item(s) of concern and respond in writing within 15 days of receipt of this Compliance Assistance Offer. Your written response should include one of the following:

1. Describe what has been done to resolve the non-compliance issue(s) or provide a schedule describing how/when the remaining issues will be addressed.
2. Provide the requested information, or information that mitigates the concerns or demonstrates them to be invalid.
3. Arrange for the inspector to visit your facility to discuss the item(s) of concern.

It is the Department's desire that you are able adequately address the aforementioned issues so that this matter can be closed. Your failure to respond promptly may result in the initiation of formal enforcement proceedings.

Please address your response and any questions to Katie Young at 813-627-2600 ext: 1220 and/or youngk@epchc.org. We look forward to your cooperation with this matter.

Sincerely,

Katie Young
Environmental Scientist II

Environmental Excellence in a Changing World

Roger P. Stewart Center
3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org

ERM-South, inc.

9501 Princess Palm Avenue, Suite 100 • Tampa, Florida 33619 • (813) 622-8727
2858 N. W. 79th Avenue • Miami, Florida 33122 • (305) 591-3076

Reply To: Tampa Office

November 29, 1990

Bureau of Waste Cleanup

NOV 30 1990

Project No. 11312.04, Task 2E(I)

Petroleum Cleanup Section

Mr. Brian Dougherty
Florida Department of
Environmental Regulation
Bureau of Waste Cleanup
2600 Blair Stone Road
Twin Towers Office Building
Tallahassee, FL 32399-2400

RE: Majik Market No. 50060, Faulkenburg; Facility #298624968; Task Assignment GC47-002E-00; Change Order and New Task Assignment

Dear Brian:

Environmental Resources Management-South, Inc. (ERM) has evaluated the latest set of water quality data for the above-referenced facility and found that a Remedial Action Plan (RAP) will not be necessary. ERM believes that a Monitoring-Only Proposal (MOP) would be more appropriate for this facility. The MOP is attached for your review. ERM is requesting a Change Order for the RAP task (\$15,576.22) to a MOP task (\$4,685.44). The RAP and MOP cost spreadsheets are included for your review along with a disk containing the spreadsheets for your use. As you review the MOP spreadsheet, you will notice that some costs for the extraction design subtask for the RAP have been included in the new MOP spreadsheet. This is due to our proceeding with the preparation of the RAP prior to receiving the results of the water quality analyses. We believe these to be legitimate costs billable to the project. Once the water quality data were received, we immediately ceased all activities related to RAP preparation; therefore, there are no additional RAP costs included in the MOP spreadsheet. OK
12/6/90

ERM has also included a spreadsheet for MOP implementation. As we discussed, the sampling event for preparation of the RAP constitutes the first quarter's sampling for the MOP. Therefore, the MOP implementation costs include three additional sampling events, two additional quarterly reports, and one site rehabilitation completion report (SRCR). This implementation cost spreadsheet assumes one year of monitoring. This schedule may need adjusting once the data begin accumulating for this site. Subtask A (ground water

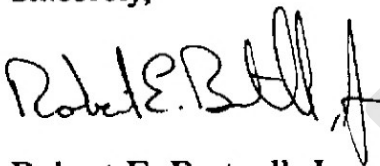
11312.04/TSK2E(I)/01/BD112890.LTR

Mr. Brian Dougherty
November 29, 1990
Page -2-

sampling) includes the sampling of four monitoring wells on three different occasions. Subtask B (laboratory analyses) includes the analyses of the four samples collected from the monitoring wells (MW-3, MW-4, MW-7, and MW-8), plus two QA/QC samples (duplicate and equipment blank). These samples will be analyzed for only the EPA 602 Test Method parameters. Although that subtask column indicates that there are 18 samples, there will only be six samples per event and, therefore, no laboratory discount. Subtask C (quarterly report) will include a site map with water table contours, a table of laboratory analytical data, and a brief letter explaining the sampling and analysis. Subtask D (SRCR preparation) will involve the compilation of all of the quarterly report data and a summary explanation of the results to date demonstrating that site cleanup objectives have been achieved. Subtask E (project management) includes setting up the file, accounting time, invoice review, scheduling of technicians, copying, etc.

We believe that a Change Order from RAP to MOP and a new task assignment for MOP implementation are appropriate for this site. If you have any questions or comments regarding this, please feel free to contact either me or Jon Hull at the Tampa number above.

Sincerely,



Robert E. Bretnall, Jr.
Project Manager

REB:bai/cms

cc: Jon Hull - ERM
Jack Riggerbach - ERM
Jan Stout - ERM



Florida Department of Environmental Regulation

Twin Towers Office Bldg. • 2000 Blair Stone Road • Tallahassee, Florida 32399-2400

Benjamin E. Gorman, Governor

Lee Buchanan, Secretary

John Shearer, Assistant Secretary

December 7, 1990

Mr. Robert Bretnall
ERM-South, Inc.
9501 Princess Palm Ave., Suite 100
Tampa, FL 33619

SUBJECT: Majik Market #50060
5320 Faulkenburg Road, Tampa, FL
Facility ID #298624968
Task # GC47-002

Dear Mr. Bretnall:

I concur with your recommendation for a Monitoring Only Plan (MOP) for this site. Your proposal dated November 29, 1990 is accepted along with the accompanying cost proposal. The task assignment to implement the MOP is attached. Because our current invoicing policy only allows partial billing on the project management subtask, I have listed each sampling event, laboratory analysis and report as separate subtasks so that you can invoice the Florida Department of Environmental Regulation (FDER) for these subtasks as they are completed. Also attached is the change order for task #GC47-002E to change this task from a RAP to a MOP. I concur that the extraction design costs that were incurred before RAP development was halted are legitimate costs billable to this project.

Please call me if you have any questions.

Sincerely,

Brian J. Dougherty
Environmental Supervisor
Bureau of Waste Cleanup

BJD/zj

Attachments

Site 123

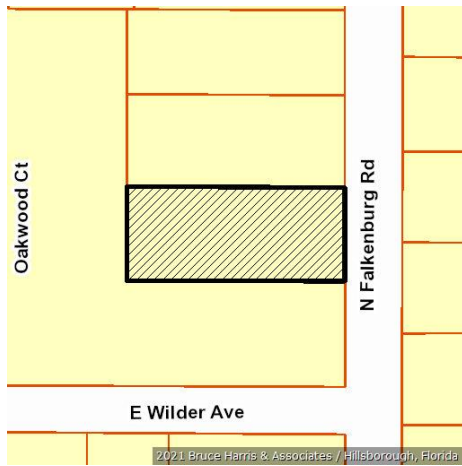
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065255-0000



Owner Information

Owner Name	KAPELUCH ROBERT JOSEPH
Mailing Address	5306 N FALKENBURG RD TAMPA, FL 33610-5924
Site Address	5306 N FALKENBURG RD, TAMPA
PIN	U-06-29-20-ZZZ-000002-38640.0
Folio	065255-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$152,351	\$125,963	\$50,000	\$75,963
Public Schools	\$152,351	\$125,963	\$25,000	\$100,963
Municipal	\$152,351	\$125,963	\$50,000	\$75,963
Other Districts	\$152,351	\$125,963	\$50,000	\$75,963

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
22782 / 0347	2014295071	09	2014	WD	Unqualified	Improved	\$109,900
22260 / 1931	2013431472	11	2013	CD	Unqualified	Improved	\$100
22242 / 1955	2013418747	10	2013	CT	Unqualified	Improved	\$100
21072 / 0981	2012133450	04	2012	QC	Unqualified	Improved	\$100
20894 / 1603	2012007294	01	2012	QC	Unqualified	Improved	\$27,500
5145 / 0602	87136345	06	1987	WD	Qualified	Improved	\$80,000
3374 / 1806		05	1978		Qualified	Improved	\$40,000

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
123529	Hillsborough	O - Out Of Business			2907800	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
W & H Well Drilling Inc	5306 N Falkenburg Rd Tampa, FL 33610	5306 Falkenburg Tampa, 33610	Unknown	Unknown	(813) 272-5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	- Unverified Generator Status	0	V - Verification By On-Site Visit	4/14/2006	Mcginnis	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		1/31/2007 3:48:54 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 124

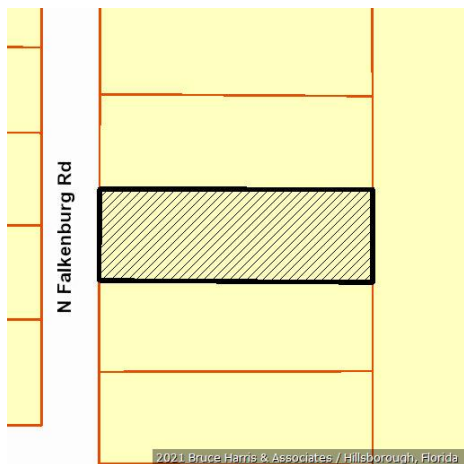
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Ph: (813) 272-6100

Folio: 065111-0000



Owner Information

Owner Name	RAMIREZ LEONARDO
Mailing Address	5309 N FALKENBURG RD TAMPA, FL 33610-5923
Site Address	5309 N FALKENBURG RD, TAMPA
PIN	U-05-29-20-ZZZ-000002-37740.0
Folio	065111-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$128,859	\$128,859	\$0	\$128,859
Public Schools	\$128,859	\$128,859	\$0	\$128,859
Municipal	\$128,859	\$128,859	\$0	\$128,859
Other Districts	\$128,859	\$128,859	\$0	\$128,859

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26694 / 1516	2019247045	06	2019	WD	Qualified	Improved	\$155,000
4941 / 1376	86230467	10	1986	WD	Qualified	Improved	\$57,000
4809 / 1476	86100086	04	1986	CT	Unqualified	Improved	\$1,000
4383 / 0530		07	1984	WD	Qualified	Improved	\$55,000

Building Information

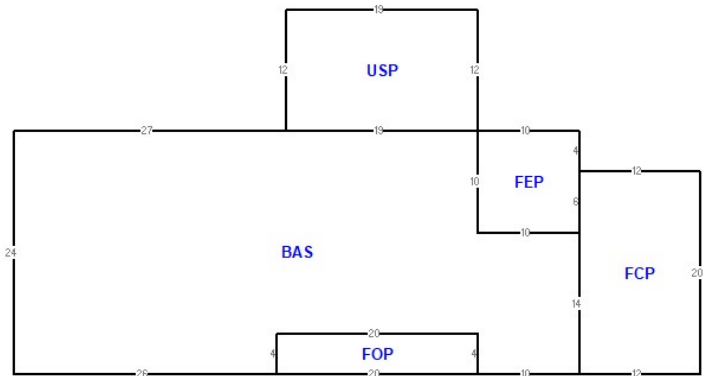
Building 1

Type 01 | SINGLE FAMILY

Year Built 1965

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	4.0	
Bathrooms	2.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
FCP	240		\$3,962
FEP	100	100	\$5,282
USP	228		\$3,764
BAS	1,164	1,164	\$76,855
FOP	80		\$1,321
Totals	1,812	1,264	\$91,184

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994A	Acreage Class 4	RDC-12	100.00	300.00	AC ACREAGE	0.69	\$37,677

Legal Description

LOT BEG 30 FT E AND 330 FT N OF SW COR OF NW 1/4 OF NW 1/4 AND RUN E 300 FT N 100 FT W 300 FT AND S 100 FT TO BEG

Facility Detailed List Report

Number of Facilities = 1

Facility Info										
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up				
43594	Hillsborough	O - Out Of Business			2912045	N - None Needed				
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address				
Mendoza Rudolfo	5309 Falkenburg Rd Tampa, FL 33610	5309 Falkenburg Tampa, 33610	Unknown	Unknown	(0) -					
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code				
0011 - Unknown	- Unverified Generator Status	0	P - Verification By Phone Call	12/9/1997	Gauthier	29 - Hillsborough				
Full-Time Employees		Facility Updated Date								
		3/30/2005 6:20:23 PM								
Comments:										
Comment Date	Comment									
12/9/1997	951205 - 280 - 0 - 0 - -1996 Epc									
Waste Info										
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/ Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous	
Facility has no corresponding waste information.										
Activity Info										
Activity Type	Description	Activity Date	Return To Compliance Date							
Facility has no corresponding activity information.										

Site 125

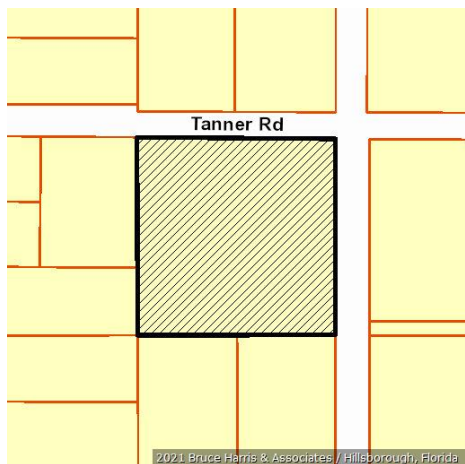
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Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065123-0000



Owner Information

Owner Name	WALLACE CURTIS LEE
Mailing Address	10109 TANNER RD TAMPA, FL 33610-9668
Site Address	10109 TANNER RD, TAMPA
PIN	U-05-29-20-ZZZ-000002-37840.0
Folio	065123-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0100 SINGLE FAMILY R
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$302,922	\$176,884	\$50,000	\$126,884
Public Schools	\$302,922	\$176,884	\$25,000	\$151,884
Municipal	\$302,922	\$176,884	\$50,000	\$126,884
Other Districts	\$302,922	\$176,884	\$50,000	\$126,884

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
16042 / 1439	2006044875	12	2004	QC	Unqualified	Improved	\$100
7043 / 0359	93161849	07	1993	QC	Unqualified	Improved	\$100
5813 / 2045	89227142	10	1989	QC	Unqualified	Improved	\$100
5331 / 0285	88027353	01	1988	QC	Unqualified	Improved	\$100

Building Information

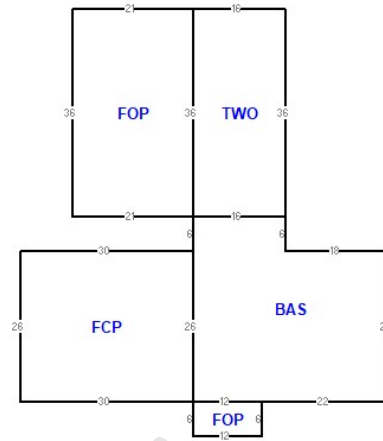
Building 1

Type 01 | SINGLE FAMILY

Year Built 1948

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	13	Alum/Vinyl Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	2	Wall Board/Wood Wall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	8	Basic Multi-Story
Condition	3	Average
Bedrooms	4.0	
Bathrooms	2.0	
Stories	2.0	
Units	1.0	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	980	980	\$42,509
TWO	1,152	1,152	\$47,454
FOP	756		\$8,198
FCP	780		\$8,459
FOP	72		\$781
Totals	3,740	2,132	\$107,401

Building 2

Type 01 | SINGLE FAMILY

Year Built 2000

Building 2 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Roof Structure	3	Gable or Hip
Roof Cover	9	Metal
Interior Walls	5	Drywall
Interior Flooring	2	Concrete Finished
Heat/AC	1	Non-Ducted
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	0.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
UOP	2,460		\$22,260
FDG	2,460		\$89,039
Totals	4,920		\$111,299

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0620	UTILITY WOOD	1	2015	24	12	288.00	\$4,560

0651	SHED NOT PERMANENTLY AFFIXED	1	2015	0	0	1.00	\$0
0470	OPEN SHED	2	2015	30	6	180.00	\$281

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994A	Acreage Class 4	AR	300.00	305.00	AC ACREAGE	2.10	\$79,380

Legal Description

LOT BEG 1000.6 FT N AND 330 FT E OF SW COR OF NW 1/4 & RUN N 305 FT E 305 FT S 305 FT & W 305 FT TO POB

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
136734	Hillsborough	A - Active - Waste Generator			2922397	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Cw Motorsports	10109 Tanner Rd Tampa, FL 33610	10109 Tanner Tampa, 33610	Curtis Wallace	Owner	(813) 929- 4909				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	3 - Cond Exempt Small Quantity Generator	420	V - Verification By On-Site Visit	10/14/2004	Eggert	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/16/2006 5:58:19 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/ Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
BDEB - Lead-Acid Batteries	OG - Other Good	ER - Exempt Recycle (Battery, Etc)	3 (UNITS)	114	1368	Off-Site	N	N	Y
NMRA - Nonhalogenated Solvents-Mixed Liquids	C3 - 10-39 Gallon Container	AD - Awaiting Disposal - Planned	35 (POUNDS)	35	420	Off-Site	N	N	Y
UPEO - Used Oils & Other Lubricants	C5 - 40 Or More Gallon Container	EU - Shipped For Used Oil Recycling	69.85 (POUNDS)	70	838	Off-Site	N	N	Y
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 126

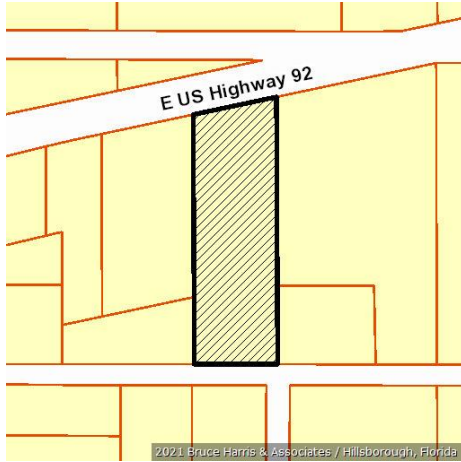
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Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065103-0100



Owner Information

Owner Name	LANCASTER JOSEPH LANCASTER ELLIE MAUREEN
Mailing Address	10135 E US HIGHWAY 92 TAMPA, FL 33610-5965
Site Address	10135 E 92 HWY, TAMPA
PIN	U-05-29-20-ZZZ-000002-37640.0
Folio	065103-0100
Prior PIN	
Prior Folio	065103-0000
Tax District	U - UNINCORPORATED
Property Use	4103 LIGHT MFG C
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$726,754	\$703,712	\$0	\$703,712
Public Schools	\$726,754	\$726,754	\$0	\$726,754
Municipal	\$726,754	\$703,712	\$0	\$703,712
Other Districts	\$726,754	\$703,712	\$0	\$703,712

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
6107 / 1604	90221086	10	1990	WD	Qualified	Improved	\$502,500
4478 / 0579		01	1985	WD	Qualified	Vacant	\$90,000

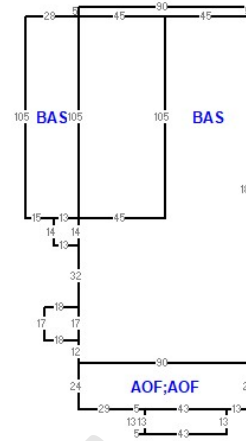
Building Information

Building 1

Type	87 PREFAB MTL BLD
Year Built	1986

Building 1 Construction Details

Element	Code	Construction Detail
Class	S	Metal Frame
Exterior Wall	12	Metal
Exterior Wall	5	Concrete Block
Roof Structure	10	Steel Frame
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	20.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
CAN	450		\$1,987
BAS	2,940	2,940	\$43,273
CAN	182		\$810
BAS	11,475	11,475	\$168,896
CAN	306		\$1,354
AOF	2,160	2,160	\$66,764
AOF	2,160	2,160	\$66,764
CAN	65		\$294
AOF	559	559	\$17,280
CAN	4,725		\$20,871
Totals	25,022	19,294	\$388,293

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	1	1986	0	0	962.00	\$3,539
0020	ASPHALT PAVING	1	1986	0	0	1,760.00	\$2,555
0260	FENCE CL6	1	2011	0	0	390.00	\$3,081
0630	UTILITY METAL	0	2015	12	13	156.00	\$2,398
0520	CANOPY	0	2015	6	8	48.00	\$610
0520	CANOPY	0	2019	90	42	3,780.00	\$49,802

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	IPD-2	0.0	0.0	SF SQUARE FEET	94,824.00	\$276,478

Legal Description

TRACT BEG 488.87 FT E OF SW COR OF NW 1/4 OF NW 1/4 OF NW 1/4 RUN N 530.48 TO A PT ON SLY R/W OF SR 17 THN NE ALONG R/W 175 FT THN S 567.56 THN W 171.13 FT TO POB

March 30, 2005

Mr. Joe Lancaster
Rollercoat Industries, Inc.
10135 E. Hwy 92
Tampa, FL 33610-5965

Dear Mr. Lancaster:

SUBJECT: SMALL QUANTITY GENERATOR (SQG) SITE VISIT

Environmental Protection Commission (EPC) staff performed a SQG site visit on September 14, 2004 at your facility located at your facility. Also, the information you submitted has been reviewed. Based on this, it appears that you have met the appropriate waste management regulations. In addition, all corrective actions have been completed. Therefore, this letter serves to complete this complaint site visit.

Your cooperation in addressing solid and hazardous waste management practices at your facility has been appreciated. EPC looks forward to your continued compliance.

Sincerely,

Sean P. McGinnis
Environmental Specialist II
Waste Management Division

Facility ID: 2908458
 EPA ID: FLD982174104
 RCRA Status: SQG
 Status: ACTIVE

County/City Code: HILLSBOROUGH COUNTY
 STR: 33-28-20
 Latitude: 27-59-44.4
 Longitude: 82-20-02.4



SQG - Environmental Protection Commission of Hillsborough County

SQG VERIFICATION INSPECTION REPORT PART I - GENERAL

Inspector Name(s): MCGINNIS
 Facility Name: ROLLERCOAT INDUSTRIES, INC.
 Location Address: 10135 E 92 HWY, TAMPA FL 33610-5965
 Mailing Address: 10135 HWY, 92 E, TAMPA FL 33610-5965
 Contact Info: Contact Name: JOE LANCASTER
 Title: OWNER
 Phone: (813) 621-4668

Verification Method: X - ESQG VERIFICATION
 Inspection Date: 09/14/2004
 Close Date: 03/29/2005
 Tickler Date(s):
 Total Minutes: 380

Facility Description: MANUFACTURE AND REPAIR OF URETHANE AND RUBBER ROLLERS
 Years at Location: 14 Number of Employees: 20 Standard Industrial Code: 3069
 Business Owner: JOE LANCASTER: 10135 E 92 HWY, TAMPA FL 33610-5965
 Property Owner: JOE LANCASTER: 10135 HWY, 92 E, TAMPA FL 33610-5965

County Specific Data - Discharges/P2 Information (select best code for each applicable category):

Water Discharge PRIVATE WELL
 SEPTIC
 Solid Waste Disposal COUNTY PICKUP

County Specific Data - License Information (select best code for each applicable category):

Occupational License Code: 280.025
 HW Surcharge: Yes No

Compliance Information (NOTE - reflecting how the facility operates at time of initial inspection):

	Yes	No
Waste determinations for all wastes generated?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proper disposal of all potentially hazardous wastes?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Disposal records maintained on site for 3 years?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Material Safety Data Sheets available for all chemicals?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Evidence of discharge or pollution?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lake(s) on site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Retention/detention pond(s) on site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Ditch(es) on site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Storm Drain(s) on site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other water bodies on site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pollutants entering system?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Samples taken by EPC staff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

WASTE - Facility 2908458 - Verification: 9/14/2004

NOTES

Waste Code	Storage	Disposal	Max Monthly	Annual Units	Units	Qmgt	
NONHALOGENATED SOLVENTS-PURE HAZ LIQUIDS-IGNITABLE / OXIDIZER-CLEANING (DRY/DEGREASING/ETC.)							MCF Systems
NPIG	40 OR MORE GALLON CONTAINER	HW RCRA TREATMENT	385	4,620	POUNDS		
USED OIL (AND FILTERS)-PURE HAZ LIQUIDS-RCRA EXEMPT (OIL,BATTERY,ETC.)-OIL/FLUIDS/FILTERS CHANGE							
UPEO	40 OR MORE GALLON CONTAINER	USED OIL RECYCLING	14	165	GALLONS		
USED OIL (AND FILTERS)-RAGS /WIPERS- CLOTH-RCRA EXEMPT (OIL,BATTERY,ETC.)-HOUSEKEEPING (SPILL/LEAK)							UniFirst
UREH	0-9 GALLON CONTAINER	COMMERCIAL LAUNDRY (RAGS)	16.50	198	POUNDS		
LAMPS (FLUORESCENT - HID)-DEVICES (BATTERY, LAMP, ETC)-RCRA EXEMPT (OIL,BATTERY,ETC.)-BATTERY/LAMP REPLACEMENT							
LDEB	PILED ON THE FLOOR OR TABLE	UNIVERSAL WASTE (LAMP, ETC)	0.28	3.30	POUNDS		
BATTERIES (LEAD-ACID)-DEVICES (BATTERY, LAMP, ETC)-RCRA EXEMPT (OIL,BATTERY,ETC.)-BATTERY/LAMP REPLACEMENT							Posey Battery
BDEB	PILED ON THE GROUND OUTSIDE	EXEMPT RECYCLE (BATTERY, ETC)	1	2	UNITS	<input checked="" type="checkbox"/>	

Narrative(s) - Facility 2908458 - Verification: 9/14/2004

Date	Comment
09/14/2004	* The facility recovers printing and other industrial rollers with either rubber or polyurethane. MEK is used as the primary cleaning solvent. MCF Systems transports the company's hazardous waste and oil. Solvent rags are laundered through UniFirst. The facility tries to use water on rags instead of toluene when possible. Lakeland drum disposes of the empty containers. Mr. Lancaster was aware of the requirement for the container to be RCRA empty. Lead acid batteries are traded in when new batteries are purchased, primarily from Posey Battery. The facility used to dispose of fluorescent lamps through Home Depot, but they no longer accept the lamps. A list of current lamp recyclers was provided. Maintenance of the forklifts is done by Bay City Forklift. Vehicles are serviced by the dealership. * The primary process is to remove the old roller coating mechanically. The core is cleaned and either ground or sandblasted to ensure a good adhesion between the metal and coating. Aluminum oxide is used to blast the parts, which are primarily aluminum. The facility did a waste determination on this material after the previous SQG inspection, and it is non-hazardous. Chemlok 205 adhesive is applied to the core with a brush, and then the roller is coated. * For polyurethane rollers, the resin and catalyst are melted separately, and then blended in proportions that will provide the desired hardness. The facility uses resins that have a low percentage of free toluene diisocyanate, and no respiratory protection is needed to meet the OSHA isocyanate standard. Some resins use MOCA (4,4-methylene bis (2-chloroaniline)- U158) as the catalyst. The MOCA is melted in small

containers. Leftover MOCA is saved and then re-melted for use in the next batch. No MOCA waste is generated. Other catalysts include triisopropanolamine and trimethylpropanolamine, which are not listed as hazardous waste. The rollers are cured in an oven, and then milled to a smooth, level surface. Some rollers have grooves cut into the coating. The facility is able to use grindings from this process as an absorbent to clean up spills if needed. Mr. Lancaster understood that if MEK or other hazardous waste was cleaned up using this material, it would have to be managed as a hazardous waste. * The facility also used a millable urethane that is purchased in strip form. The strips are fed into an extruder, which extrudes flat sheets that are then wound on the metal core to the desired thickness. The rollers are then cured in an autoclave and ground to the correct thickness on a lathe. Grindings from this process are disposed of with the facility's solid waste. * The facility has a specialty patented process to manufacture rollers with removable urethane sleeves. The metal cores for these rollers have dovetails. When the customer needs a new sleeve, the old sleeve is removed and a new sleeve can be slipped on. Rollercoat uses a metal core as a mold. A mold release agent (naphtha based wax) is applied to the core, and then the roller is manufactured and ground using the company's normal process. The finished sleeve can be removed from the core mold and shipped to the customer. * The facility does not have any automatic mixing or injection equipment, and therefore does not generate any cleaning or line purge solvent. * Two drums containing hazardous waste were onsite, all closed, dated, and labeled. The company maintains a waste log. Each worker adding waste to the drum signs his name, the date, and the amount of waste added. This log needs to be updated to comply with 62-730.160(6) F.A.C. * Three 5 gallon unlabeled buckets of unknown contents were located outside next to a semi container being used for raw material storage. Mr. Lancaster did not know what was in the buckets and the person in charge of the area was not working at the time. The buckets had a nail hole punched in the top, and may have originally contained solvent. A waste determination will be necessary.

No P2 recommendations

Pamphlets Provided - Facility 2908458 - Verification: 9/14/2004

FLUORESCENT LAMP TRANSPORTERS & STORAGE FACILITIES	9/14/2004
LABORATORIES NELAP CERTIFICATION LIST	9/15/2004
SQG PART II ASSISTANCE DOCUMENTS	9/15/2004
SQG REQUIREMENTS	9/14/2004

Pamphlets Provided 4

END OF SQG VERIFICATION INSPECTION REPORT PART I - GENERAL

Facility 2908458 - Verification: 9/14/2004

40 CFR 262 Subpart B -- The Manifest

1. Does the facility use the manifest for all its hazardous wastes? 262.20)	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
2. Is the facility using the correct form (EPA 8700-22; OMB #2050-0039)?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
If no, does the generator qualify for the contractual agreement exclusion?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Is a copy of the reclamation contract specifying type of waste and frequency of shipment kept on file? (262.20(e))	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
3. Does the facility ship by rail or water? (If so, check 262.23(c))	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
4. Is the manifest filled out properly?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Item No.:	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
1. -Generator EPA ID #	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
2. -5 digit manifest document #	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
3. -Generator name and mailing address	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
4. -Generator phone #	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
5-8. -Transporter names and ID #s	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
D-F. -Transporter phone # (state requirement)	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
9. -TSD name and mailing address	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
10. -TSD # EPA ID #	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
H. -TSD Phone # (state requirement)	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
11. -DOT description of the waste, including hazard class, ID # and packaging group	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
12. -Container # and type	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
13-14. -Quantity of waste and units	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
I. -EPA waste code (state requirement)	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
K. -Handling codes (state requirement)	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
16. -Name, handwritten signature of generator and date	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
17-18. -Name, handwritten signature of transporter and date	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
19. -Are any manifest discrepancies noted?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
20. -Name, handwritten signature of TSD and date	Yes	<input checked="" type="checkbox"/>	No	<input checked="" type="checkbox"/>
Number of manifests examined	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Number of errors		<u>15</u>		
Note manifest document numbers and dates of manifests with errors below:		<u>0</u>		

Manifest #	Date	Destination	Error(s)

5. If the generator did not receive a signed return copy of the manifest from the disposal facility within 60 days of shipment, did the facility notify DEP and send a legible copy of the manifest? (262.42(b))	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
6. Are manifests retained for 3 years?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>

40 CFR 262 Subpart C -- Pre Transport Requirements

1. Does the facility accumulate the waste on-site prior to treatment or disposal? Yes No
 Check applicable accumulation units. Facilities accumulating waste in containment buildings or on drip pads are subject to LQG standards

Containers **Tanks**

2. Are containers used to ship the waste off-site? Yes No
3. Are any containers on-site prepared for shipment? Yes No
- a. If so, are the containers appropriate for the waste? (262.30) Yes No
- b. Are the correct diamond-shaped DOT hazard class container labels used? (262.31) Yes No
- c. Are containers of 110 g or less marked with the correct DOT shipping name and number? Yes No
- Is a label with the language required under 262.32(b) used? Yes No
- Is the generator's name, address and manifest document number on the label? Yes No
- d. Are placards available to be provided to the transporter? (262.33) Yes No
- e. Are bulk packagings used (over 400 kg solid or 118 g liquid)? Yes No
- f. Are they marked and placarded properly? Yes No

40 CFR 262 Subpart C -- Accumulation Requirements

1. Does the facility comply with the 180-day accumulation time limit? Yes No
2. Does the facility comply with the 6000 kg maximum accumulation of hazardous waste? (262.34(d)(1)) Yes No
3. If not, has the facility been issued an extension by the Department? (262.34(f)) Yes No
4. Is each container marked with the beginning date of accumulation? (262.34(a)(2)) (NO STORAGE AREA) Yes No
5. Is each container and tank marked with the words "Hazardous Waste"? (262.34(a)(3)) Yes No
6. Are satellite accumulation points used? Describe in narrative. Yes No
7. Are satellite containers closed (262.34(c)) and marked with the words "hazardous waste" or other words that describe the contents? Yes No
8. Do satellite accumulation points hold 55 gallons of waste or less? Yes No
9. If not, is the excess marked with the date the excess waste began accumulating? (The date must be within 3 days of the date of inspection (262.34(c)(2))) Yes No

40 CFR 262 Subpart C -- Personnel Training -- (262.34(d)(5)(iii))

- | | | | | |
|--|-----|--------------|----|---------------|
| 1. Do facility personnel complete hazardous waste training?
Comments, describe documentation: | Yes | <u> ✓ </u> | No | <u> </u> |
| 2. Is the trainer adequately trained in hazardous waste management procedures? | Yes | <u> ✓ </u> | No | <u> </u> |
| 3. Does the training cover safety? | Yes | <u> ✓ </u> | No | <u> </u> |
| 4. Does the training cover emergency response procedures, including equipment handling and inspection? | Yes | <u> ✓ </u> | No | <u> </u> |
| 5. Does the training cover hazardous waste identification and handling procedures? | Yes | <u> ✓ </u> | No | <u> </u> |

265 Subpart C -- Preparedness and Prevention

- | | | | | |
|---|-----|---------------|----|------------------|
| 1. Is there evidence of a fire, explosion or release of hazardous waste or hazardous waste constituents to the environment? (265.31) | Yes | <u> </u> | No | <u> ✓ </u> |
| 2. Does the facility have an internal communication or alarm system? (265.32(a)) | Yes | <u> ✓ </u> | No | <u> </u> |
| 3. Is there a telephone, alarm, 2-way radio or other device at the scene operations immediately available and capable of summoning assistance? (265.32(b)) | Yes | <u> ✓ </u> | No | <u> </u> of |
| 4. Describe fire control equipment. Is it adequate? (265.32(c)) | Yes | <u> ✓ </u> | No | <u> </u> |
| 5. Is spill control and decontamination equipment present? (265.32(c)) | Yes | <u> ✓ </u> | No | <u> </u> |
| 6. If sprinklers, water hoses or foam producing equipment is part of the facility fire control equipment, is water available at adequate volume and pressure? (265.32(d)) | Yes | <u> ✓ </u> | No | <u> </u> |
| 7. Is the emergency equipment inspected and tested periodically? | Yes | <u> ✓ </u> | No | <u> </u> |
| 8. Frequency? <u> Yearly </u> Is there adequate aisle space to allow unobstructed movement of facility personnel and emergency equipment to any area of the facility where needed? (265.35) | Yes | <u> ✓ </u> | No | <u> </u> |
| 9. Has the facility made emergency response arrangements with the following: (265.37) | Yes | <u> ✓ </u> | No | <u> </u> |
| Fire Department: Hillsborough County Fire Rescue | Yes | <u> </u> | No | <u> ✓ </u> |
| Police: Hillsborough County Sheriff | Yes | <u> </u> | No | <u> ✓ </u> |
| Hospital: | Yes | <u> </u> | No | <u> ✓ </u> |
| Emergency Reponse Contractor: | Yes | <u> </u> | No | <u> ✓ </u> |
| 10. If not, has the facility attempted to do so and is the refusal documented? | Yes | <u> </u> | No | <u> ✓ </u> |

Modified Contingency Plans and Emergency Response --[262.34(d)(5)]

- | | | | | | |
|---|--------------------------|--------------|----|---------------|----|
| 1. Is there an emergency coordinator on site or within short driving distance of the plant at all times? | Yes | <u> ✓ </u> | No | <u> </u> | of |
| 2. Who is the emergency coordinator? | <u> Joe Lancaster </u> | | | | |
| 3. Is the following information posted near the telephone: | | | | | |
| a. Name and telephone number of emergency coordinator? | Yes | <u> ✓ </u> | No | <u> </u> | |
| b. Location of fire extinguishers, spill control material and, if present, fire alarm? | Yes | <u> ✓ </u> | No | <u> </u> | |
| c. Telephone number of fire department, if no direct alarm? | Yes | <u> ✓ </u> | No | <u> </u> | |
| 4. Are all employees thoroughly familiar with proper waste handling and emergency procedures as relevant to their responsibilities during normal facility operations and emergencies? | Yes | <u> ✓ </u> | No | <u> </u> | |
| 5. Does the emergency coordinator or his designee know what is the required response in the event of a fire, a spill which can be contained, or a fire, explosion or other release which could threaten human health outside the facility or reach surface water? | Yes | <u> ✓ </u> | No | <u> </u> | |
| 6. Is the emergency coordinator authorized to commit funds for incident response? | Yes | <u> ✓ </u> | No | <u> </u> | |

40 CFR 262 Subpart D -- Record keeping and Reporting

- | | | | | | |
|--|--------------------------|---------------|-----|---------------|------------------|
| 1. Is the generator keeping the following records: | | | | | |
| Exception reports (262.42) | N/A | <u> ✓ </u> | Yes | <u> </u> | No <u> </u> |
| Test Results: | N/A | <u> </u> | Yes | <u> ✓ </u> | No <u> </u> |
| 2. Where are records kept? | <u> In office </u> | | | | |
| 3. Who is in charge of keeping records? Name | <u> Virginia Amos </u> | | | | |
| 4. Any additional reporting, such as contingency plan implementation reports? (262.43) | N/A | <u> ✓ </u> | Yes | <u> </u> | No <u> </u> |
| | | | Yes | <u> ✓ </u> | No <u> </u> |
| 5. Are records kept for a minimum of 3 years? | N/A | <u> ✓ </u> | | | |

40 CFR 262 Subpart E -- Exports

- | | | | | |
|---|-----|---------------|----|---------------|
| 1. Has the facility exported any hazardous waste? | Yes | <u> </u> | No | <u> ✓ </u> |
| 2. Has the exporter notified EPA 60 days prior to the initial shipment? | Yes | <u> </u> | No | <u> </u> |
| 3. Has the receiving country consented to receive the waste? | Yes | <u> </u> | No | <u> </u> |
| 4. Has a copy of the EPA Acknowledgment of Consent accompanied the shipment? | Yes | <u> </u> | No | <u> </u> |
| 5. Did the shipment conform, and was the manifest completed as required by 40 CFR 262.54? | Yes | <u> </u> | No | <u> </u> |
| 6. Has the exporter received confirmation of delivered shipment? | Yes | <u> </u> | No | <u> </u> |
| 7. Are all records kept a minimum of three years? (262.57) | Yes | <u> </u> | No | <u> </u> |

CONTAINERS STORAGE CHECKLIST FOR SMALL QUANTITY GENERATORS

40 CFR Part 265 Subpart I - Use and Management of Containers
(Except 265.176)

- | | | | | |
|--|-----|-------------------|----|---|
| 1. Are the containers in good condition (265.171)?
(Check for leaks, corrosion, bulges, etc.) | Yes | <u> ✓ </u> | No | <u> </u> |
| 2. If a container is found to be leaking, does the operator transfer the hazardous waste from the leaking container? | Yes | <u> ✓ </u> | No | <u> </u> |
| 3. Is the waste compatible with the containers and/or its liner (265.172)? | Yes | <u> ✓ </u> | No | <u> </u> |
| 4. Are the containers kept closed except when adding or removing wastes (265.173(a))? | Yes | <u> ✓ </u> | No | <u> </u> |
| 5. Are containers holding hazardous waste opened, handled or stored such a manner as to cause the container to rupture leak (265.173(b))? If Yes, explain using narrative. | Yes | <u> </u> | No | <u> ✓ </u> in or |
| 6. Are each of the containers inspected at least weekly? (265.174)? | Yes | <u> ✓ </u> | No | <u> </u> |

Are records kept including: (62-730.160 (6) F.A.C.)

- | | | | | | | |
|----|--|---|-----|-------------------|----|-------------------|
| 7. | Are incompatible wastes stored in the same containers? | Date of inspection? | Yes | <u> ✓ </u> | No | <u> </u> |
| | | Time of inspection? | Yes | <u> </u> | No | <u> ✓ </u> |
| | | Legibly printed name of the inspector? | Yes | <u> ✓ </u> | No | <u> </u> |
| | | Number of containers? | Yes | <u> </u> | No | <u> ✓ </u> |
| | | Condition of containers? | Yes | <u> ✓ </u> | No | <u> </u> |
| | | Notes of observations made? | Yes | <u> </u> | No | <u> ✓ </u> |
| | | Date and nature of any repairs or corrective actions? | Yes | <u> </u> | No | <u> ✓ </u> |

8. Are containers holding incompatible wastes kept apart by physical barrier or sufficient distance? (265.35)
9. Is there sufficient aisle space to allow full inspection of the containers and labels? (62-730.160(7) F.A.C.)

N/A
SMALL QUANTITY GENERATOR TANKS CHECKLIST

40 CFR 265.201

- Are treatment or accumulation activities conducted to prevent threats to human health or the environment by:
- generation of extreme heat, pressure, fire, explosion or violent reaction? Yes _____ No _____
 - production of toxic mists, fumes, dusts or gasses? Yes _____ No _____
 - generation of uncontrolled flammable fumes or gasses which could explode, causing damage to the structural integrity of the tank? Yes _____ No _____
 - i. Is the waste placed in the tank in such a manner so as to cause the tank to rupture or leak? Yes _____ No _____
 - i. Are uncovered tanks operated to ensure at least 60 cm of freeboard? Or is the tank equipped with a containment structure that exceeds the top 60 cm volume of the tank? Yes _____ No _____ N/A _____
 - i. If the tank is a continuous feed tank, is there an emergency cut off or bypass to a standby tank? Yes _____ No _____ N/A _____
 - i. Are daily inspections made of:
 - discharge control equipment? Yes _____ No _____ N/A _____
 - monitoring equipment? Yes _____ No _____ N/A _____
 - level of waste in the tank? Yes _____ No _____ N/A _____
 - i. Are weekly inspections made of:
 - Construction materials of tank to detect corrosion or leaks? Yes _____ No _____
 - Containment structures for erosion or signs of leaks? Yes _____ No _____
 - i. At closure, was all hazardous waste removed from the tank, ancillary equipment and containment structure? Yes _____ No _____ N/A _____
 - i. If the tank is storing ignitable or reactive waste, is the waste protected from materials or conditions that could cause it to ignite or react? Yes _____ No _____ N/A _____
 - i. Do covered tanks meet buffer zone requirements for tanks in Tables 2-1 to 2-6 of the NFPA Flammable and Combustible Liquids Code? Yes _____ No _____ N/A _____
 - 0. Is each tank labeled "Hazardous Waste?" Yes _____ No _____
 - 1. Is each tank dated, or are other records kept to document that the tank is emptied at least once every 180 days? Yes _____ No _____

LAND DISPOSAL RESTRICTIONS GENERATOR CHECKLIST

Facility Name: Rollercoat Industries, Inc. Date: 09/14/2004
 Facility Representative: Joe Lancaster Facility ID#: 2908458
 SIC Code(s): 3069 Inspector S. McGinnis/B. Knauss, FDEP

40 CFR Part 268

1. Does the generator manage any waste streams that are not restricted from land disposal? (268.1) Yes No

If so, Identify waste and exemption: [268.1(c and e)]

Waste	Exemption
	Case by case exemption under 268.5 for a specific waste from a specific facility.
	Approved "no migration" petition under 268.6.
	National Capacity Variance Expiration date:
	Decharacterized nonlisted wastes disposed of to a hazardous or non hazardous injection well, provided D001 high TOC wastes and D012-17 pesticide wastes meet treatment standards before injection.
	Wastes identified as hazardous after November 8, 1984 for which EPA has not promulgated treatment standards.
	De minimus losses to wastewater treatment systems.
	Characteristic wastes mixed with other plant wastewaters at facilities where the discharge is subject to the Clean Water Act, or CWA equivalent treatment in zero discharge systems provided the wastes do not exhibit a characteristic at the point of land disposal (261.1(c)(4)).
	Universal Waste.

2. Does the facility dilute any NON-EXEMPT restricted waste stream as a substitute for treatment? (268.3(a)) Yes No
 If so, explain in the narrative.

3. Does the facility treat hazardous waste on site in tanks, containers or containment buildings? Describe in narrative. Yes No

If so, is the treatment to render the waste non-hazardous or to meet LDR Treatment Standards? Yes No N/A

Does the generator have a written waste analysis plan? (not required if the generator is treating only debris) (268.7(a)(5)) Yes No N/A

Does the facility keep records documenting treatment for three years from the date of treatment? Yes No N/A

Notification and Certification Requirements (268.7)

1. Is the generator complying with the notification and certification requirements when disposing of his hazardous wastes? Note violations below.

Waste Stream	Last generated	Notice on file?	Waste Codes Included	Defects – Comments See page 3 for required content

2. Is the generator keeping records of analyses conducted for purposes of determining compliance with land disposal restrictions for three years from the date the waste was last disposed? 268.7(a)(8) Yes No N/A

3. Is the generator determining whether any wastes are restricted solely by product or process knowledge? Yes No

If so, is all supporting data used to make the determination (such as MSDSs) retained on site? (268.7(a)(6)) Yes No

4. Is the generator managing a restricted waste that is excluded from the definition of hazardous waste under 261.2 - 6 subsequent to the point of generation? (ex. accumulated wastes subsequently discharged to a wastewater treatment unit or reclaimed.) Yes No

If so, is a one time notice of the generation, subsequent exclusion and ultimate disposition of the waste placed in facility files? (268.7(a)(7)) Yes No N/A

5. Is the generator keeping copies of all land disposal restriction notices and certifications for three years from the date the waste was last disposed? Yes No

Note – this should include hazardous waste generated and then managed under an exclusion pursuant to 261.2 – 261.6. Yes No

6. Has the generator treated or disposed of any contaminated soil? Yes No

If so, did the generator determine and certify whether the soil contained a listed hazardous waste or was characteristically hazardous? Yes No N/A

Notification and Certification Requirements (268.7 and 9)

Notice Types	Notice frequency	Required Notice Content
1. Restricted, not meeting treatment standards 268.7(a)(2)	First shipment to the TSDF	EPA waste number(s) Constituents of Concern Treatability Group Manifest Number if initial shipment Analysis data (where available) For soil only – a signed certification statement
2. Restricted, meets treatment standards at point of generation 268.7(a)(3)	First shipment to the TSDF	Certification statement EPA waste number(s) Constituents of Concern Treatability Group Manifest Number of initial shipment Analysis data (where available)
3. Restricted, but exempt under 268.5, 268.6 or a variance	First shipment to the TSDF	Statement waste is not prohibited Date the waste becomes subject to LDRs EPA waste number(s) Constituents of Concern Treatability Group Manifest Number of initial shipment Analysis data (where available)
4. Lab packs disposed of under an alternative treatment standard under 268.42(c)	First shipment to the TSDF	EPA waste number(s) Manifest Number of first shipment Certification that no 268 Appendix IV wastes are in the lab pack and that the waste will be sent to a combustion facility.
5. Generator claiming characteristic wastes are no longer hazardous - 268.9(d)	One time to EPA & state w/ updates if TSD changes	Name & address of receiving subtitle D facility Waste may require further treatment before disposal EPA waste number(s) Description of waste as generated Treatability group Underlying hazardous constituents Certification statement per 268.9(d)(2)
6. Generator disposing of accumulated waste in an exempt manner such as on site recycling or in a WWTU	Notice in facility records	Statement that the waste was generated and then subsequently excluded
7. Small Quantity Generator using a tolling agreement	Initial shipment	Same as generator requirements except for MDN Keep copy of tolling agreement.
8. Hazardous debris excluded from the definition of HW under 261.3(e) See 268.7(d)	One time to EPA & state Updated if TSD of debris type changes	Name & address of subtitle D facility EPA waste number(s) Description of waste as generated Technology used to treat the waste (unless EPA or authorized state has determined that the debris does not contain a HW) Certification statement
9. Hazardous soil subject to LDRs that has been determined to no longer contain a HW	Initial	Document the determination and all supporting data in facility files for at least 3 years.

(note - EPA's LDR notice requirements have changed frequently - check regulations in effect as of the date of shipment for compliance)

September 15, 2004

Mr. Joe Lancaster
Rollercoat Industries, Inc.
10135 US Hwy 92 East
Tampa, FL 33610

Dear Mr. Lancaster:

SUBJECT: SMALL QUANTITY GENERATOR (SQG) SITE VISIT

Environmental Protection Commission (EPC) staff performed an initial site visit on September 14, 2004. The purpose of the inspection was to review the management (including generation, storage, and disposal) of solid and hazardous wastes at your facility. This letter is to advise you of concerns that need to be addressed based on observations and information provided by Rollercoat Industries, Inc. personnel during the inspection.

1. EPC staff observed numerous metal 5-gallon containers of unknown contents stored uncovered on the bare ground. Please have the containers analyzed for flash point, pH, and % percent water with a copy of the results submitted to EPC for review within **30 days** of receipt of this letter. After EPC reviews the results, you will be advised of proper disposal options.
2. EPC staff was informed that spent oil absorbents are disposed of in the dumpster. Generally, disposing of spent oil absorbents in the dumpster is prohibited by Hillsborough County. The options for proper disposal are either containerize all spent oil absorbents and dispose of them by a registered used oil hauler or receive written permission from Hillsborough County Solid Waste Management Department to dispose of spent oil absorbents in the dumpster. Within **10 days** of receipt of this letter, please submit, in writing to EPC which option you are going to implement.
3. EPC staff observed a partial hazardous waste storage container checklist being used at your facility. **Immediately** implement a container storage checklist that includes all of the following: date of inspection, time of inspection, legibly printed name of the inspector, number of containers inspected, condition of containers, notes of any observations made, and the date and nature of any repairs or corrective actions (see attached example checklist).

Page 2
September 15, 2004
Mr. Lancaster

4. EPC staff was informed that your facility has not made emergency arrangement with the following: fire department, police department, and hospital. Please send a certified letter to each to familiarize them with the characteristics of your facility within **30 days** of receipt of this letter (see attached example letter).
5. EPC staff observed an incomplete site plan posted near the front door of the facility. Please provide an updated copy of the site plan that includes the name and phone numbers of the emergency coordinators, telephone number of the fire department, and the location of fire extinguishers, spill control equipment, and if present fire alarms within **30 days** of receipt of this letter.
6. EPC staff observed that waste lead-acid batteries are generated. Some of the batteries are stored uncovered. Please move the lead-acid batteries to an impervious surface and out of the weather **immediately**.
7. EPC staff observed spent aluminum oxide blasting media is generated. Within **30 days** of receipt of this letter, have the spent blast media analyzed for the eight RCRA metals, which are arsenic, barium, cadmium, chromium, lead, mercury, selenium, and silver, and have a copy of the results submitted to EPC for review.
8. Please provide to EPC a detailed written description the process employed to make the urethane and rubber rollers. It should include how the rollers are cleaned and shaved to size, how the containers used to mix the urethane are cleaned and how often and the quantity of spent solvents are disposed and where they are disposed at, etc. This information should be submitted to EPC within **30 days** of receipt of this letter.

The above corrective actions should be completed per the timeframes stated for each. If you have any questions, please feel free to contact me at 272-5955 extension 1299. Your cooperation is appreciated.

Sincerely,

Sean P. McGinnis
Environmental Specialist II
Waste Management Division

Enclosures

Honey, Kelly

From: Joe Lancaster [Joeandmaurine@aol.com]
Sent: Thursday, September 16, 2010 6:20 PM
To: Honey, Kelly
Subject: Used oil drum
Attachments: photo.JPG; ATT00001..txt

Kelly
I purchased the drum pallets as show in photo and placed all my drums on them. I moved the used oil drum to the Back of the photo so it would be farthest away from open ground.
We now have started a new waste Mel drum and are logging weekly
Just in case we generate to much.
Any thing else let me know.

Joe Lancaster
Rollercoat

DRAFT



DRAFT

Honey, Kelly

From: Honey, Kelly
Sent: Thursday, September 16, 2010 5:22 PM
To: 'joe@rollercoat.com'
Subject: sample inspection log

Hi Joe,

I was just reviewing my notes and writing your inspection report, and I realized that I was going to send you a sample weekly inspection log. Sorry I didn't get this to you sooner.

Also, you were going to either move your used oil container inside, away from any doors, or get a containment pan for it. Could you please send me a photo of your corrected used oil drum?

Thanks!



Container
Inspection Log.c

*Sincerely,
Kelly Honey
FL Department of Environmental Protection
RCRA Compliance and Enforcement
T: 813/632-7600, ext. 369
F: 813/632-7664*

Please Note: Florida has a very broad public records law. Most written communications to or from state officials regarding state business are public records available to the public and media upon request. Your e-mail communications may therefore be subject to public disclosure.

Memorandum

Environmental Protection

SOUTHWEST DISTRICT ENFORCEMENT COVER MEMO

TO: [Signature] James Dregne, Hazardous Waste Program Manager

THROUGH: [Signature] Elizabeth Knauss, HW Enforcement Coordinator

FROM: [Signature] Kelly Honey, Environmental Specialist III

DATE: September 21, 2010

FILE NAME: Rollercoat Industries, Inc.

COUNTY: Hillsborough

PROGRAM: Hazardous Waste

PROJECT # N/A

TYPE OF DOCUMENT: Inspection Report and cover letter

REQUESTED ACTION: APPROVAL

DESCRIPTION OF VIOLATIONS:
The facility had one drum of used oil without containment.

STATUS OF CORRECTIVE ACTIONS:
The facility has returned to compliance.

STATUS OF PENALTY ASSESSMENT:
N/A

PENALTY: Not Applicable

Amount: N/A

Costs & Expenses: N/A

Total: N/A

Secretary Approval Not required / Approved on _____

Attachments: Inspection report and cover letter



Florida Department of
Environmental Protection
Southwest District Office
13051 North Telecom Parkway
Temple Terrace, Florida 33637-0926

Charlie Crist
Governor

Jeff Kottkamp
Lt. Governor

Mimi Drew
Secretary

September 22, 2010

Mr. Joe Lancaster, President
Rollercoat Industries, Inc.
10135 East US Highway 92
Tampa, FL 33610

Re: FLD 982 174 104
Hillsborough County

Dear Mr. Lancaster:

Thank you for your assistance and cooperation during the Department of Environmental Protection's August 13, 2010, Hazardous Waste Compliance Evaluation Inspection.

Enclosed is the inspection report generated from this visit. Based upon the information gathered during the inspection, Rollercoat Industries, Inc., was found to be in violation of one regulation governing used oil generators. The violation is set forth in the "Summary of Violations" section of the inspection report.

The violation cited in the report was corrected during the inspection. Having returned to compliance, no enforcement action will be taken.

If you have any questions, please feel free to call me at (813) 632-7600, extension 369.

Sincerely,

Kelly M. Honey
Environmental Specialist
Division of Waste Management
Southwest District

/kmh

enclosure

cc: Kelley Boatwright, Hillsborough County SQG Program (via electronic mail)



Florida Department of
Environmental Protection
Hazardous Waste Inspection Report

FACILITY INFORMATION:

Facility Name: Rollercoat Industries Inc

On-Site Inspection Start Date: 08/13/2010

On-Site Inspection End Date: 08/13/2010

ME ID#: 49808

EPA ID#: FLD982174104

Facility Street Address: 10135 E US Highway 92, Tampa, Florida 33610-5965

Contact Mailing Address: 10135 Us 92 E, Tampa, Florida 33610-0000

County Name: Hillsborough

Contact Phone: (813) 621-4668

NOTIFIED AS:

SQG (100-1000 kg/month)

INSPECTION TYPE:

Routine Inspection for SQG (100-1000 kg/month) facility

Routine Inspection for Used Oil facility

INSPECTION PARTICIPANTS:

Principal Inspector: Kelly M. Honey, Environmental Specialist III

Other Participants: Joe Lancaster, President

LATITUDE / LONGITUDE: Lat 27° 59' 42.2426" / Long 82° 20' 0.5752"

SIC CODE: 3069 - Manufacturing - fabricated rubber products, nec

TYPE OF OWNERSHIP: Private

Introduction:

Rollercoat Industries, Inc., (Rollercoat) was inspected to evaluate the company's compliance with state and federal hazardous waste regulations. Mr. Joe Lancaster, the president of the company, accompanied the inspector during the inspection. The 20,000-square foot facility has been at this location since 1990 and presently employs approximately 22 people. The facility is on a well and has a septic system. Fire extinguishers are certified annually, and rags are laundered by Cintas. Forklifts are maintained by Tampa Forklift. The facility notified the Department of its status as a small quantity generator of hazardous waste (SQG), however, the facility's status fluctuates with the work load, and at the time of the inspection, the facility was a conditionally exempt small quantity generator of hazardous waste (CESQG). This was the first inspection by the Department's Hazardous Waste Section, although it has been inspected previously by the Hillsborough County Environmental Protection Commission.

Process Description:

Rollercoat manufacturers rubber covered rollers used in various industrial printing and other processes. There are two basic processes at the facility. The first is the production of aluminum cores which are covered with rubber, vulcanized and then precision ground to customers' specification. The second process is replacing the rubber coverings on steel cores provided by customers. Some rollers are covered with polyurethane instead of rubber, and the polyurethane is mixed and molded on site.

The aluminum cores are received already machined. The cores are lightly blasted in a blasting cabinet and an adhesive coating is applied by hand using a brush. The spent aluminum blasting media has been analyzed and found to be nonhazardous. The existing rubber on the steel cores is removed by a lathe, and the cores are then run through a belt abrader. The cores may then be further blasted with Black Beauty before the adhesive coating is hand applied. Mr. Lancaster estimated that this might occur twice a month.

Inspection Date: 08/13/2010

After the adhesive coating, rubber is applied using a lathe spindle. Raw rubber is extruded to the proper size and rolled onto the core. The piece is then wrapped in plastic and vulcanized in an autoclave. The vulcanized rubber coating is then precision ground to customers' specifications. The grinder, which uses water, is never drained. Water is added as needed, and the solids are cleaned out, drained and discarded into the trash. The drained water is placed back into the grinder.

Two part polyurethane is mixed on site in a small, batch reactor tank. The tank is equipped with a disposable liner. When the batch is complete, the residue is allowed to finish reacting, is then oven cured/ vulcanized and discarded into the trash. A silicon mold release agent is used in the molds. After the polyurethane pieces are removed from the molds, they are vulcanized, and precision ground to customers' specifications.

Hazardous waste is generated from cleaning activities associated with the adhesive coating operations. The facility has an approximately 20-gallon dip tank containing methyl ethyl ketone (MEK) for cleaning tools and parts. The dip tank is kept closed when not in use. Waste solvent is placed into a storage container located in the waste storage area. Used oil from equipment maintenance is also kept in the waste storage area, which is outside the facility under a roof and on concrete. At the time of the inspection, there was one 55-gallon container of used oil without secondary containment. The drum of used oil was otherwise being managed correctly, and containment was provided after the inspection. There were also two 55-gallon drums of hazardous waste. These containers were closed, labeled and dated 02-22-10 and 09-16-09. A log is kept noting when and how much waste is added to the drum, but it does not meet the logging requirements for weekly hazardous waste container inspections. Used oil and hazardous waste are both picked up by MCF. Spent lamps are occasionally generated and in the past were disposed of at Home Depot. At the time of the inspection, there were no regulated universal waste lamps on site.

Records were reviewed and found to be complete with the exception noted previously, namely, the facility's inspection logs do not meet requirements for SQGs. Emergency response arrangements have been made, and there have been no changes to the facility since then. A modified contingency plan is posted, and Mr. Lancaster is the designated emergency coordinator. Disposal and associated records are kept for at least three years.

New Potential Violations and Areas of Concern:

Checklist Independent Potential Violations and Areas of Concern

Type: Violation
 Rule: 62-710.401(6)
 Explanation: At the time of the inspection, the facility had one drum of used oil that was not provided with secondary containment. (corrected)
 Corrective Action: After the inspection, the facility began storing its used oil drum on a containment pallet.

Type: Area Of Concern
 Rule: 62-730.160(6)
 Explanation: The facility was not recording all the required information during logs of weekly inspections of the hazardous waste storage area. (corrected)
 Corrective Action: After the inspection, the facility was provided with a sample log containing the all the necessary information.

Inspection Date: 08/13/2010

Type: Area Of Concern

Rule: 403.708(1)(a)

Explanation: The facility occasionally uses Black Beauty blasting media to clean customers' steel cores and prepare them for the application of adhesive coating. The steel cores have already been run through the facility's belt abrader to remove the rubber covering. The Black Beauty blasting operations are performed outside in a concrete area with walls to keep in the media.

Corrective Action: Although at the time of the inspection, no spent blasting media was observed outside the concrete block walls or off the concrete pad, the Department recommends that Rollercoat implement controls that will ensure no solid waste Black Beauty is allowed to be deposited to the ground.

Type: Area Of Concern

Rule: 262.34(f)

Explanation: It was observed that one of the containers of hazardous waste on site was over 180 days and the other was just under 180 days.

Corrective Action: If Rollercoat's generation of hazardous waste exceeds 220-lbs in a calendar month, it must ship its hazardous waste at least every 180 days. Additionally, if the volume of hazardous waste on site exceeds 2,200-lbs (i.e., approximately five drums), it will subject to all SQG rules, including shipping at least every 180 days.

Summary of Potential Violations and Areas of Concern:

Potential Violations

Rule Number	Area	Date Cited	Explanation
Checklist Independent Violations 62-710.401(6)		08/13/2010	At the time of the inspection, the facility had one drum of used oil that was not provided with secondary containment. (corrected)

Areas of Concern

Rule Number	Area	Date Cited	Explanation
Checklist Independent Areas of Concern 62-730.160(6)		08/13/2010	The facility was not recording all the required information during logs of weekly inspections of the hazardous waste storage area. (corrected)
403.708(1)(a)		08/13/2010	The facility occasionally uses Black Beauty blasting media to clean customers' steel cores and prepare them for the application of adhesive coating. The steel cores have already been run through the facility's belt abrader to remove the rubber covering. The Black Beauty blasting operations are performed outside in a concrete area with walls to

Inspection Date: 08/13/2010

Rule Number	Area	Date Cited	Explanation
262.34(f)		08/13/2010	keep in the media. It was observed that one of the containers of hazardous waste on site was over 180 days and the other was just under 180 days.

Conclusion:

Based on the observations made during this inspection, Rollercoat was not in compliance with rules governing used oil generators. The facility has since returned to compliance.

DRAFT

Inspection Date: 08/13/2010

Signed:

A hazardous waste compliance inspection was conducted on this date, to determine your facility's compliance with applicable portions of Chapters 403 & 376, F.S., and Chapters 62-710, 62-730, 62-737, & 62-740 Florida Administrative Code (F.A.C.). Portions of the United States Environmental Protection Agency's Title 40 Code of Federal Regulations (C.F.R.) 260 - 279 have been adopted by reference in the state rules under Chapters 62-730 and 62-710, F.A.C. The above noted potential items of non-compliance were identified by the inspector(s).

This is not a formal enforcement action and may not be a complete listing of all items of non-compliance discovered during the inspection.

Kelly M. Honey

PRINCIPAL INSPECTOR NAME

Environmental Specialist III

PRINCIPAL INSPECTOR TITLE

Kelly M Honey

PRINCIPAL INSPECTOR SIGNATURE

FDEP

ORGANIZATION

9/21/2010

DATE

Joe Lancaster

REPRESENTATIVE NAME

President

REPRESENTATIVE TITLE

NO SIGNATURE

REPRESENTATIVE SIGNATURE

Rollercoat Industries, Inc.

ORGANIZATION

NOTE: By signing this document, the Site Representative only acknowledges receipt of this Inspection Report and is not admitting to the accuracy of any of the items identified by the Department as "Potential Violations" or areas of concern.

Stewart, Patricia

From: Stewart, Patricia
Sent: Wednesday, September 22, 2010 11:13 AM
To: 'boatwright@epchc.org'
Subject: Rollercoat FLD 982 174 104 Inspection Letter
Attachments: Rollercoat.pdf

Attached please find a copy of an inspection letter. This is the only copy you will receive.

NOTE: If you have any questions concerning the contents of this document, please contact the DEP Environmental Specialist III Kelly.Honey@dep.state.fl.us

Acrobat Reader 6.0 or greater is required to read this document. It is available for downloading at:
<http://www.adobe.com/products/acrobat/readstep.html>

Thank you,
Patricia Stewart
Senior Clerk
Department of Environmental Protection
Southwest District
13051 N. Telecom Parkway
Temple Terrace, Florida 33637
813-632-7600, X 356
FAX: 813-632-7664
Patricia.Stewart@dep.state.fl.us

Stewart, Patricia

From: Microsoft Exchange
To: 'boatwright@epchc.org'
Sent: Wednesday, September 22, 2010 11:13 AM
Subject: Relayed: Rollercoat FLD 982 174 104 Inspection Letter

Delivery to these recipients or distribution lists is complete, but delivery notification was not sent by the destination:

'boatwright@epchc.org'

Subject: Rollercoat FLD 982 174 104 Inspection Letter

Sent by Microsoft Exchange Server 2007

DRAFT



Florida Department of
Environmental Protection
Hazardous Waste Inspection Report

FACILITY INFORMATION:

Facility Name: Rollercoat Industries Inc
On-Site Inspection Start Date: 08/13/2010 **On-Site Inspection End Date:** 08/13/2010
ME ID#: 49808 **EPA ID#:** FLD982174104
Facility Street Address: 10135 E US Highway 92, Tampa, Florida 33610-5965
Contact Mailing Address: 10135 Us 92 E, Tampa, Florida 33610-0000
County Name: Hillsborough **Contact Phone:** (813) 621-4668

NOTIFIED AS:

SQG (100-1000 kg/month)

INSPECTION TYPE:

Routine Inspection for SQG (100-1000 kg/month) facility
Routine Inspection for Used Oil facility

INSPECTION PARTICIPANTS:

Principal Inspector: Kelly M. Honey, Environmental Specialist III
Other Participants: Joe Lancaster, President

LATITUDE / LONGITUDE: Lat 27° 59' 42.2426" / Long 82° 20' 0.5752"

SIC CODE: 3069 - Manufacturing - fabricated rubber products, nec

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Inspection Date: 08/13/2010

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Rule:	62-730.160(6)
Explanation:	The facility was not recording all the required information during logs of weekly inspections of the hazardous waste storage area. (corrected)
Corrective Action:	After the inspection, the facility was provided with a sample log containing the all the necessary information.

Inspection Date: 08/13/2010

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Type: Area Of Concern

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This is not a formal enforcement action and may not be a complete listing of all items of non-compliance discovered during the inspection.

Kelly M. Honey _____

PRINCIPAL INSPECTOR NAME

Environmental Specialist III _____

PRINCIPAL INSPECTOR TITLE

Kelly M Honey

PRINCIPAL INSPECTOR SIGNATURE

FDEP _____

ORGANIZATION

9/21/2010 _____

DATE

Joe Lancaster _____

REPRESENTATIVE NAME

President _____

REPRESENTATIVE TITLE

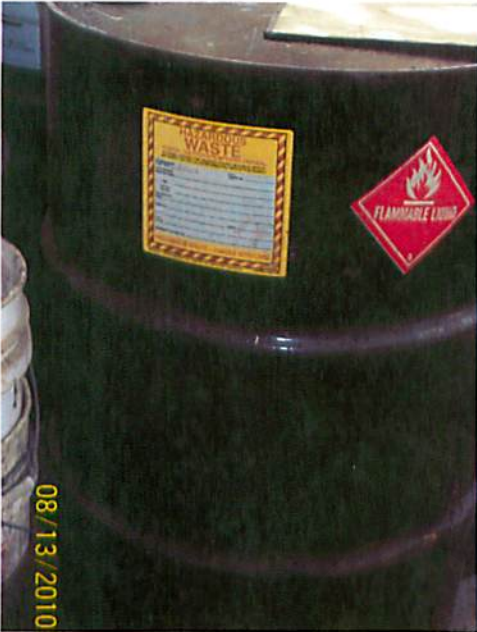
NO SIGNATURE _____

REPRESENTATIVE SIGNATURE

Rollercoat Industries, Inc. _____

ORGANIZATION

NOTE: By signing this document, the Site Representative only acknowledges receipt of this Inspection Report and is not admitting to the accuracy of any of the items identified by the Department as "Potential Violations" or areas of concern.



Site 127

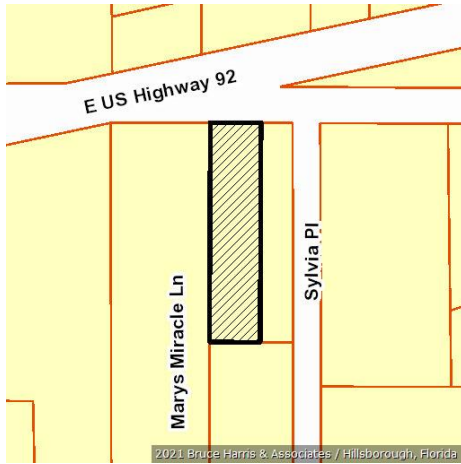
DRAFT



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065080-0200



Owner Information

Owner Name	ANTHONY NELSON GORDON JR ANTHONY CAROLINE
Mailing Address	10425 TANNER RD TAMPA, FL 33610-9674
Site Address	10205 E 92 HWY, TAMPA
PIN	U-05-29-20-ZZZ-000002-37330.0
Folio	065080-0200
Prior PIN	
Prior Folio	065080-0000
Tax District	U - UNINCORPORATED
Property Use	2754 AUTO REPAIR D
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$187,911	\$176,320	\$0	\$176,320
Public Schools	\$187,911	\$187,911	\$0	\$187,911
Municipal	\$187,911	\$176,320	\$0	\$176,320
Other Districts	\$187,911	\$176,320	\$0	\$176,320

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
4212 / 0857		10	1983	WD	Unqualified	Improved	\$100
3492 / 0017		03	1979	WD	Unqualified	Improved	\$100

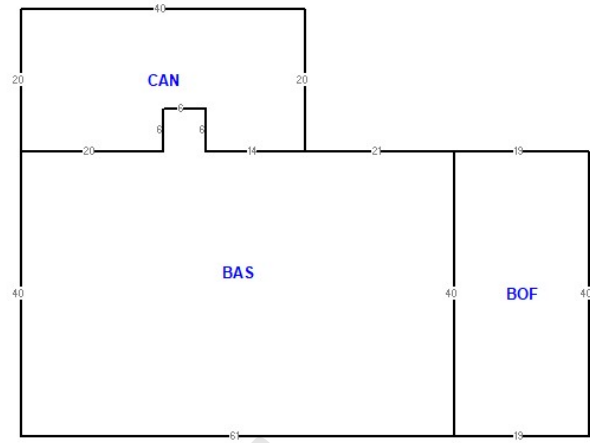
Building Information

Building 1

Type	65 AUTO SERVICE/REPAIR GARAGE
Year Built	1981

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	2	Fair
Stories	1.0	
Units	1.0	
Wall Height	16.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BOF	760	760	\$24,935
BAS	2,476	2,476	\$50,772
CAN	764		\$4,696
Totals	4,000	3,236	\$80,403

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0620	UTILITY WOOD	0	2002	40	18	720.00	\$7,862
0260	FENCE CL6	0	1981	0	0	260.00	\$2,054
0651	SHED NOT PERMANENTLY AFFIXED	1	2007	0	0	1.00	\$0
0060	CONCRETE PAVEMENT	1	2007	0	0	140.00	\$320

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	CG	0.0	0.0	SF SQUARE FEET	32,424.00	\$97,272

Legal Description

5-29-20 AND 32-28-20 W 1/2 OF E 1/4 OF NE 1/4 OF NW 1/4 OF NW 1/4 OF SEC 5-29-20 LESS S 263.2 FT THEREOF...THAT PART OF W 3/4 OF E 1/4 OF SW 1/4 OF SW 1/4 LYING S OF SR 600 IN SEC 32-28-20



Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065080-0300



Owner Information

Owner Name	ANTHONY NELSON GORDON JR ANTHONY CAROLINE
Mailing Address	10425 TANNER RD TAMPA, FL 33610-9674
Site Address	10205 E 92 HWY, TAMPA
PIN	U-05-29-20-ZZZ-000002-37340.0
Folio	065080-0300
Prior PIN	
Prior Folio	065080-0200
Tax District	U - UNINCORPORATED
Property Use	1000 VACANT COMM
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$98,349	\$88,590	\$0	\$88,590
Public Schools	\$98,349	\$98,349	\$0	\$98,349
Municipal	\$98,349	\$88,590	\$0	\$88,590
Other Districts	\$98,349	\$88,590	\$0	\$88,590

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
4597 / 0981		07	1985	FD	Unqualified	Vacant	\$5,400
4212 / 0855		11	1983	WD	Unqualified	Vacant	\$100

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0260	FENCE CL6	0	1981	0	0	220.00	\$2,086
0630	UTILITY METAL	0	2019	10	12	120.00	\$1,991
0651	SHED NOT PERMANENTLY AFFIXED	0	2011	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TF38	US 92 West 1	CG	0.0	0.0	SF SQUARE FEET	31,424.00	\$94,272

Legal Description

5-29-20 AND 32-28-20 E 1/2 OF E 1/4 OF NE 1/4 OF NW 1/4 OF NW 1/4 LESS S 263.2 FT THEREOF OF SEC 5-29-20....THAT PART OF E 1/4 OF E 1/4 OF SW 1/4 OF SW 1/4 LYING S OF SR 600 IN SEC 32-28-20

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
110172	Hillsborough	I - Inactive - Does Not Generate Waste			2904075	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Bankston Motor Homes Inc	10205 E Hillsborough Ave Tampa, FL 33610	10205 Hillsborough Tampa, 33610	Louie B Johnson	Mgr	(813) 620-1818				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
3716 - Manufacturing - Motor Homes	- Unverified Generator Status	0	V - Verification By On-Site Visit	3/2/1993	Holmes	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:02:20 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 128

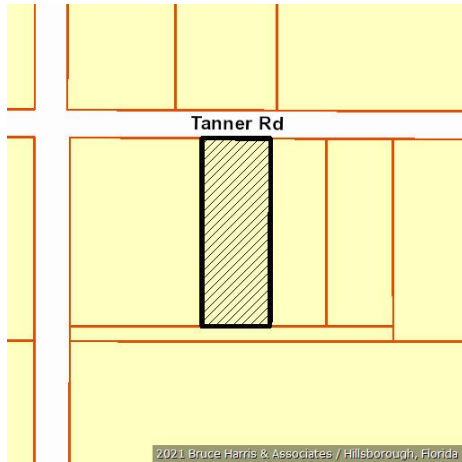
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafil.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065119-0000



Owner Information

Owner Name	KEENE RUSSELL KEENE DIANA O
Mailing Address	10207 TANNER RD TAMPA, FL 33610-9670
Site Address	10209 TANNER RD, TAMPA
PIN	U-05-29-20-ZZZ-000002-37800.0
Folio	065119-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	U - UNINCORPORATED
Property Use	0000 VACANT RESIDENTIAL
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$26,452	\$26,396	\$0	\$26,396
Public Schools	\$26,452	\$26,452	\$0	\$26,452
Municipal	\$26,452	\$26,396	\$0	\$26,396
Other Districts	\$26,452	\$26,396	\$0	\$26,396

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
13784 / 0749	2004161656	04	2004	WD	Qualified	Improved	\$46,500
13709 / 1037	2004128187	03	2004	WD	Unqualified	Improved	\$29,000
13088 / 0779	2003380817	08	2003	CT	Unqualified	Improved	\$11,000
9479 / 0280	99043557	02	1999	QC	Unqualified	Improved	\$100
3310 / 0403		12	1977		Qualified	Improved	\$21,000

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0651	SHED NOT PERMANENTLY AFFIXED	0	1960	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994A	Acreage Class 4	AR	100.00	305.00	AC ACREAGE	0.70	\$26,452

Legal Description

E 100 FT OF W 325 FT OF E 1/2 OF N 1/4 OF SW 1/4 OF NW 1/4 LESS N 25 FT---TRACT BEG AT SE COR OF E 100 FT OF W 325 FT OF N 1/4 OF E 1/2 OF SW 1/4 OF NW 1/4 RUN N 2.4 FT FOR POB THN E 1.0 FT N 1.0 FT W 1.0 FT AND S 1.0 FT TO POB

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
47621	Hillsborough	O - Out Of Business			2916252	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Scott Montney Forklift Repair	10209 Tanner Rd Tampa, FL 33610	10209 Tanner Tampa, 33610	Unknown	Unknown	(813) 272-5788				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7539 - Services - Automotive Repair Shops, Nec	- Unverified Generator Status	0	P - Verification By Phone Call	12/22/2000	Gauthier	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/30/2005 6:33:59 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 129

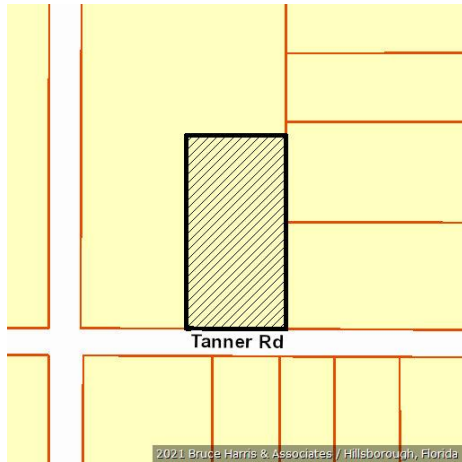
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Bob Henriquez Hillsborough County Property Appraiser

https://www.hcpafl.org/
15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065085-0100



Owner Information

Owner Name	KEENE DIANA L
Mailing Address	10210 TANNER RD TAMPA, FL 33610-9669
Site Address	10210 TANNER RD, TAMPA
PIN	U-05-29-20-ZZZ-000002-37440.0
Folio	065085-0100
Prior PIN	
Prior Folio	065085-0000
Tax District	U - UNINCORPORATED
Property Use	0000 VACANT RESIDENTIAL
Plat Book/Page	/
Neighborhood	218002.00 By-Pass Canal Area W of I-75 & E of 301
Subdivision	ZZZ UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$76,858	\$76,858	\$0	\$76,858
Public Schools	\$76,858	\$76,858	\$0	\$76,858
Municipal	\$76,858	\$76,858	\$0	\$76,858
Other Districts	\$76,858	\$76,858	\$0	\$76,858

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
	2018354441	08	2018	DD	Unqualified	Vacant	\$100
4124 / 0456		06	1983	QC	Unqualified	Improved	\$100

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0630	UTILITY METAL	0	1985	0	0	3,075.00	\$30,012
0651	SHED NOT PERMANENTLY AFFIXED	0	1985	0	0	1.00	\$0
0470	OPEN SHED	0	1985	16	3	48.00	\$225
0630	UTILITY METAL	0	1996	40	16	640.00	\$6,621
0651	SHED NOT PERMANENTLY AFFIXED	0	1975	0	0	1.00	\$0

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994A	Acreege Class 4	ASC-1	150.00	290.00	AC ACREAGE	1.00	\$40,000

Legal Description

TRACT BEG 349.6 FT S AND 840 FT E OF NW 1/4 COR OF S 3/4 OF W 1/2 OF NW 1/4 AND RUN E 150 FT S 290.4 FT W 150 FT N 290.4 FT TO POB

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
36300	Hillsborough	O - Out Of Business			2900661	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
R & R Keene	10210 Tanner Rd Tampa, FL 33610	10210 Tanner Tampa, 33610	Russell Keene	Co-Owner	(813) 626- 6089				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
3444 - Manufacturing - Sheet Metal Work	- Unverified Generator Status	0	P - Verification By Phone Call	12/26/1996	Cain	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
3		3/30/2005 6:28:16 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/ Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									

Site 130

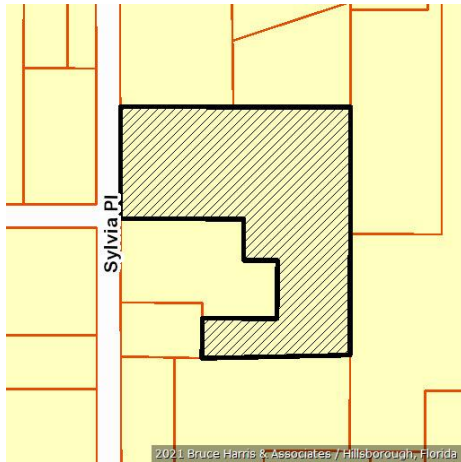
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Bob Henriquez Hillsborough County Property Appraiser

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15th Floor County Ctr.
601 E. Kennedy Blvd, Tampa, Florida 33602-4932
Ph: (813) 272-6100

Folio: 065065-0000



Owner Information

Owner Name MCNAIR JANET LORETTA
FOX CAROL ALDA
TANNER DALE LUTHER

Mailing Address 5335 SYLVIA PL
TAMPA, FL 33610-9274

Site Address 5335 SYLVIA PL, TAMPA

PIN U-05-29-20-ZZZ-000002-37200.0

Folio 065065-0000

Prior PIN

Prior Folio 000000-0000

Tax District U - UNINCORPORATED

Property Use 6000 PASTURE

Plat Book/Page /

Neighborhood 218002.00 | By-Pass Canal Area W of I-75 & E of 301
Subdivision ZZZ | UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$273,982	\$208,474	\$0	\$208,474
Public Schools	\$273,982	\$208,474	\$0	\$208,474
Municipal	\$273,982	\$208,474	\$0	\$208,474
Other Districts	\$273,982	\$208,474	\$0	\$208,474

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
24906 / 0171	2017166645	05	2017	QC	Unqualified	Improved	\$100
20198 / 0125	2010385831	11	2010	QC	Unqualified	Improved	\$100
3751 / 0697		12	1980	WD	Unqualified	Improved	\$100

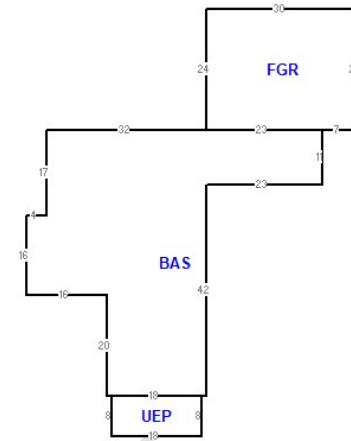
Building Information

Building 1

Type	01 SINGLE FAMILY
Year Built	1940

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	1	Minimum/Wall Board/Corr. Mtl
Exterior Wall	5	Concrete Block
Roof Structure	3	Gable or Hip
Roof Cover	1	Minimum
Interior Walls	2	Wall Board/Wood Wall
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	4	Basic 1-Story
Condition	3	Average
Bedrooms	2.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

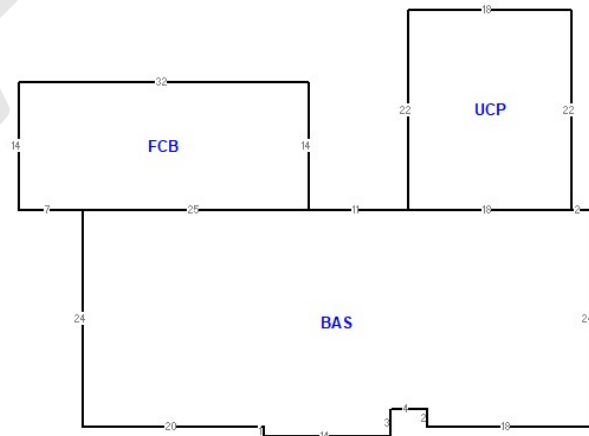
Area Type	Gross Area	Heated Area	Depreciated Value
FGR	720		\$13,539
BAS	1,773	1,773	\$66,680
UEP	144		\$3,234
Totals	2,637	1,773	\$83,453

Building 2

Type	00 NOT CALCULATING
Year Built	2009

Building 2 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Condition	3	Average
Architectural Style	19	Basic Mobile Home
Stories	1.0	
Bedrooms	4.0	
Bathrooms	2.0	
Units	1.0	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,350	1,350	\$0
UCP	396		\$0
FCB	448	448	\$0
Totals	2,194	1,798	\$

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0640	UTILITY CB	2	1980	8	9	72.00	\$685
0520	CANOPY	1	1990	0	0	540.00	\$2,511
0620	UTILITY WOOD	1	2014	0	0	960.00	\$4,193
0651	SHED NOT PERMANENTLY AFFIXED	1	2014	0	0	2.00	\$0
0651	SHED NOT PERMANENTLY AFFIXED	2	2015	0	0	3.00	\$0
0620	UTILITY WOOD	2	2017	14	12	168.00	\$4,174
0460	CARPORT	2	2017	30	14	420.00	\$5,618

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
994A	Acreage Class 4	PD	0.0	0.0	AC ACREAGE	3.44	\$107,203
6110	IMPROVED PASTURE	PD	0.0	0.0	AC ACREAGE	2.12	\$636

Legal Description

COM SW COR NE 1/4 OF NW 1/4 THN S 89 DEG 44 MIN 20 SEC E 104 FT ALG SLY BDRY LN OF SD NE 1/4 OF NW 1/4 THN N 00 DEG 00 MIN 25 SEC E 397.16 FT THN S 89 DEG 31 MIN 10 SEC E 53 FT TO POB THN S 89 DEG 46 MIN 35 SEC E 309.76 FT THN N 00 DEG 00 MIN 42 SEC E 466.78 THN S 89 DEG 43 MIN 57 SEC W 445.10 FT TO PT ON ELY R/W LN OF SYLVIA PLACE THN S 00 DEG 00 MIN 20 SEC W 200.08 FT ALG SD ELY R/W LN THN S 89 DEG 43 MIN 52 SEC E 210.52 FT THN S 00 DEG 03 MIN 55 SEC W 79.89 FT THN S 89 DEG 41 MIN 51 SEC E 64.04 FT THN S 00 DEG 00 MIN 43 SEC W 112.52 THN N 89 DEG 50 MIN 46 SEC W 139.3 FT THN S 00 DEG 01 MIN 26 SEC E 74.21 FT TO POB

DRAFT

Facility Detailed List Report

Number of Facilities = 1

Facility Info									
Facility ID	County	Status	EPA ID	Other ID	Old Fac. ID	Follow Up			
135854	Hillsborough	O - Out Of Business			2923359	N - None Needed			
Facility Name	Mailing Address	Location Address	Contact	Title	Phone	E-mail Address			
Frank L Casons Pressure Cleaning	5331 Sylvia Pl Tampa, FL 33610	5331 Sylvia Tampa, 33610	Unknown	Unknown	(813) 272-5960				
SIC Code	Gen Stat	Total HW Disposal	Data Type	Date	Org Contact	Org Code			
7389 - Services - Business Services, Nec	- Unverified Generator Status	0	P - Verification By Phone Call	2/25/2005	December Project	29 - Hillsborough			
Full-Time Employees		Facility Updated Date							
		3/16/2006 5:44:30 PM							
Waste Info									
Waste Type	Storage Method	Disposal Method	Mo. (Units)	Max Mo. (Lbs)	Lbs/Year	Disposal Location	Ques Storage	Ques Disposal	RCRA Hazardous
Facility has no corresponding waste information.									
Activity Info									
Activity Type	Description	Activity Date	Return To Compliance Date						
Facility has no corresponding activity information.									