

FINAL

**HISTORIC RESOURCES UPDATE SURVEY
TECHNICAL MEMORANDUM**

**STATE ROAD 50 (SR 50) [CORTEZ BOULEVARD] FROM
LOCKHART ROAD TO US 301 (SR 35/TREIMAN BOULEVARD),
HERNANDO COUNTY, FLORIDA**

Work Program Item Segment Number: 416732-2

Prepared for:

**Florida Department of Transportation
District Seven
11201 North McKinley Drive
Tampa, Florida 33612-6456**

February 2012

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District Seven
11201 North McKinley Drive
Tampa, Florida 33612-6456**

Prepared by:

**Archaeological Consultants, Inc.
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**ATKINS
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February 2012

NOTE: CHANGE IN PROJECT TERMINI**JANUARY 2014**

The Florida Department of Transportation (FDOT), District Seven, conducted a Project Development and Environment (PD&E) Study to determine the engineering and environmental effects of the proposed improvement to State Road 50 (SR 50) [Cortez Boulevard] from Lockhart Road to US 301 (SR 35/Treiman Boulevard) in Hernando County, Florida. The Preferred Alternative involves widening SR 50 (Cortez Boulevard) from four to six lanes from west of I-75 to US 98 (SR 700/McKethan Road), and from two to four lanes from US 98 (SR 700/McKethan Road) to US 301 (SR 35/Treiman Boulevard).

Initially, there were no plans for federal funding of the project since it was developer-driven. The original project was to result in approval of a State Environmental Impact Report (SEIR) with study limits from Lockhart Road (west of I-75) to US 301 (SR 700/McKethan Road). However, the slowed economy has delayed the initiation of the planned developments, so developers will not be making roadway improvements. In addition, after the September 27, 2012 Public Hearing, the Hernando County Metropolitan Planning Organization (MPO) elevated this project in its list of priorities. As a result, FDOT is seeking approval from the Federal Highway Administration in order to qualify the project for federal funding. Therefore, in order to maintain logical termini, the western project limit was revised from Lockhart Road to west of I-75.

The portion of SR 50 (Cortez Boulevard) in the area of the I-75 interchange (from station 968+50 to station 1027+00) is exempt from this study, as it was evaluated under the I-75 PD&E Study (FPID 411014-1). The portion of SR 50 (Cortez Boulevard) west of I-75 that is not included in the I-75 PD&E Study will be evaluated under a future PD&E study from SR 50 from Brooksville Bypass/SR 50A (Eastern Intersection)/East Jefferson Street to I-75, currently programmed for fiscal year 2013/2014. Therefore, the proposed western study limit is now identified as west of I-75 (see Project Location Map).

Consequently, please note that supporting documents, including Traffic Report, Noise Study Report, Historic Resources Update Survey Technical Memorandum, Air Quality Technical Memorandum, Comments and Coordination Report, and Preliminary Stormwater Management Facility Report evaluated the original study limits.

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1. INTRODUCTION

A historic structures update survey of State Road 50 (SR 50) [Cortez Boulevard] from Lockhart Road to US 301 (SR 35/Treiman Blvd) in Hernando County, Florida was performed by Archaeological Consultants, Inc. (ACI) in January 2012. This investigation is an update of the historical structures survey element of the cultural resource assessment survey (CRAS) of SR 50 (Cortez Boulevard) from SR 50/50A to US 301 (SR 35/Treiman Boulevard) performed by George Ballo of the Florida Department of Transportation's (FDOT) Central Environmental Management Office in 1989 (Ballo 1989). Since a systematic archaeological survey of the project corridor was conducted by Ballo, no additional archaeological survey was required as part of this update effort. The purpose of the current study was to locate and identify any historic resources located within the project area of potential effect (APE) and to assess their significance in terms of eligibility for listing in the National Register of Historic Places (NRHP). This work was conducted in compliance with the provisions of the National Historic Preservation Act of 1966 (Public Law 89-665), as amended, and the implementing regulations 36 CFR 800, as well as the provisions contained in the revised Chapter 267, *Florida Statutes (FS)*.

The SR 50 (Cortez Boulevard) project study limits, as shown in **Figure 1**, extend approximately 6.3 miles. Interstate 75 (I-75) ramp terminal intersections and approaching segments are exempted out of this study since those improvements were analyzed as part of the I-75 PD&E Study, Work Program Item Segment No: 411014-1. The project is located in Section 36 of Township 22 South, Range 20 East; Sections 31, 32, and 33 of Township 22 South, Range 21 East; and Sections 1-6 and 10-12 of Township 23 South, Range 21 East (United States Geological Survey [USGS] 1954, 1958).

SR 50 (Cortez Boulevard) is a four-lane roadway from Lockhart Road to US 98 (SR 700/McKethan Road) and a two-lane undivided roadway from US 98 (SR 700/McKethan Road) to US 301 (SR 35/Treiman Boulevard). The purpose of the proposed improvement project is to widen SR 50 (Cortez Boulevard) from a four- to six-lane divided facility from Lockhart Road to US 98 (SR 700/McKethan Road) and from a two-lane undivided to a four-lane divided facility from US 98 (SR 700/McKethan Road) to US 301 (SR 35/Treiman Boulevard). The widening will accommodate increases in traffic due to growth along the project corridor and the surrounding areas. Therefore, improvements to existing parallel facilities or development of a new facility on new alignment were not considered. One Build Alternative was evaluated with a different typical section for each project segment along SR 50 (Cortez Boulevard). These typical sections all fit within the existing 200 feet of ROW. A graphic and description for each typical section is included in Appendix B. Additional improvements are proposed for ½



Figure 1. Location of the SR 50 (Cortez Boulevard) project area.

**SR 50 (Cortez Blvd)
From Lockhart Road to
US 301 (Treiman Blvd.)
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mile along US 98 (SR 700/McKethan Road) south of SR 50 (Cortez Boulevard) and ½ mile along US 301 (SR 35/Treiman Boulevard), both north and south of SR 50 (Cortez Boulevard), to provide for future turn lanes from US 98 (SR 700/McKethan Road) and US 301 (SR 35/Treiman Boulevard). Some ROW will be required along US 98 (SR 700/McKethan Road) and US 301 (SR 35/Treiman Boulevard). The project APE for the historical survey extended approximately 330 feet (100 meters) from the existing and proposed right-of-way for SR 50 (Cortez Boulevard), US 301 (SR 35/Treiman Boulevard), and US 98 (SR 700/McKethan Road).

Work included background research and a historical/architectural field survey. The preliminary background research indicated that no NRHP-listed or eligible historic resources are located within the SR 50 (Cortez Boulevard) project APE. Sixteen historic resources, including 15 historic buildings (8HE679-693) and one resource group (8HE678) were newly identified, recorded, and evaluated. These include Masonry Vernacular, Frame Vernacular, and Modern style residential and commercial buildings constructed between ca. 1956 and 1962. None is considered to be potentially eligible for listing in the NRHP due to their commonality of style, and lack of significant historical associations.

2. BACKGROUND RESEARCH

Field survey was preceded by background research which included an examination of the ETDM Summary Report for Project #3391 for the Programming Screen published on January 9, 2012 (FDOT 2012), NRHP listings, a search of the Florida Master Site File (FMSF), and a review of previous studies along and adjacent to this segment of SR 50 (Cortez Boulevard) (ACI 1993, 1995, 2006, 2010, 2011; Ballo 1989; Newman and Vojnovski 2002, Mayo et al. 2007; Dean 2009; HCDP 1990; Lamb 2001; Quinn 2005). In the ETDM Summary Report, FDOT evaluated comments from the State Historic Preservation Officer (SHPO) at the Florida Department of State, the Seminole Tribe, and the Southwest Florida Water Management District (SWFWMD) and recommended a Degree of Effect of Moderate; this included consideration of archaeological resources (FDOT 2012). As a result, no previously recorded historic resources, including those listed or determined eligible for listing in the NRHP, were identified within or proximate to the SR 50 (Cortez Boulevard) project APE.

A review of the Brooksville SE and the St. Catherine quadrangle maps (USGS 1954, 1958 respectively), historic aerials (Publication of Archival Library and Museum Materials [PALMM] 1960), and the Hernando County Property Appraiser records indicated a potential for 16 historic resources (pre-1962).

The project APE generally covers the area of Ridge Manor, a community which developed between ca. 1956 and 1962. The concept for Ridge Manor began when northerners James Earl and Frances G. Miller started looking for land to develop after traveling in Florida during the winter. They decided on 3,700 acres in eastern Hernando County, characterized by oaks, pines, and five small lakes. The first 1,000 acres, located

at the junction of US 301 (SR 35/Treiman Boulevard) and SR 50 (Cortez Boulevard) (within the project area) was purchased from Ruth E. High in 1953. The additional 2,700 acres along the Withlacoochee River, purchased two years later, are the site of Ridge Manor Golf and Country Club, situated north of SR 50 (Cortez Boulevard) and west of US 301 (SR 35/Treiman Boulevard). Mr. Miller had grand plans for a new town called Ridge Manor Community with a projected future population of 15,000 to 20,000. By 1959, considerable land development and construction had taken place, including several miles of paved roads, a water system, a small shopping center, two churches, a community center, apartments, a motel, the first nine holes of the golf course, and enough homes for several hundred families (McKethan 1989, Kauffmann 1989). In addition, a 3,000 acre adjunct industrial park was constructed approximately 2.5 miles to the south in Lacochee. In 1959, the Millers sold 2,000 acres to a Miami development company who subdivided and sold the property now known as Ridge Manor Estates (McKethan 1989). Mr. Miller died the next year of a heart attack and his wife and son continued the operations at their company, Ridge Manor Properties, until they sold its major interests in 1962 (McKethan 1989). Despite the creation of newer subdivisions, Ridge Manor continues to exist as a rural community.

Crossing the SR 50 (Cortez Boulevard) project APE is the Withlacoochee State Trail, a 46-mile paved hiking/biking trail between Trilby at the south and Dunellon to the north. The trail was constructed in 1989 as part of the rails-to-trails program of the Florida Department of Environmental Protection, Division of Recreation and Parks. The recreational trail follows the former Atlantic Coast Line Railroad (CSX RR) corridor, but the railroad bed is no longer visible (**Photo 1**). The trail is located approximately 400 feet east of the intersection of Kettering Road and SR 50 (Cortez Boulevard). As contained within the project APE, it is an elevated truss bridge that carries the path over SR 50 (Cortez Boulevard).



Photo 1. Looking west from SR 50 (Cortez Boulevard) at CSX Railroad segment.

3. METHODS

Historical/architectural field survey methods consisted of the identification of all potential historic resources (50 years of age or older) located within the project APE. For each property estimated to have been constructed prior to 1962, photographs were taken, and information needed for the completion of FMSF forms was gathered. In addition to architectural descriptions, each historic resource was reviewed to assess style, historic context, condition, and potential NRHP eligibility. Historical records and maps held at the Brooksville Historical Train Depot were also reviewed.

4. SURVEY RESULTS

Sixteen historic resources, including 15 buildings (8HE679-693) and one resource group (8HE678), were identified within the SR 50 (Cortez Boulevard) project APE (Table 1; Figures 2 and 3). Descriptions follow, and copies of the FMSF forms are contained in Appendix A.

Table 1. Newly Recorded Historic Resources located within the SR 50 (Cortez Boulevard) project APE.

FMSF No.	Address	Style*	Date	NRHP
8HE679	29367 Cortez Boulevard	FV	1962	Not eligible
8HE680	29373 Cortez Boulevard	MV	1957	Not eligible
8HE681	33297 Cortez Boulevard	MV	1960	Not eligible
8HE682	33325 Cortez Boulevard	MV	1958	Not eligible
8HE683	33345 Cortez Boulevard	MV	1956	Not eligible
8HE684	33359 Cortez Boulevard	MV	1959	Not eligible
8HE685	33555 Westwood Drive	MV	1957	Not eligible
8HE686	34240 Cortez Boulevard	MV	1962	Not eligible
8HE687	34415 Cortez Boulevard	FV	1956	Not eligible
8HE688	5251 Tree Lane	MV	1957	Not eligible
8HE678	Ridge Manor Garden Apts. 34472 Cortez N Boulevard	MV	ca. 1959	Not eligible
8HE689	34472 Cortez Boulevard, Building 1	MV	1959	Not eligible
8HE690	34472 Cortez Boulevard, Building 2	MV	1959	Not eligible
8HE691	34486 Cortez Boulevard	MV	1960	Not eligible
8HE692	34508 Cortez Boulevard	Modern	1960	Not eligible
8HE693	Miller Lighthouse Lounge; 5025 Treiman Boulevard	MV	1960	Not eligible

*FV= Frame Vernacular; MV= Masonry Vernacular; yellow shading indicates resource group

In general, the newly identified resources are associated with the initial development of Ridge Manor, circa 1956 to 1962. Most of the residential and commercial structures were built in the Masonry Vernacular style, and are undistinguished by their architectural design. Also, research revealed no significant historical associations.

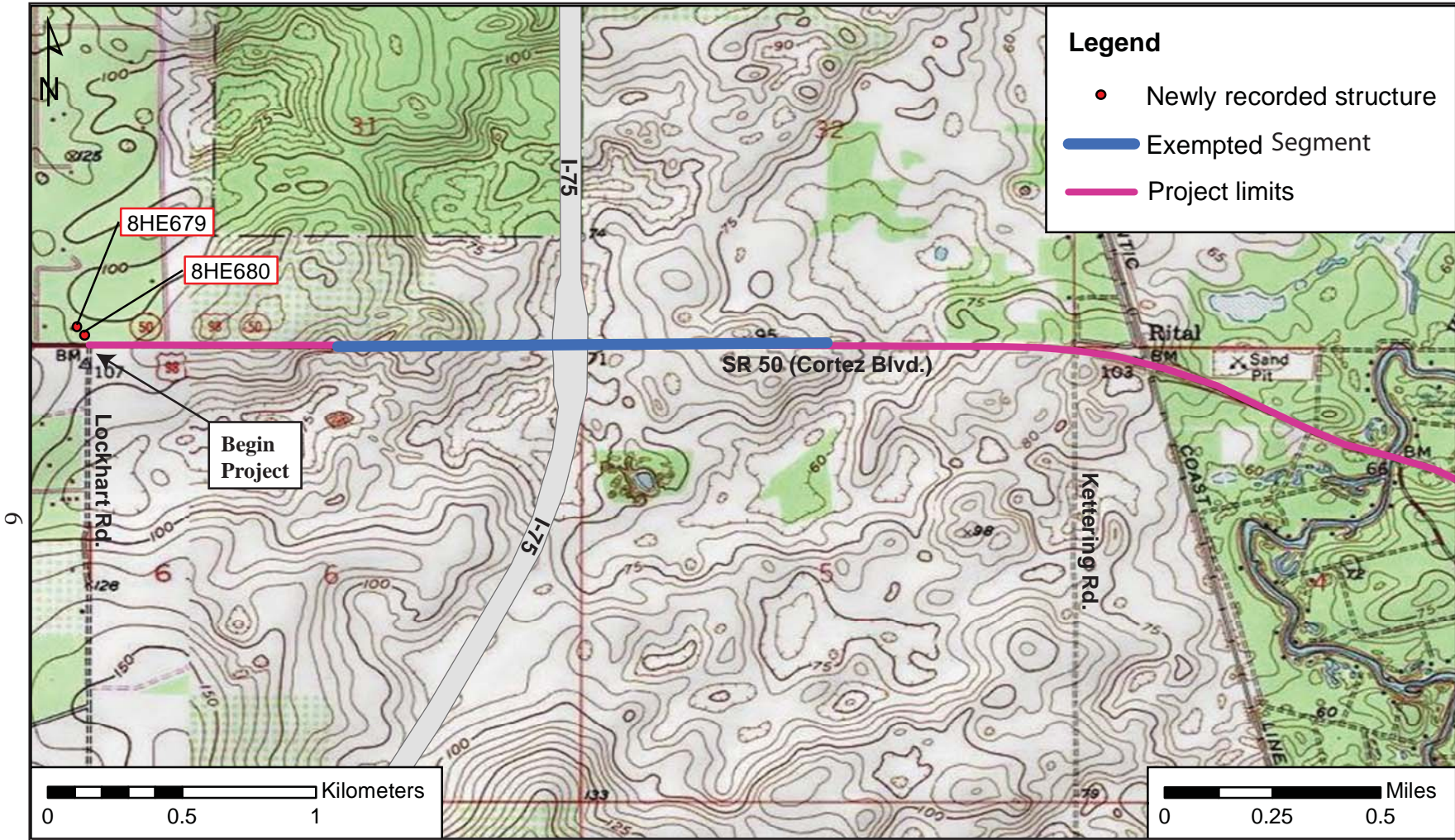


Figure 2. Environmental setting and location of the newly recorded historic resources within the SR 50 (Cortez Boulevard) project APE (National Geographic Society 2011- USA Topo Maps).

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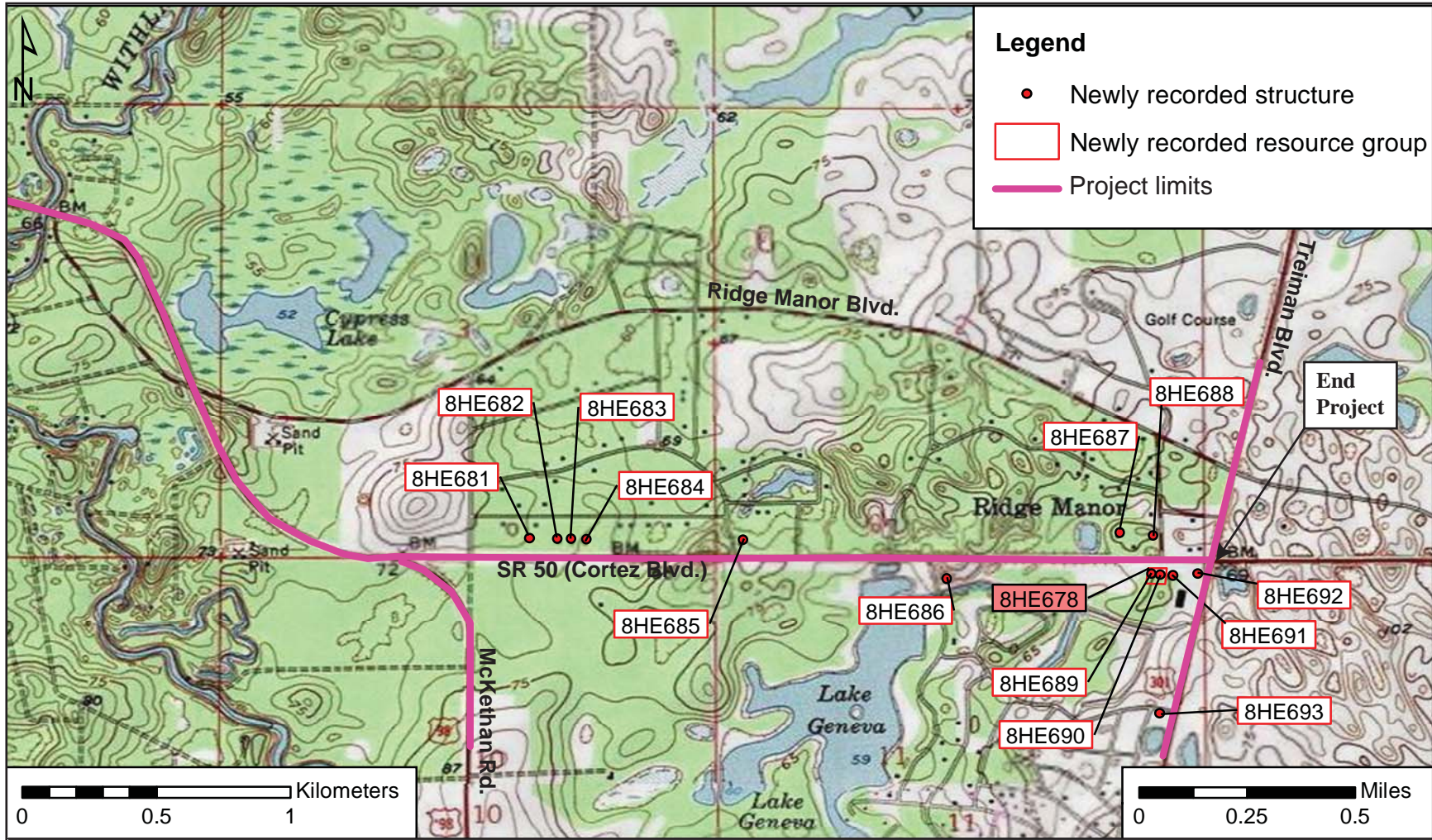


Figure 3. Environmental setting and location of the newly recorded historic resources within the SR 50 (Cortez Boulevard) project APE (National Geographic Society 2011- USA Topo Maps).

SR 50 (Cortez Blvd)
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Photo 2. South elevation of 29367 Cortez Boulevard, 8HE679.

8HE679: The Frame Vernacular style residence at 29367 Cortez Boulevard was constructed ca. 1962 (**Photo 2**). The wood frame walls are supported by a continuous concrete block foundation and clad in vinyl siding (ca. 1990). The gable roof is covered in asphalt shingles and the windows are three- and four-light awning. Other architectural features include fixed window shutters and scroll posts. This is a typical example of the Frame Vernacular style commonly found throughout Hernando County. Furthermore, the building does not exhibit any unique design features and research did not reveal any significant historical associations. Therefore, 8HE679 is not considered potentially eligible for listing in the NRHP.



Photo 3. South and west elevations of 29373 Cortez Boulevard, 8HE680.

8HE680: The Masonry Vernacular style residence at 29373 Cortez Boulevard was constructed ca. 1957 (**Photo 3**). The slab foundation supports the concrete block walls that are clad in stucco and topped with a gable roof covered with asphalt shingles. The windows are 2/2 SHS with storm windows and awnings. The building features a gable vent, awnings over the main entrance, a wood swing door on the south elevation with a two-light storm door, and a ca. 1980 carport addition. A utility shed is to the northwest. This is a typical example of the Masonry Vernacular style commonly found throughout Hernando County. Furthermore, the building did not exhibit any unique design features and research did not reveal any significant historical associations. Therefore, 8HE680 is not considered potentially eligible for listing in the NRHP.



Photo 4. South and east elevations of 33297 Cortez Boulevard, 8HE681.

8HE681: The Masonry Vernacular style residence at 33297 Cortez Boulevard was constructed ca. 1960 (**Photo 4**). The concrete block walls are supported by a slab and continuous concrete block foundation and the gable roof is covered with asphalt shingles. The windows include four- and five-light awning, and one-light fixed with four- or five-light awning. Other features include window sills, gable vents, foundation vents, wood siding in the gables, awnings over the windows, and scroll posts. This is a typical example of a Masonry Vernacular style residence found throughout Hernando County. Furthermore, alterations diminish its integrity and research did not reveal any significant historical associations. Therefore, 8HE681 is not considered potentially eligible for listing in the NRHP.



Photo 5. South elevation of 33325 Cortez Boulevard, 8HE682.

8HE682: The Masonry Vernacular style residence at 33325 Cortez Boulevard was constructed ca. 1958 (**Photo 5**). The slab foundation supports the concrete block walls that are topped with a gable roof covered with asphalt shingles. The carport was enclosed ca. 1990 and an addition was built on the east elevation. The replacement windows (ca. 1970; 1990) include three- and five-light awning, and 1/1 SHS which are 6/6 simulated-divided-light. Other window features include fixed window shutters and awnings. The main entrance is a nine-light, two-panel wood swing door on the south elevation. This is a typical example of a Masonry Vernacular style residence found throughout Hernando County. Furthermore, alterations diminish its integrity and research did not reveal any significant historical associations. Therefore, 8HE682 is not considered potentially eligible for listing in the NRHP.



Photo 6. South elevation of 33345 Cortez Boulevard, 8HE683.

8HE683: The Masonry Vernacular style residence at 33345 Cortez Boulevard was constructed ca. 1956 (**Photo 6**). The concrete block walls rest on a slab foundation. The residence is topped with a gable roof covered with asphalt shingles (ca. 2000) and contains a brick chimney near the ridge. The windows include jalousie and one-light fixed (ca. 1980) with window sills and fixed window shutters. An incised porch is on the south elevation and contains the main entrance, a four-light, four-panel vinyl swing door (ca. 2000). Other alterations include an enclosed carport (ca. 1980). Given the alterations, the lack of historical significance in the available data, and that this is an example of a residential house common throughout Hernando County, it appears that 8HE683 is not considered potentially eligible for listing in the NRHP.



Photo 7. South elevation of 33359 Cortez Boulevard, 8HE684.

8HE684: The Masonry Vernacular style residence at 33359 Cortez Boulevard was constructed ca. 1959 (**Photo 7**). The slab foundation supports the concrete block walls. The residence is topped by a gable roof covered with asphalt shingles and a brick chimney near the ridge. The windows are three-light awning and two-light sliding (ca. 1990). A one-light vinyl swing door is on the main entrance. The carport was enclosed ca. 1980 and an addition was constructed on the east elevation. Other features include lattice posts and awnings over the windows. Given the extent of alterations to this residence, its similarity to others in Hernando County, and the lack of historical significance in the available data, it appears that 8HE684 does not appear eligible for listing in the NRHP.



Photo 8. South and east elevations of 33555 Westwood Drive, 8HE685.

8HE685: The Masonry Vernacular style residence at 33555 Westwood Drive was constructed ca. 1957 (**Photo 8**). The slab foundation supports the concrete block walls clad in stucco. The replacement gable roof (ca. 1990) is covered in asphalt shingles and features a brick chimney at the ridge. There is wood siding in the gables. The windows are three- and four-light awning with awnings and sills. The main entrance, a six-panel wood swing door, is on the south elevation. The carport was enclosed ca. 1980. A non-historic shed is to the north. The available data does not indicate any historically significant associations. It is a common example of a residential building common in Hernando County, and thus, does not appear potentially eligible for listing in the NRHP.



Photo 9. North and east elevations of 34240 Cortez Boulevard, 8HE686.

8HE686: The Masonry Vernacular style community center at 34240 Cortez Boulevard was constructed ca. 1962 (**Photo 9**). The slab foundation supports the concrete block walls that are topped with a gable roof covered with asphalt shingles. The windows are one-light fixed with window sills. Other features include gable vents, wood siding in the gables, an awning over the side entrance, and a port-cochere. A south addition was built ca. 1980. A non-historic detached garage/storage building is to the east. This is a typical example of a Masonry Vernacular style building found throughout Hernando County, and research did not reveal any significant historical associations. Therefore, 8HE686 is not considered potentially eligible for listing in the NRHP.



Photo 10. South elevation of 34415 Cortez Boulevard, 8HE687.

8HE687: The Frame Vernacular style residence at 34415 Cortez Boulevard was constructed ca. 1956 (**Photo 10**). The continuous concrete block foundation supports the wood frame walls that are clad in vertical plank (ca. 1980). The gable roof is covered with asphalt shingles and a concrete block chimney is near the ridge. The wide overhang provides a canopy that spans the length of the residence. A west addition was constructed ca. 1980. The windows, some of which were replaced ca. 1980, include three- and four-light awning, one-light fixed with five-light awning sidelights, and 1/1 SHS. Other features include foundation vents and scroll posts. A non-historic detached garage is to the west. This is a typical example of a Frame Vernacular style residence found throughout Hernando County, and research did not reveal any significant historical associations. Therefore, 8HE687 is not considered potentially eligible for listing in the NRHP.



Photo 11. East elevation of 5251 Tree Lane, 8HE688.

8HE688: The Masonry Vernacular style residence at 5251 Tree Lane was constructed ca. 1957 (**Photo 11**). The concrete block walls rest on a slab foundation and are clad in stucco or vertical plank (ca. 1980). The gable roof is covered in asphalt shingles. The replacement windows (ca. 1980) are 1/1 and 2/2 SHS, and two-light awning. The carport was enclosed ca. 1980 and a garage was added to the south elevation. Other features include gable vents, window sills, and a shed to the north. This is a typical example of the Frame Vernacular style commonly found throughout Hernando County. Furthermore, the building did not exhibit any unique design features and research did not reveal any significant historical associations. Therefore, 8HE688 is not considered potentially eligible for listing in the NRHP.



Photo 12. General view of the Ridge Manor Garden Apartments, 8HE678.

8HE678: The Ridge Manor Garden Apartments Resource Group at 34472 Cortez Boulevard (**Photo 12**) consists of two ca. 1959 buildings constructed in the Masonry Vernacular style, 8HE689 and 8HE690. Each building contains four apartment units, each with its own screened porch. Both buildings lack unique design features or significant historical association, and one of the building's integrity is diminished due to modern alterations. Therefore, 8HE678 is not potentially eligible for listing in the NRHP. A description of each building follows.



Photo 13. North and east elevations of 34472 Cortez Boulevard, Building 1, 8HE689.

8HE689: The Masonry Vernacular style apartment building (Building 1) at 34472 Cortez Boulevard was constructed ca. 1959 (**Photo 13**). The building features four apartments. The slab foundation supports the concrete block walls that are partially clad in brick (ca. 1990). The replacement hip roof (ca. 1990) is covered with asphalt shingles. The windows are 1/1 SHS (6/6 simulated-divided-light) with screens and awnings. Each of the four units has a screened porch. This is a typical example of a Masonry Vernacular style apartment building found throughout Hernando County and research did not reveal any significant historical associations. Therefore, 8HE689 is not potentially eligible for listing in the NRHP either individually or collectively as part of the Ridge Manor Garden Apartments Resource Group, 8HE678.



Photo 14. South and east elevations of 34472 Cortez Boulevard, Building 2, 8HE690.

8HE690: The Masonry Vernacular style apartment building (Building 2) at 34472 Cortez Boulevard was constructed ca. 1959 (**Photo 14**). The building features four apartments. The slab foundation supports the concrete block walls that are topped with a salt box roof covered with asphalt shingles. The ca. 1990 windows are 1/1 SHS. Each of the four units has a screened porch. A punched concrete block wall is on the north elevation and 48-light panels are also on the north elevation. This is a typical example of a Masonry Vernacular style apartment building found throughout Hernando County and research did not reveal any significant historical associations. Therefore, 8HE690 is not potentially eligible for listing in the NRHP either individually or collectively as part of the Ridge Manor Garden Apartments Resource Group, 8HE678.



Photo 15. North elevation of 34486 Cortez Boulevard, 8HE691.

8HE691: The Masonry Vernacular style commercial building at 34486 Cortez Boulevard was constructed ca. 1960 (**Photo 15**). The building features three commercial units with a fourth unit that appears to have been closed ca. 1970. The slab foundation supports the concrete block walls that are partially clad with plywood sheeting (ca. 1970). The gable roof is covered with asphalt shingles and a canopy runs the length of the building. An addition was constructed on the east elevation ca. 1970. The replacement windows (ca. 1970) are one-light fixed. This is a typical example of a commercial Masonry Vernacular style building found throughout Hernando County. Furthermore, alterations diminish its integrity and research did not reveal any significant historical associations. Therefore, 8HE691 is not considered potentially eligible for listing in the NRHP.



Photo 16. North and east elevations of 34508 Cortez Boulevard, 8HE692.

8HE692: The Modern style commercial building at 34508 Cortez Boulevard was constructed ca. 1960 (**Photo 16**). The now vacant building features a slab foundation, a flat roof with built-up roofing, a stucco exterior, and one-light fixed windows with sills, primarily on the northeast corner. A wider overhang on the north and east elevations provides a narrow canopy. This is a typical example of a Modern style building found throughout Hernando County with no unique design features and research did not reveal any significant historical associations. Therefore, 8HE692 is not considered potentially eligible for listing in the NRHP.



Photo 17. East elevation of Miller Lighthouse Lounge, at 5025 Treiman Boulevard, 8HE693.



Photo 18. Ancillary features to Miller Lighthouse Lounge, at 5025 Treiman Boulevard, 8HE693.

8HE693: The Miller Lighthouse Lounge, at 5025 Treiman Boulevard, was constructed ca. 1960 in the Masonry Vernacular style (**Photos 17 and 18**). The slab foundation supports the concrete block walls that are clad in stucco. The shed roof is covered with built-up roofing and has concrete brackets and a wide canopy overhang. Some of the windows have been covered but those that remain are ca. 1970 two-light sliding with sills. A decorative lighthouse and boats are located to the east and the south. This is a typical example of a Masonry Vernacular commercial building found throughout Hernando County and research did not reveal any significant historical associations. Therefore, 8HE693 is not considered eligible for listing in the NRHP.

5. CONCLUSIONS AND RECOMMENDATIONS

The historic structures update survey resulted in the identification and evaluation of 16 historic resources, including 15 buildings and one resource group. The 16 newly recorded resources (8HE678-8HE693) are not distinguished by their architectural features or significant historical associations, and thus, are not considered potentially eligible for listing in the NRHP. Thus, the proposed SR 50 (Cortez Boulevard) improvements project will have no effect on any historic resources that are listed, determined eligible, or considered potentially eligible for listing in the NRHP.

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United States Geological Survey (USGS)

- 1954 Brooksville SE, Florida. Photo Revised 1988.
- 1958 Saint Catherine, Florida.

APPENDIX A: Florida Master Site File (FMSF) Forms

Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00679**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 1

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 29367 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 29367 Cortez Boulevard
Cross Streets (nearest / between) _____
USGS 7.5 Map Name BROOKSVILLE SE USGS Date 1988 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 20E Section 36 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R36 122 20 0770 0000 0090 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 377342 Northing 3155858
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1962 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1990 Nature vinyl
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Vinyl 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 3-light awning, metal, independent; 4-light awning, metal, independent

Distinguishing Architectural Features (exterior or interior ornaments) fixed window shutters, scroll posts

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. slab
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) 1-light wood swing door on south

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of the Frame Vernacular style found throughout the county. Furthermore, limited research revealed no significant historical associations. Therefore, 8HE679 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



Historic Structure Form

PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



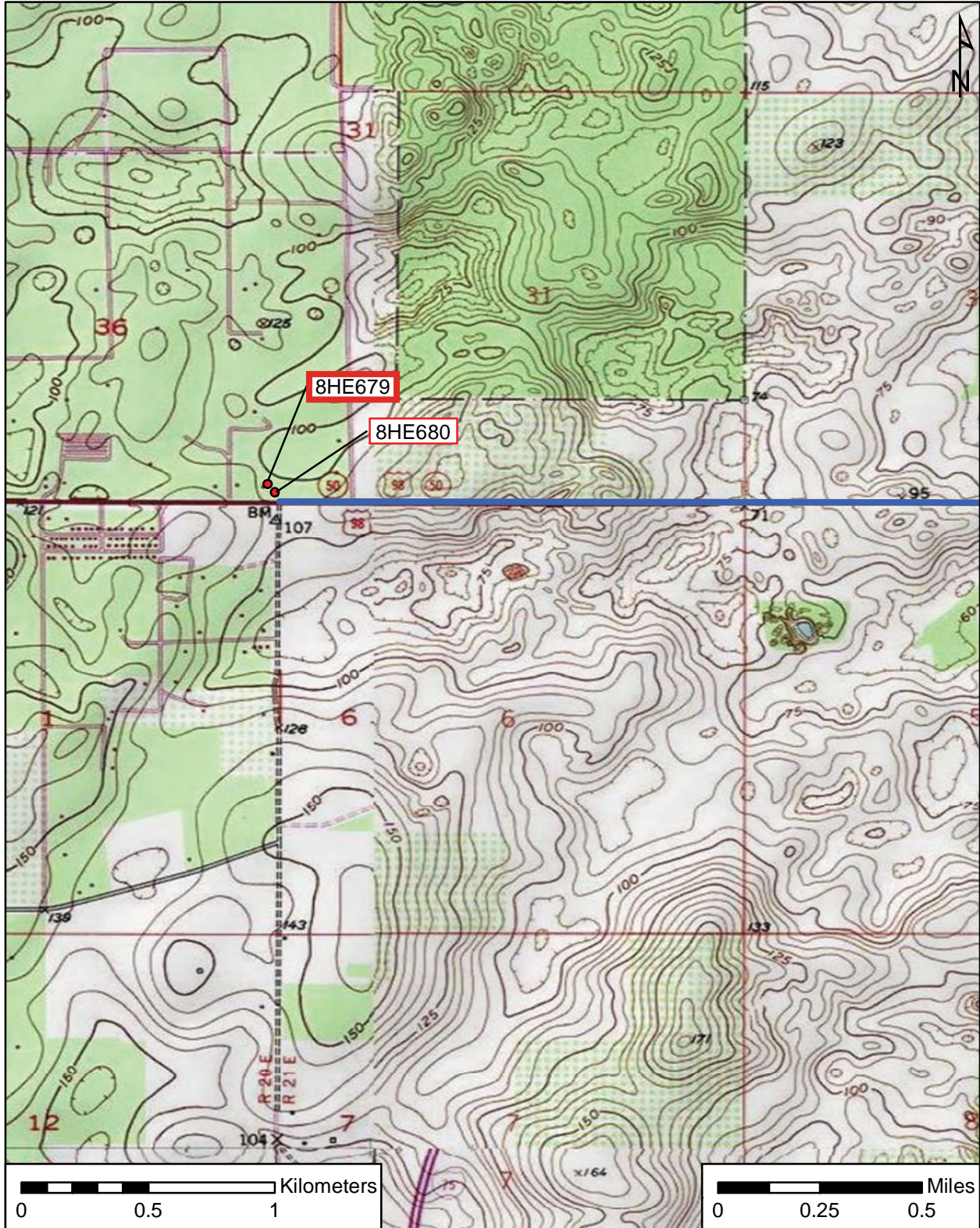
Historic Structure Form

Site # 8HE679

USGS MAP

Brooksville SE

Township 22 South, Range 20 East, Section 36



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00680**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 3

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 29373 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 29373 Cortez Boulevard
Cross Streets (nearest / between) _____
USGS 7.5 Map Name BROOKSVILLE SE USGS Date 1988 Plat or Other Map _____
City / Town (within 3 miles) _____ In City Limits? yes no unknown County Hernando
Township 23S Range 20E Section 36 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R36 122 20 0770 0000 0090 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 377370 Northing 3155853
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1957 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature _____
Additions: yes no unknown Date: 1-1-1980 Nature carport
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Susan Davidson (2002-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 2/2 SHS with storm windows

Distinguishing Architectural Features (exterior or interior ornaments) awnings over main entrance; gable vent

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) utility shed to the northwest

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) wood swing door on south elevation with 2-light storm door

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of the Masonry Vernacular style found throughout Hernando county. Furthermore, limited research revealed no significant historical associations. Therefore, 8HE680 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



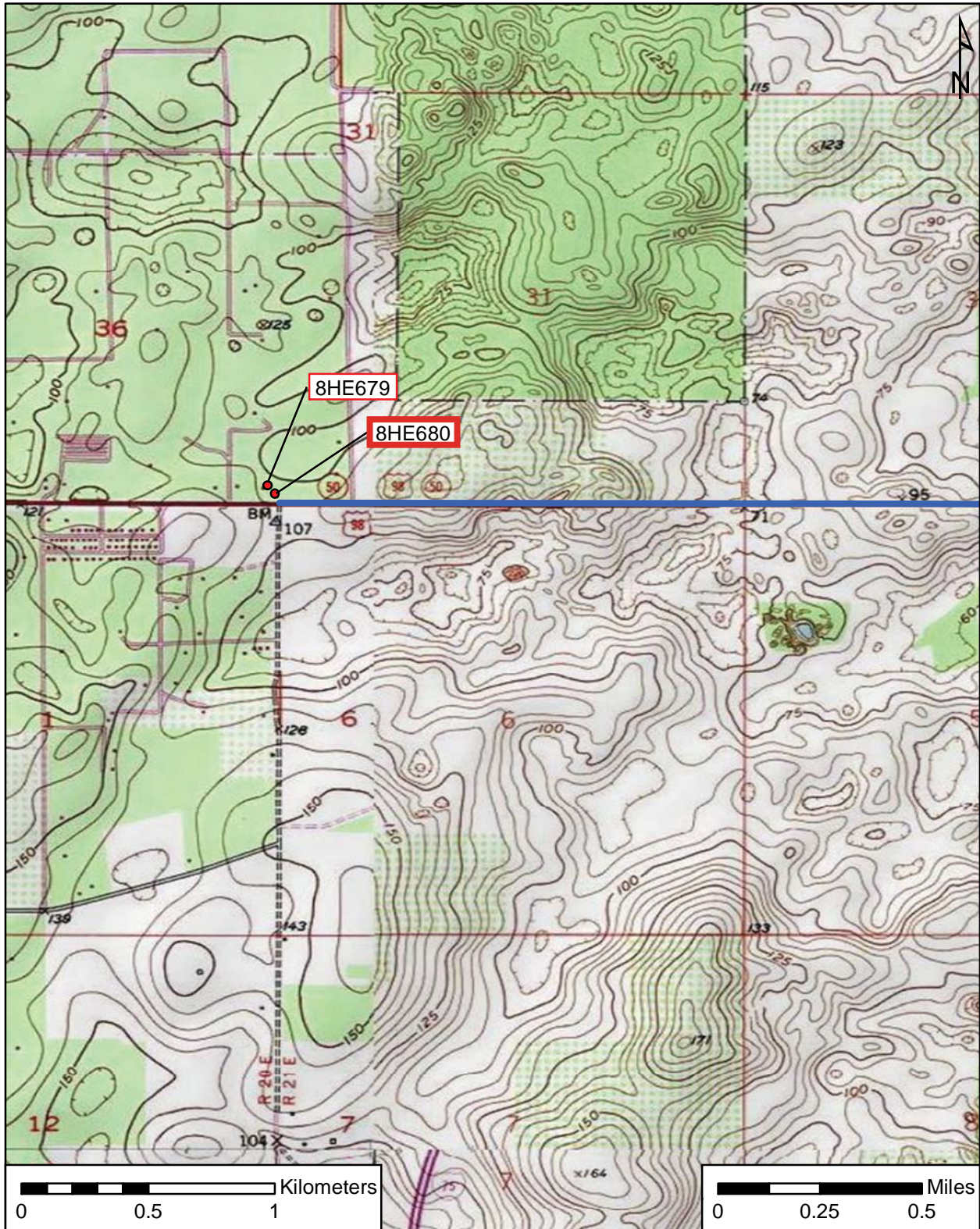
Historic Structure Form

Site # 8HE680

USGS MAP

Brooksville SE

Township 22 South, Range 20 East, Section 36



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00681**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 41

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 33297 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 33297 Cortez Boulevard
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 3 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R03 123 21 096 165A 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 383220 Northing 3154109
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1960 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-2000 Nature replaced door
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Russell Byrd (2010-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1-light fixed with 5-light awning sidelights, metal, independent; 5-light awning, metal, independent; 4-light awning, metal, independent
Distinguishing Architectural Features (exterior or interior ornaments) window sills, gable vents, foundation vents, wood siding in gables; awnings over windows, scroll posts.

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. Continuous
 Foundation Material(s): 1. Poured Concrete Footing 2. Concrete Block
 Main Entrance (stylistic details) 1-light, wood swing door on south elevation

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of the Masonry Vernacular style found throughout Hernando County. Furthermore, limited research revealed no significant historical associations. Therefore, 8HE681 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

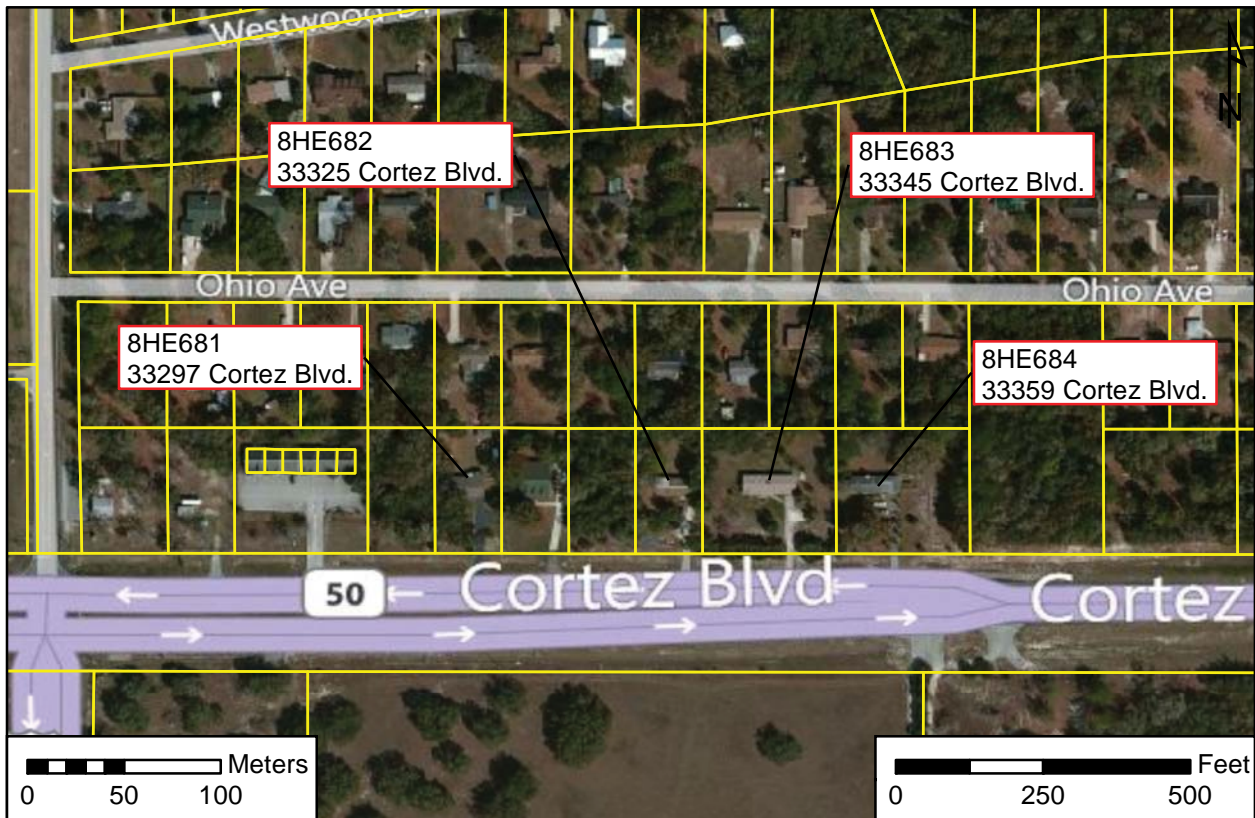
Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



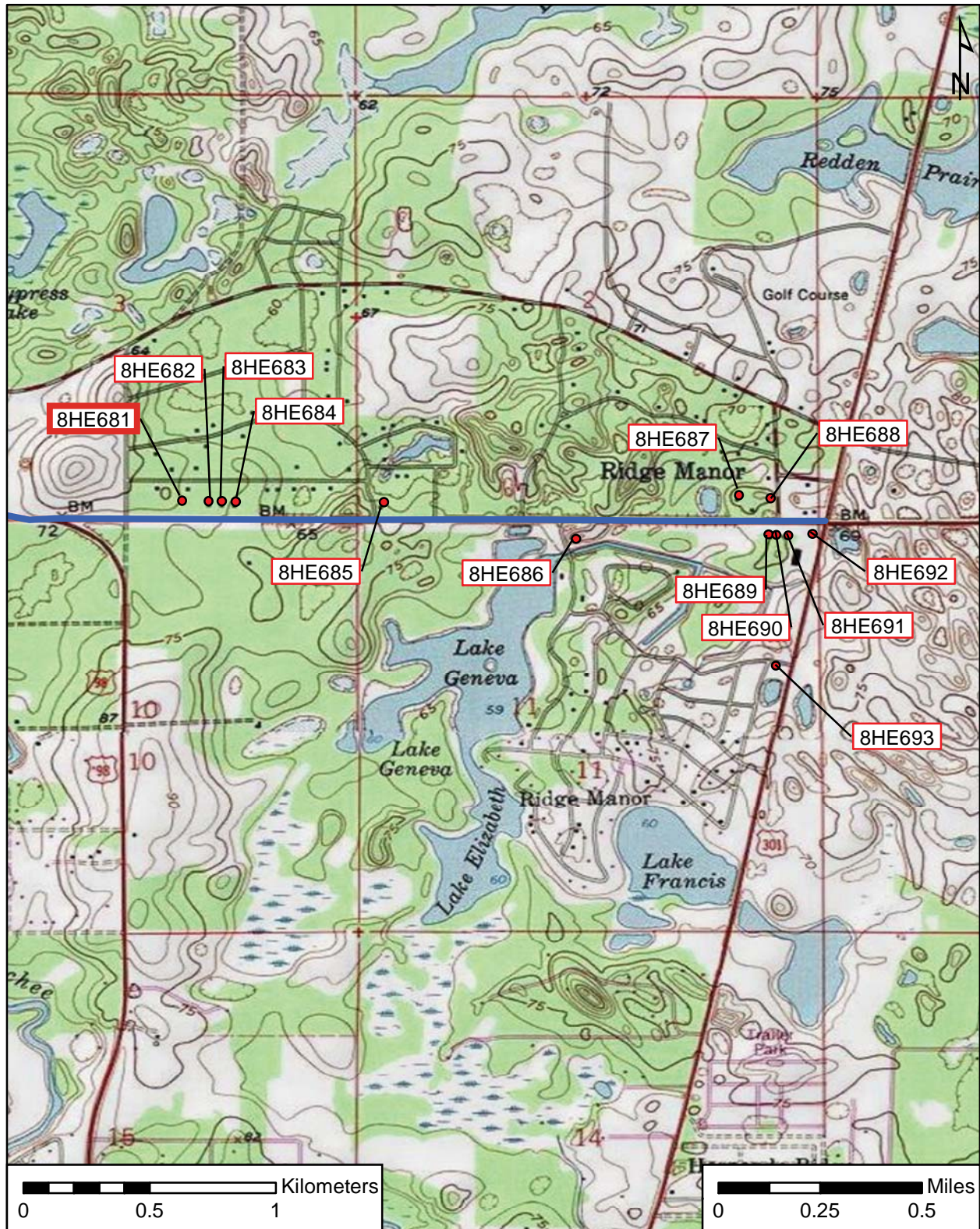
Historic Structure Form

Site # 8HE681

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 3



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00682**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 39

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 33325 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 33325 Cortez Boulevard
Street Number Direction Street Name Street Type Suffix Direction
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 3 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R03 123 21 0960 1640 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 383318 Northing 3154103
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1958 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1990 Nature repl windows (some ca. 1970), encl carport
Additions: yes no unknown Date: 1-1-1990 Nature east addition
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Estate of Mildred Soderberg (1997-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 3-light awning, metal, paired; 5-light awning, metal, ribbon (3); 1/1 SHS (6/6 SDL), vinyl, independent
Distinguishing Architectural Features (exterior or interior ornaments) fixed window shutters; awnings over windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) 9-light, 2-panel wood swing door on south elevation

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of the Masonry Vernacular style found throughout Hernando County. Furthermore, limited research revealed no significant historical associations. Therefore, 8HE682 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

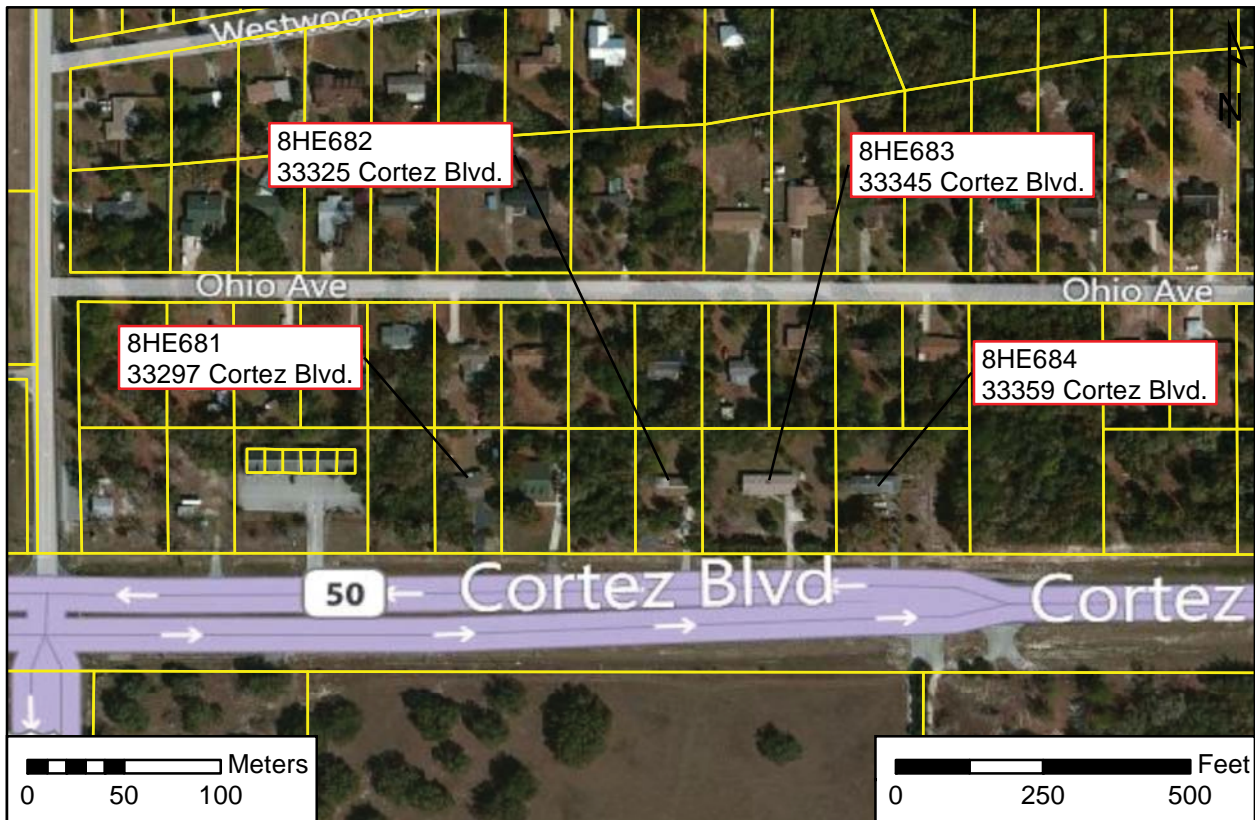
Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



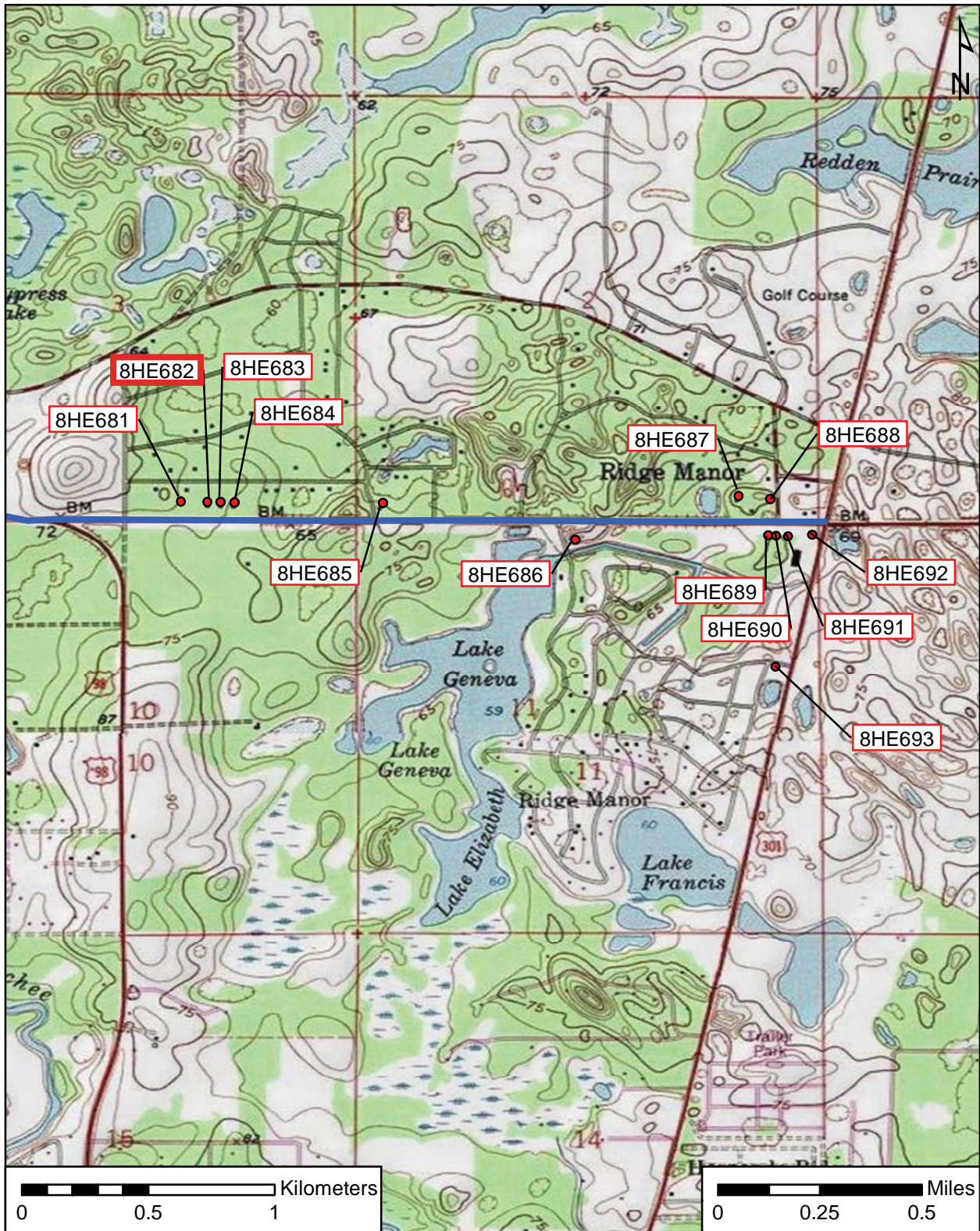
Historic Structure Form

Site # 8HE682

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 3



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00683**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 37

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 33345 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 33345 Cortez Boulevard
Street Number Direction Street Name Street Type Suffix Direction
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 3 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R03 123 21 0960 1630 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 383364 Northing 3154105
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1956 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1980 Nature repl windows, roof, enc carport, door (2000)
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) William Parr (2009-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1-light fixed, metal, independent, ribbon (3); jalousie, metal, independent

Distinguishing Architectural Features (exterior or interior ornaments) window sills; fixed window shutters

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Brick 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) 4-light, 4-panel vinyl swing door on south elevation

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Given that the available data did not indicate that this building is historically significant, and that it is an example of a residential house common in the area and throughout Hernando County, it appears that 8HE683 is not NRHP eligible.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
- 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

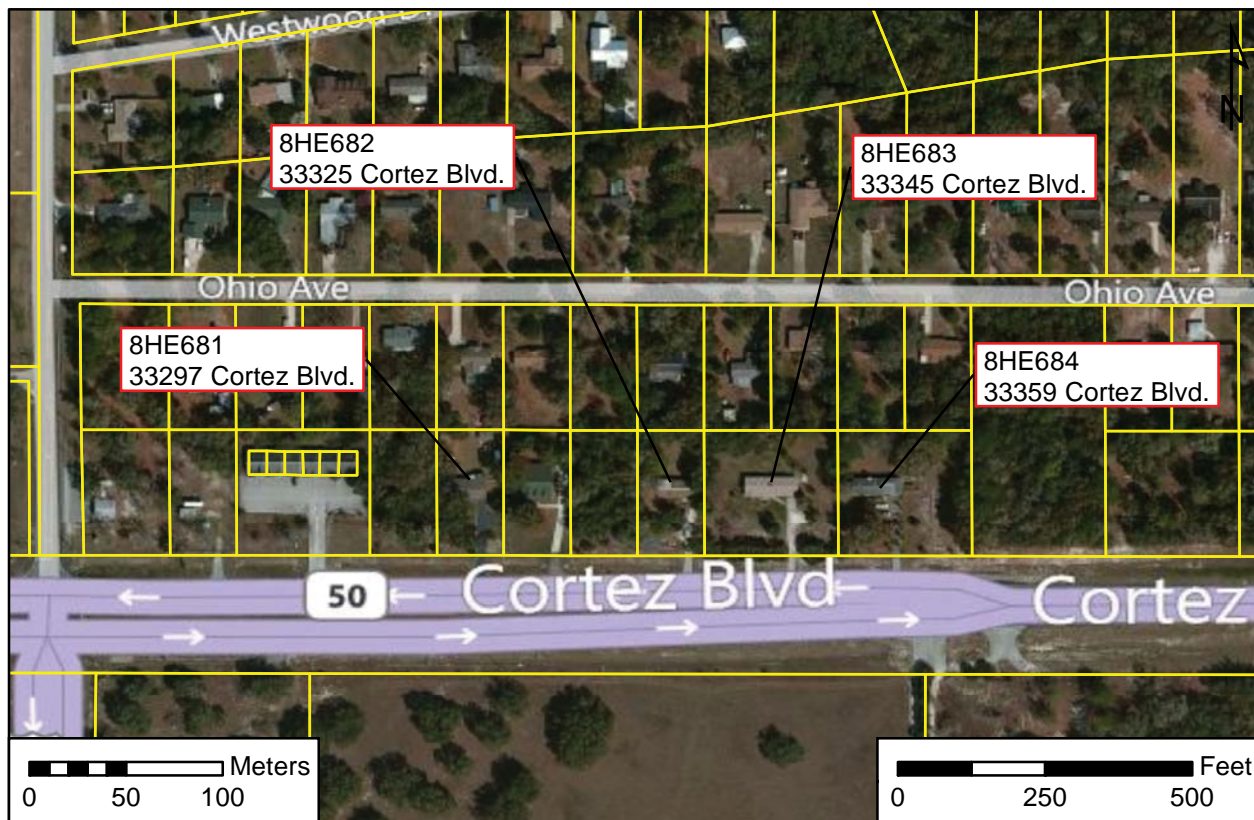
Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



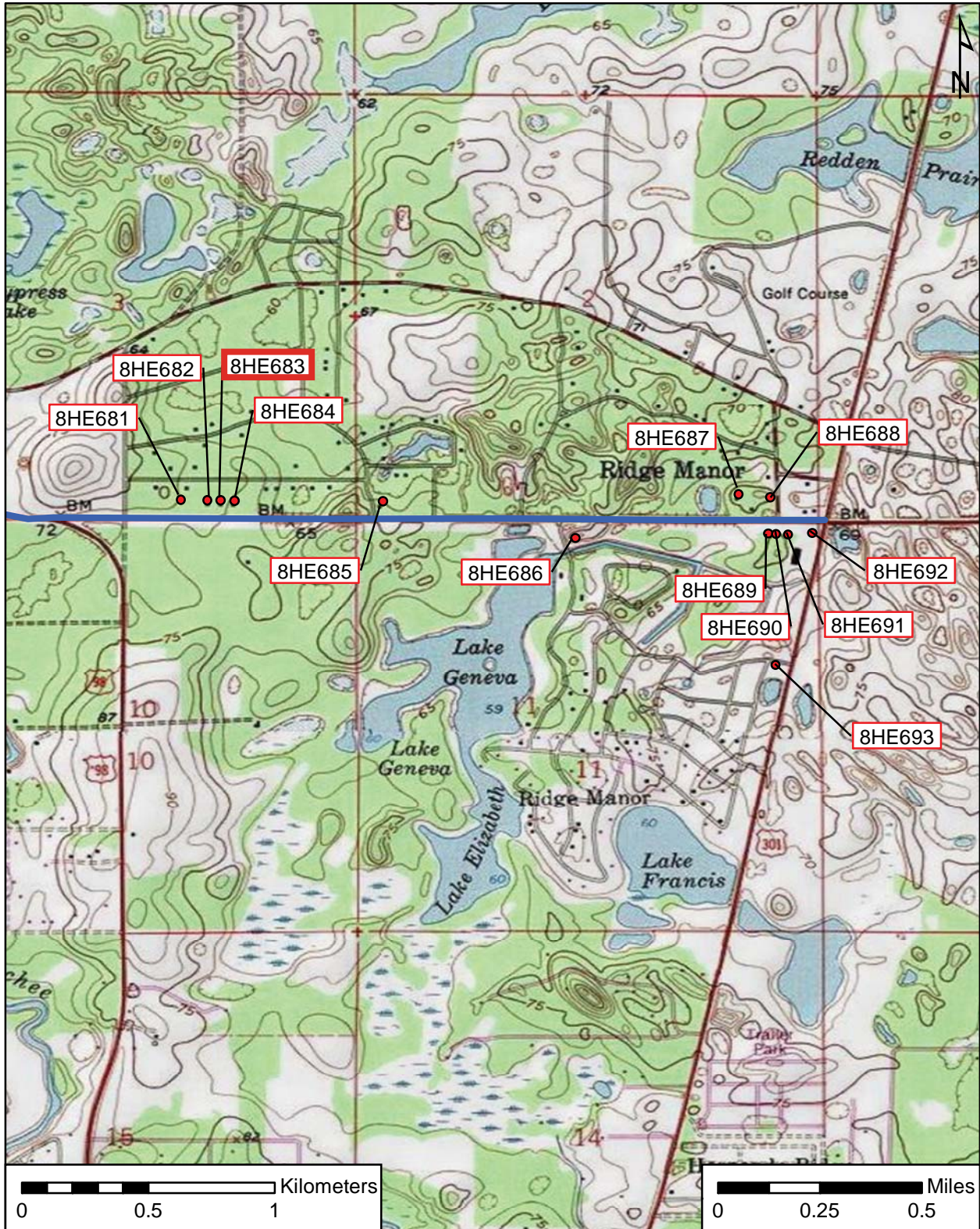
Historic Structure Form

Site # 8HE683

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 3



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00684**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 36

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 33359 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: Street Number 33359 Direction _____ Street Name Cortez Street Type Boulevard Suffix Direction _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 3 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R03 123 21 0961 162A 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 383406 Northing 3154105
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1980 Nature enclosed carport, repl windows (1990)
Additions: yes no unknown Date: 1-1-1980 Nature east addition
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Edward Ferreira (1990-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 3-light awning, metal, paired; 2-light sliding, vinyl, independent

Distinguishing Architectural Features (exterior or interior ornaments) lattice posts, awnings over windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Brick 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) 1-light vinyl swing on south elevation

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Given the extent of alternations to this building, its similarity to others in Hernando County, and the lack of historical significance in the available data, it appears that 8HE684 is not eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

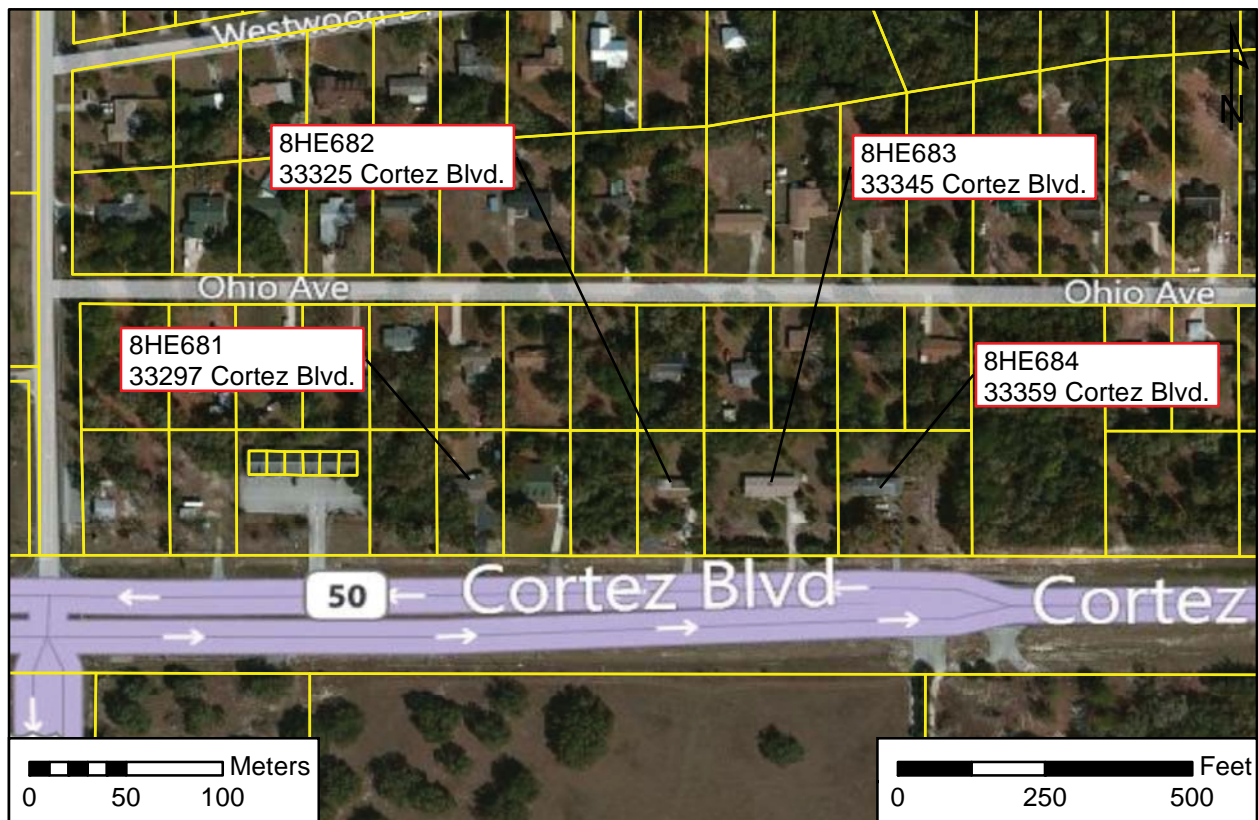
Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid

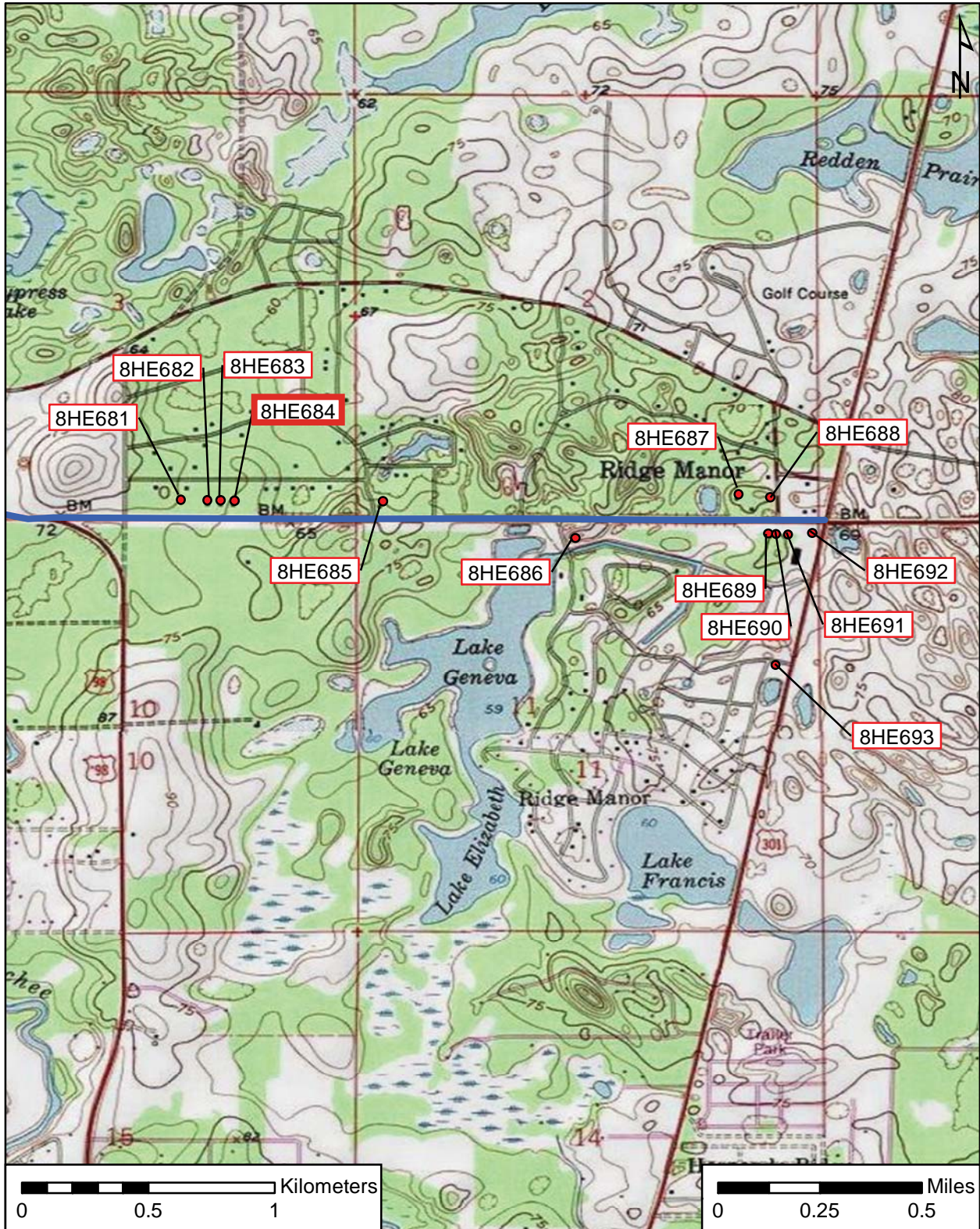


Historic Structure Form

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 3



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00685**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 32

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 33555 Westwood Drive Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 33555 Westwood Drive
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 2 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R03 123 21 0960 1540 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 383924 Northing 3154099
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1957 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1980 Nature enclosed carport; replaced roof (1990)
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Monica Sher (2011-current)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 4-light awning, metal, independent, paired, ribbon (3); 3-light awning, metal, independent, ribbon (3)
Distinguishing Architectural Features (exterior or interior ornaments) wood siding in gables; awnings over windows, window sills

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) non-historic shed

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Brick 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) 6-panel wood swing door on south elevation

Porch Descriptions (types, locations, roof types, etc.) inset, south, incised (entry)

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Given that the available data did not indicate that this building is historically significant, and that it is an example of a residential house common in the area and throughout Hernando County, it appears that 8HE685 is not NRHP eligible.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



Historic Structure Form

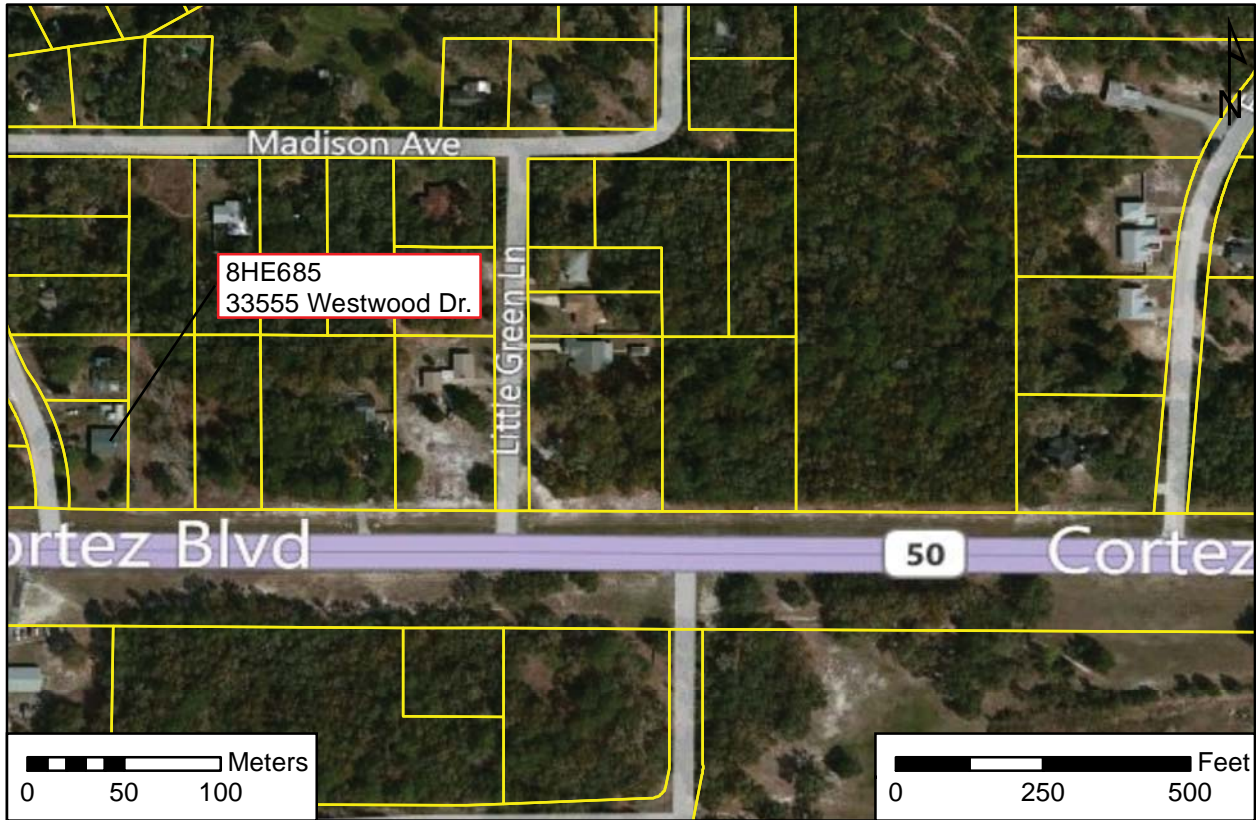
Site # 8HE685

PHOTOGRAPHS





PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid

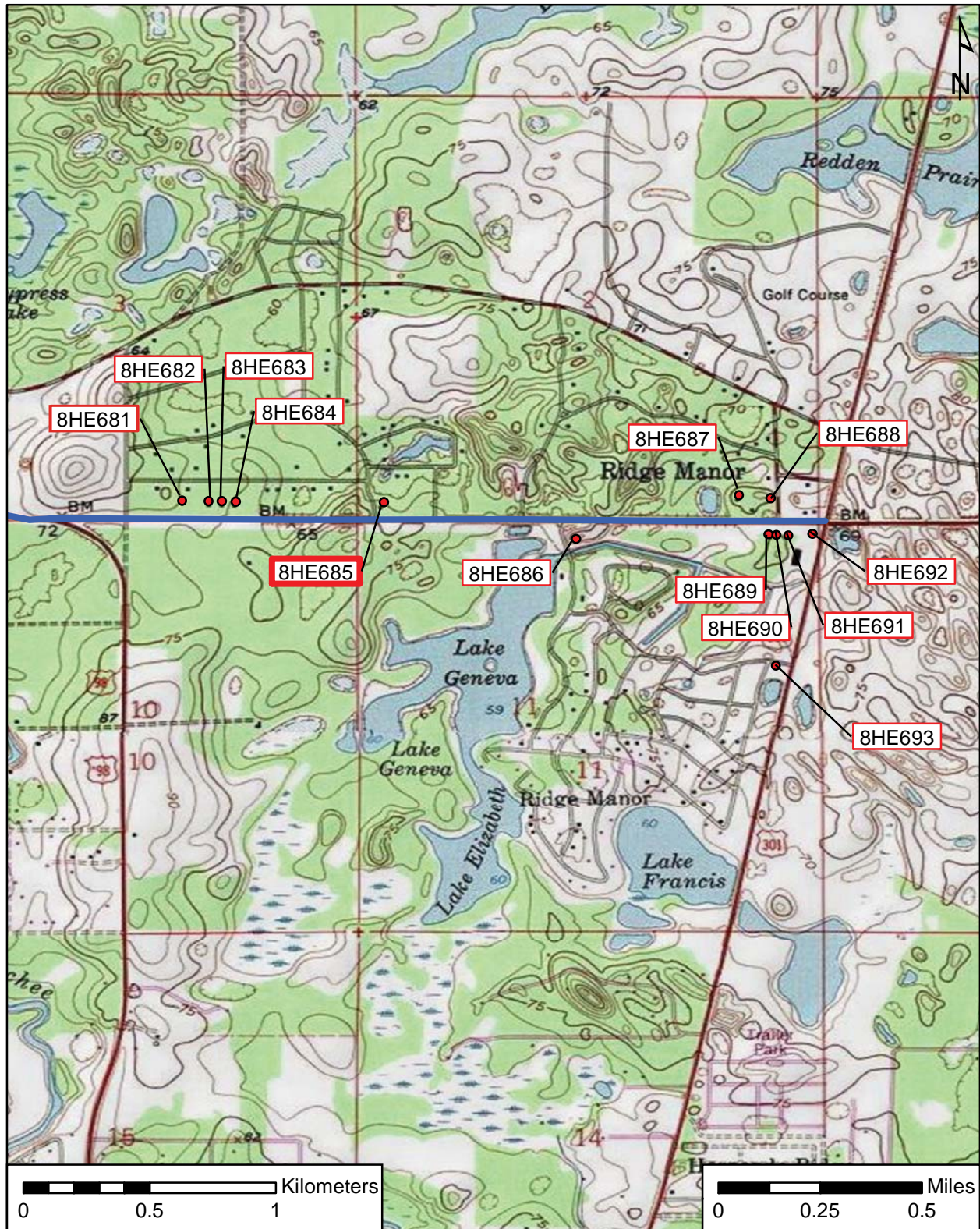


Historic Structure Form

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 2



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00686**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 45

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 34240 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 34240 Cortez Boulevard
Street Number Direction Street Name Street Type Suffix Direction
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 11 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R11 123 21 0580 0000 00A0 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 384590 Northing 3153950
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1962 approximately year listed or earlier year listed or later
Original Use Unknown From (year): orig To (year): unk
Current Use Community center From (year): unk To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature _____
Additions: yes no unknown Date: 1-1-1980 Nature south addition
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Community Center of Ridge Manor (1980-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1-light fixed, metal, independent

Distinguishing Architectural Features (exterior or interior ornaments) window sills, gable vents, awning over side door, port cochere, wood siding in gables

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) garage (non-historic) to the east

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) 1-light metal swing door on north elevation

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of Masonry Vernacular style found throughout Hernando County and limited research revealed no significant historical associations. Therefore, 8HE686 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



Historic Structure Form

Site # 8HE686

PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



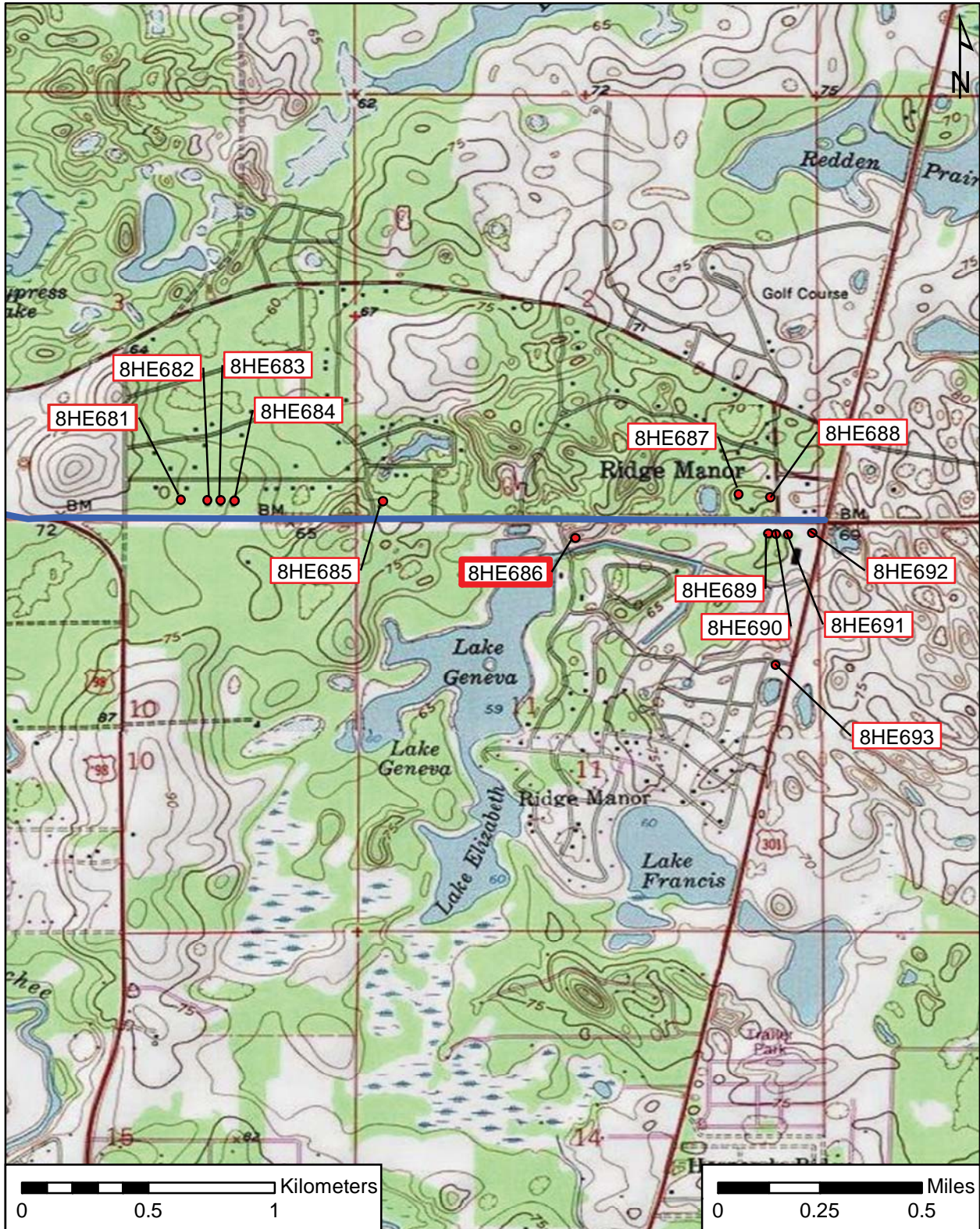
Historic Structure Form

Site # 8HE686

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 11



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00687**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 28

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 34415 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name _____ Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: Street Number 34415 Direction _____ Street Name Cortez Street Type Boulevard Suffix Direction _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 2 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R02 123 21 0940 0000 6140 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 385164 Northing 3154106
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1956 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1980 Nature replaced windows, siding
Additions: yes no unknown Date: 1-1-1980 Nature west addition
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Healthflo Medical Clinics, Inc.

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Vertical plank 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 3-light awning, metal, ind., 4-light awning, metal, ind.; 1-light fixed with 5-light awning sidelights, metal, ind.; 1/1 SHS, vinyl, ind.
Distinguishing Architectural Features (exterior or interior ornaments) canopy overhang on length of building; foundation vents; scroll porch posts

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) detached garage (non-historic) to the west

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Concrete block 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) 6-panel wood swing door on south elevation with screen door

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of Frame Vernacular style found throughout Hernando County and limited research revealed no significant historical associations. Therefore, 8HE687 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



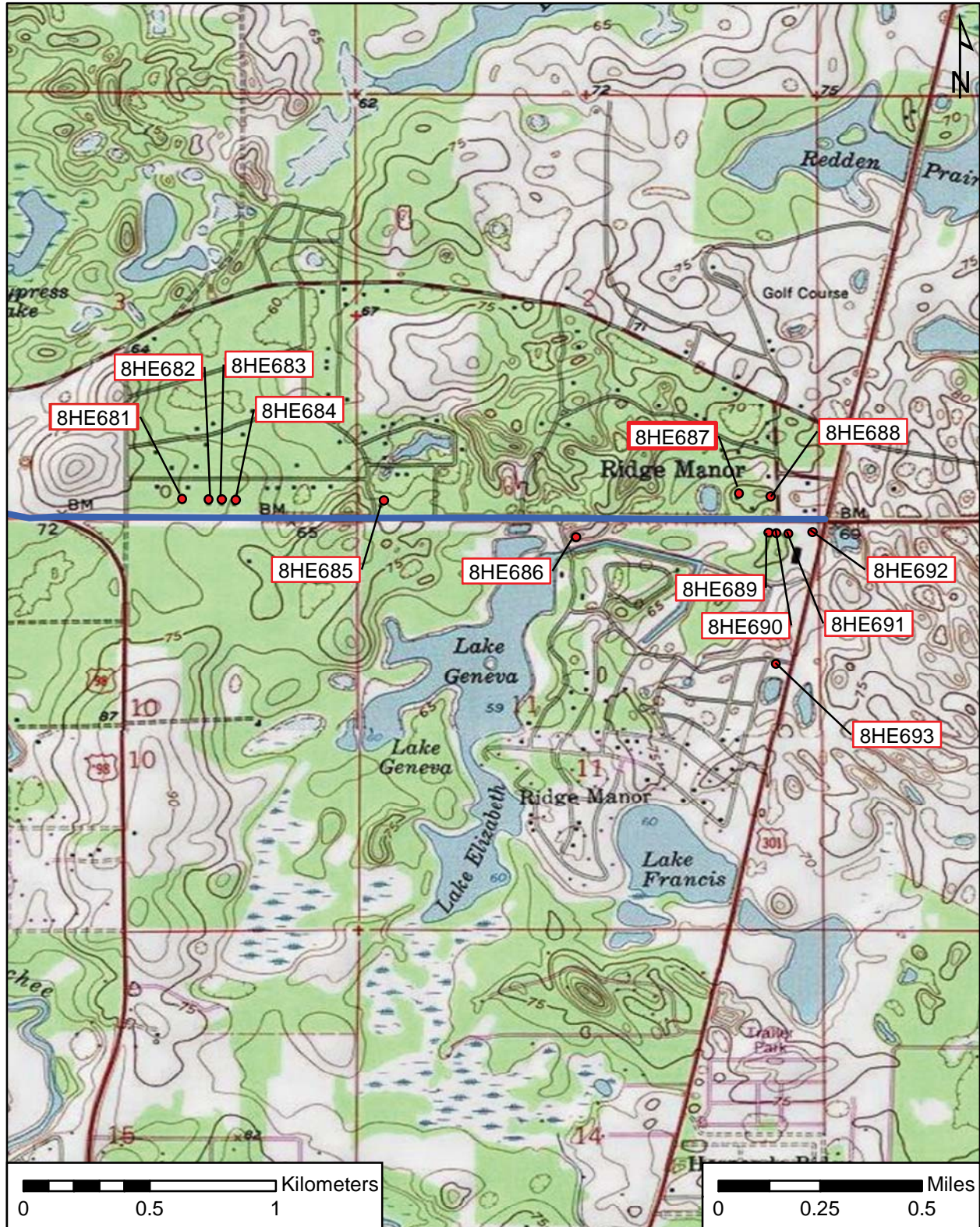
Historic Structure Form

Site # 8HE687

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 2



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00688**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 26

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 5251 Tree Lane Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Street Number 5251 Direction _____ Street Name Tree Street Type Lane Suffix Direction _____
Address: _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 2 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R02 123 21 0940 0000 0120 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 385269 Northing 3154112
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1957 approximately year listed or earlier year listed or later
Original Use Private Residence (House/Cottage/Cabin) From (year): orig To (year): -
Current Use Private Residence (House/Cottage/Cabin) From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1980 Nature enclosed carport, stucco, repl windows
Additions: yes no unknown Date: 1-1-1980 Nature garage
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Healthflo Medical Clinics Inc. (2005-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Vertical plank 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1/1 SHS (6/6 SDL), vinyl, independent; 2/2 SHS, metal, independent; 1/1 SHS, metal, independent; 2-light awning, metal, paired
Distinguishing Architectural Features (exterior or interior ornaments) gable vents, window sills

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) shed to north

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) wood swing door on east elevation

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of the Masonry Vernacular style found throughout Hernando county. Furthermore, limited research revealed no significant historical associations. Therefore, 8HE688 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid

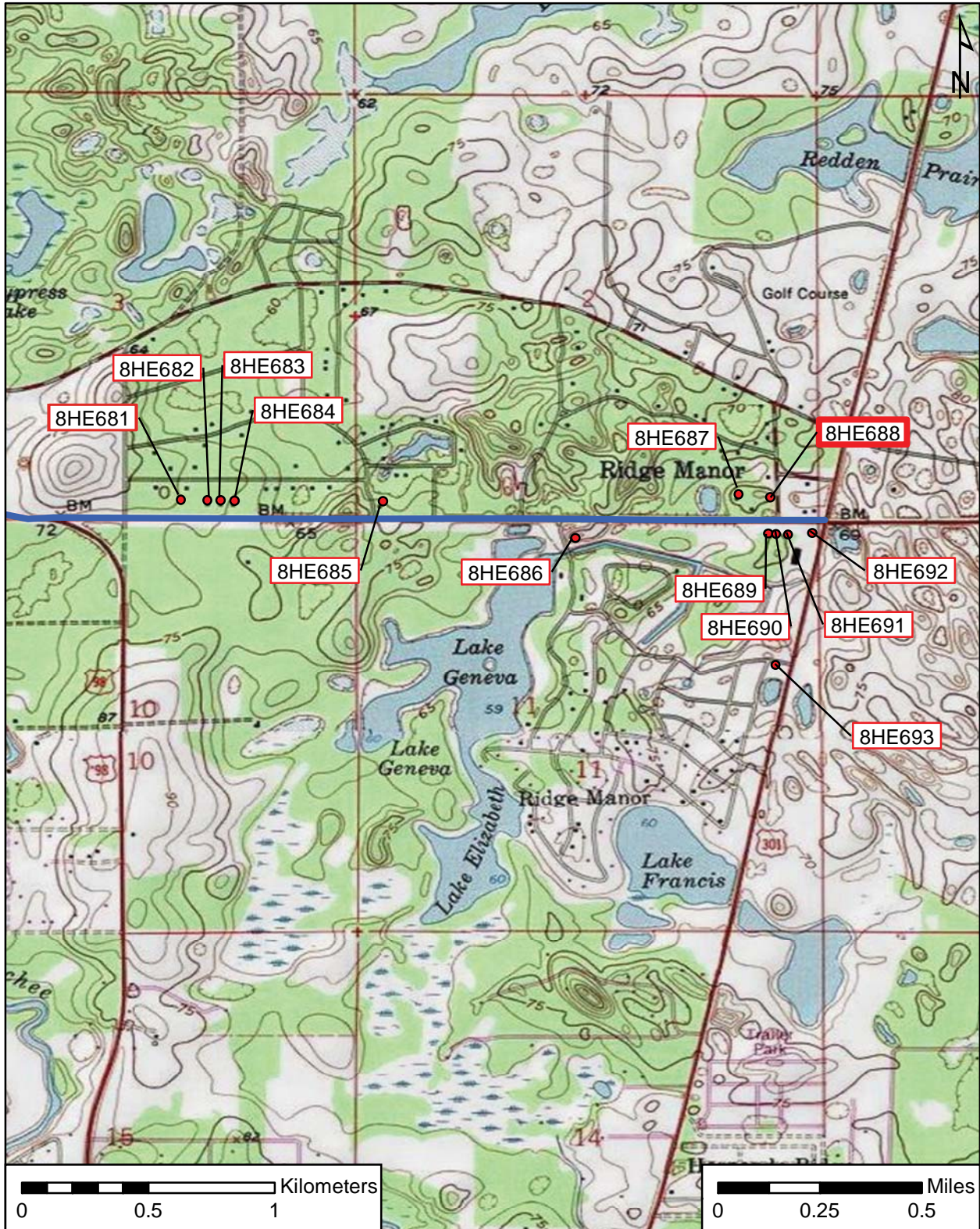


Historic Structure Form

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 2





RESOURCE GROUP FORM
FLORIDA MASTER SITE FILE
Version 4.0 1/07

Site #8 HE00678
Field Date 1-12-2012
Form Date 1-12-2012
Recorder# 11

[X] Original
[] Update

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. Do not use this form for National Register multiple property submissions (MPSs).

Check ONE box that best describes the Resource Group:

- [] Historic district
[] Archaeological district
[] Mixed district
[X] Building complex
[] Designed historic landscape
[] Rural historic landscape
[] Linear resource

Resource Group Name Ridge Manor Garden Apartments Multiple Listing [DHR only]
Project Name CRAS SR 50 from Lockhart to US 301 FMSF Survey #
National Register Category (please check one): [X]building(s) []structure []district []site []object
Linear Resource Type (if applicable): []canal []railway []road []other (describe):
Ownership: [X]private-profit []private-nonprofit []private-individual []private-nonspecific []city []county []state []federal []Native American []foreign []unknown

LOCATION & MAPPING

Street Number 34472 Direction Direction Street Name Cortez Street Type Boulevard Suffix Direction
City/Town (within 3 miles) Ridge Manor In Current City Limits? []yes []no [X]unknown
County or Counties (do not abbreviate) Hernando
Name of Public Tract (e.g., park)
1) Township 23S Range 21E Section 11 1/4 section: []NW []SW []SE [X]NE Irregular-name:
2) Township Range Section 1/4 section: []NW []SW []SE []NE
3) Township Range Section 1/4 section: []NW []SW []SE []NE
4) Township Range Section 1/4 section: []NW []SW []SE []NE
USGS 7.5' Map(s) 1) Name SAINT CATHERINE USGS Date 1958
2) Name USGS Date
Plat, Aerial, or Other Map (map's name, originating office with location)
Landgrant
Verbal Description of Boundaries (description does not replace required map) Includes the property within R11 423 21 0000 0080 0000

Table with 3 columns: DHR USE ONLY, OFFICIAL EVALUATION, DHR USE ONLY. Contains fields for NR List Date, Owner Objection, SHPO/KEEPER criteria, and dates.

HISTORY & DESCRIPTION

Construction Year: 1959 [X]approximately []year listed or earlier []year listed or later

Architect/Designer(last name first): unknown Builder(last name first): unknown

Total number of individual resources included in this Resource Group: # of contributing 2 # of non-contributing

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

- 1. 2. 3. 4. 1959

Narrative Description (National Register Bulletin 16A pp. 33-34; fit a summary into 3 lines or attach supplementary sheets if needed) Includes 8HE689 and 8HE690, both ca. 1959 Masonry Vernacular style buildings. Both buildings feature four apartments with screened porches

RESEARCH METHODS (check all that apply)

- [X]FMSF record search (sites/surveys) []library research []building permits []Sanborn maps
[]FL State Archives/photo collection []city directory []occupant/owner interview []plat maps
[X]property appraiser / tax records [X]newspaper files []neighbor interview [X]Public Lands Survey (DEP)
[X]cultural resource survey []historic photos []interior inspection []HABS/HAER record search
[]other methods (specify)

Bibliographic References (give FMSF Manuscript # if relevant)

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? []yes [X]no []insufficient information

Potentially eligible as contributor to a National Register district? []yes [X]no []insufficient information

Explanation of Evaluation (required, see National Register Bulletin 16A p. 48-49. Attach longer statement, if needed, on separate sheet.) This is a typical example of Masonry Vernacular style apartment buildings with no unique design features or significant historical associations. Therefore, 8HE678 is not potentially eligible for listing in the NRHP.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

- 1. Community planning & development 3. 5.
2. 4. 6.

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description File or accession #'s P8007D

2) Document type Maintaining organization
Document description File or accession #'s

RECORDER INFORMATION

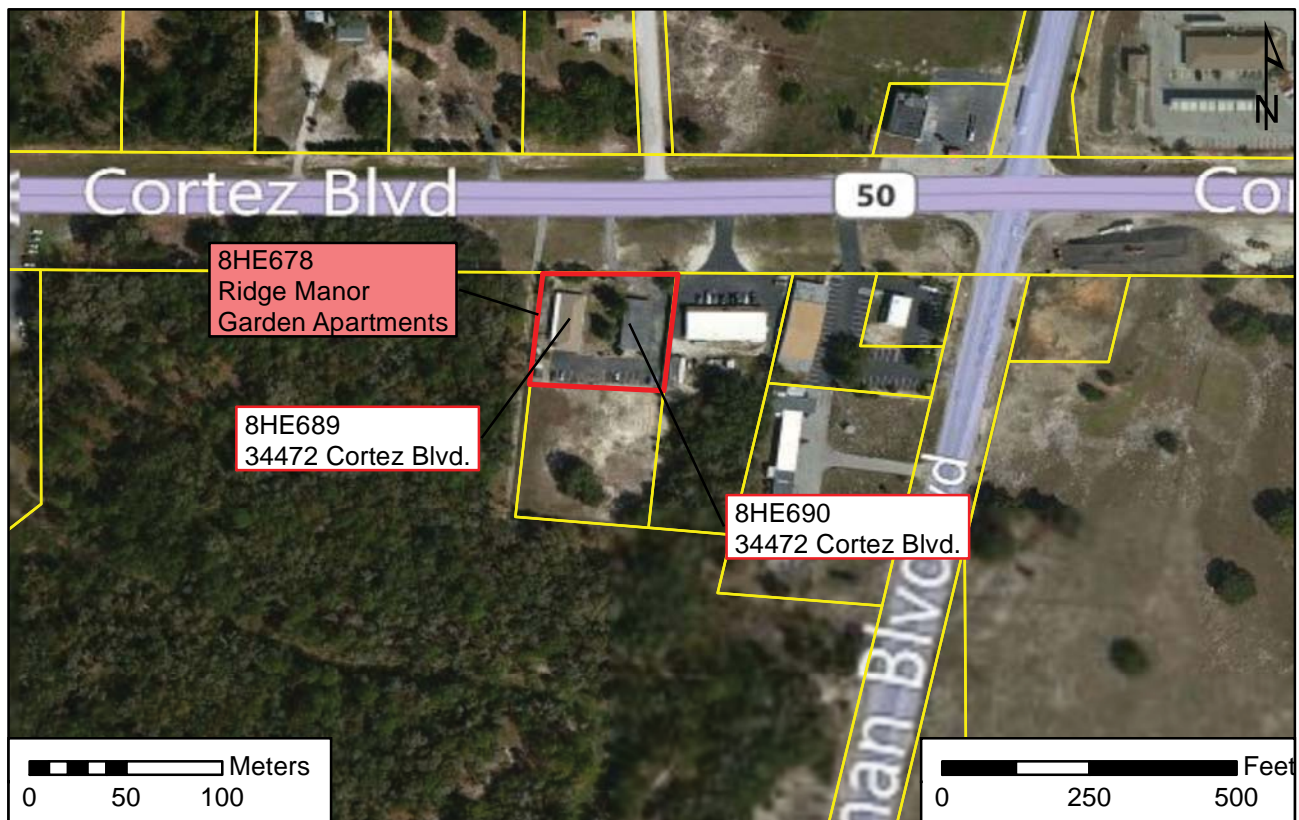
Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments
1 PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED
3 TABULATION OF ALL INCLUDED RESOURCES (name, FMSF #, contributing? Y/N, resource category, street address or township-range-section if no address)
4 PHOTOS OF GENERAL STREETScape OR VIEWS (Optional: aerial photos, views of typical resources)
Photos may be archival B&W prints OR digital image files. If submitting digital image files, they must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid

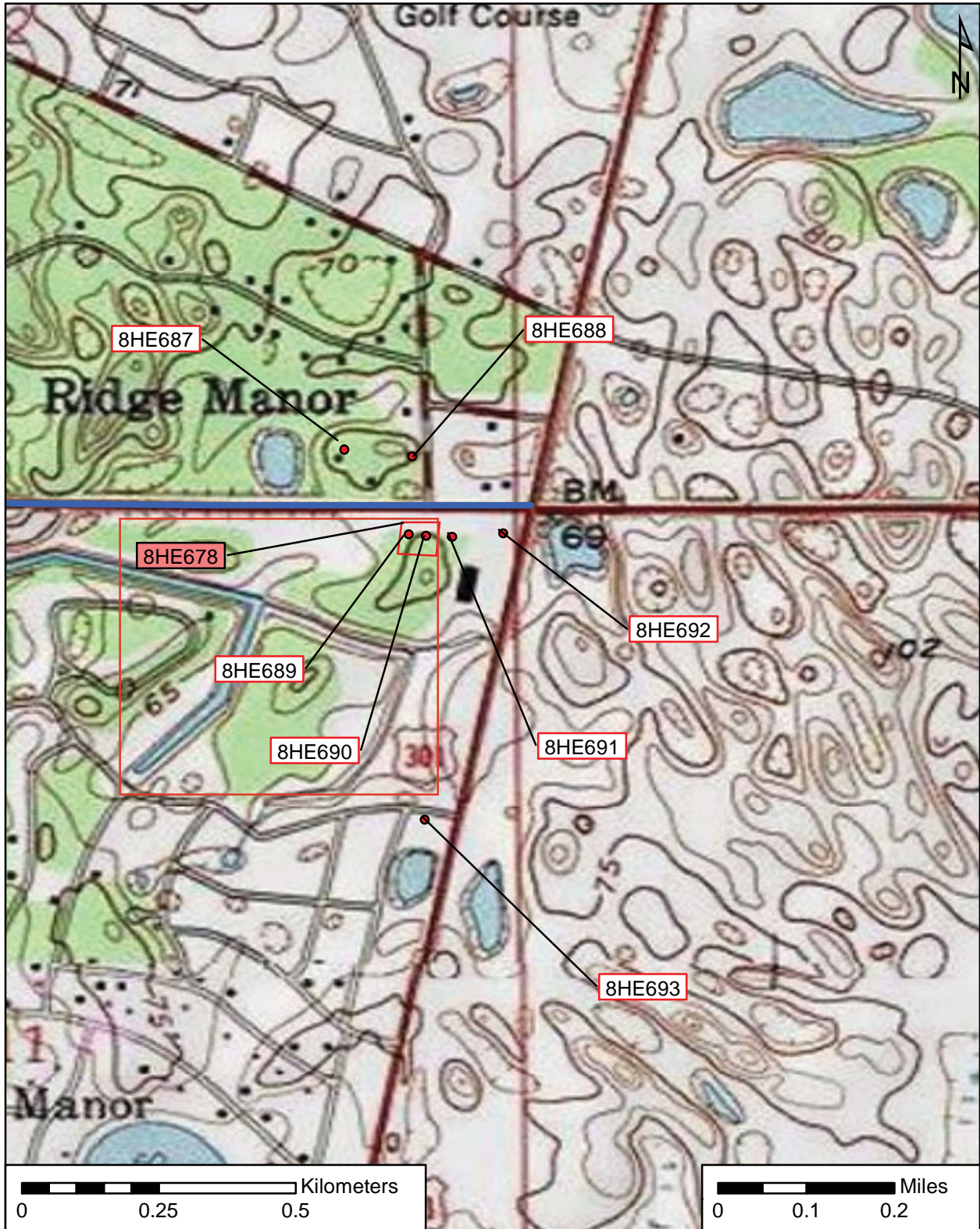


Resource Group Form

Site # **8HE678**

USGS MAP

St. Catherine
Township 23 South, Range 21 East, Section 11



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00689**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 10

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 34472 Cortez Blvd. Bldg 1 Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 34472 Cortez Boulevard
Street Number Direction Street Name Street Type Suffix Direction
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 11 ¼ section: NW SW SE NE Irregular-name: _____
Tax Parcel # R11 423 21 0000 0080 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 385262 Northing 3153963
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 approximately year listed or earlier year listed or later
Original Use Apartment From (year): orig To (year): -
Current Use Apartment From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1990 Nature brick siding, replaced roof
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Roy MacDonald (1986-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. Brick 3. _____
Roof Type(s) 1. Hip 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1/1 SHS (6/6 SDL), vinyl, ribbon (3) with screens
Distinguishing Architectural Features (exterior or interior ornaments) awnings over windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) 4 doors to 4 units

Porch Descriptions (types, locations, roof types, etc.) screened porches to all 4 units

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of Masonry Vernacular style found throughout Hernando County and limited research revealed no significant historical associations. Therefore, 8HE689 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



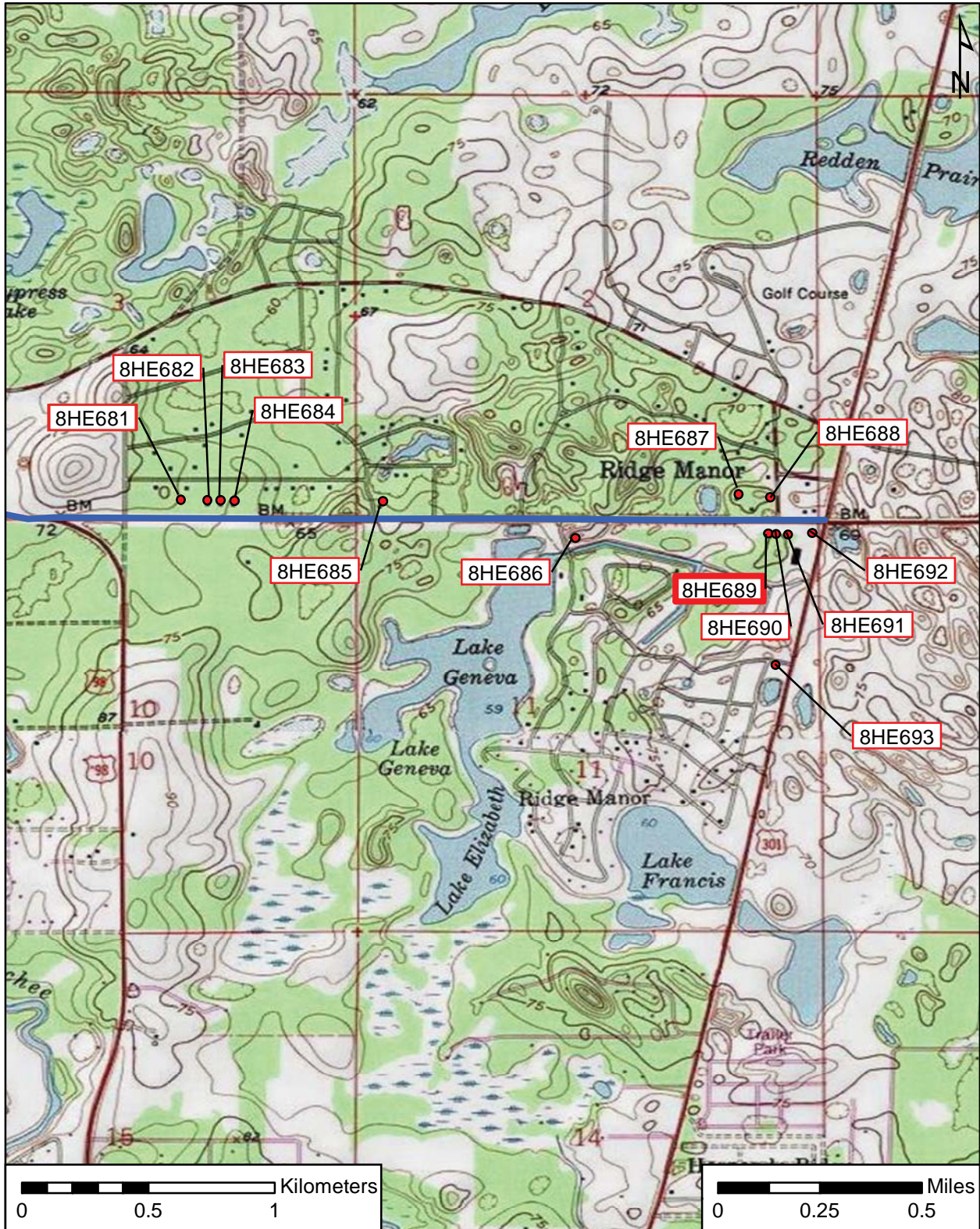
Historic Structure Form

Site # 8HE689

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 11



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00690**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 9, 11

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 34472 Cortez Blvd. Bldg 2 Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: Street Number 34472 Direction _____ Street Name Cortez Street Type Boulevard Suffix Direction _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 11 ¼ section: NW SW SE NE Irregular-name: _____
Tax Parcel # R11 423 21 0000 0080 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 385297 Northing 3153956
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 approximately year listed or earlier year listed or later
Original Use Apartment From (year): orig To (year): -
Current Use Apartment From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1990 Nature replaced windows
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Roy MacDonald (1986-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. _____ 3. punched concrete block
Roof Type(s) 1. _____ 2. _____ 3. salt box
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1/1 SHS, vinyl, ribbon (3)

Distinguishing Architectural Features (exterior or interior ornaments) 48-light panels on north elevation, punched concrete block on north elevation

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ___ Chimney Material(s): 1. ___ 2. ___
Structural System(s): 1. Concrete block 2. ___ 3. ___
Foundation Type(s): 1. Slab 2. ___
Foundation Material(s): 1. Poured Concrete Footing 2. ___
Main Entrance (stylistic details) 4 doors to 4 units

Porch Descriptions (types, locations, roof types, etc.) screened porches to all 4 units

Condition (overall resource condition): [] excellent [x] good [] fair [] deteriorated [] ruinous

Narrative Description of Resource

Archaeological Remains [] Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- [x] FMSF record search (sites/surveys) [] library research [] building permits [] Sanborn maps
[] FL State Archives/photo collection [] city directory [] occupant/owner interview [] plat maps
[x] property appraiser / tax records [] newspaper files [] neighbor interview [x] Public Lands Survey (DEP)
[x] cultural resource survey (CRAS) [] historic photos [] interior inspection [] HABS/HAER record search
[] other methods (describe)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? [] yes [x] no [] insufficient information

Appears to meet the criteria for National Register listing as part of a district? [] yes [x] no [] insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of Masonry Vernacular style found throughout Hernando County and limited research revealed no significant historical associations. Therefore, 8HE690 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

- 1. Community planning & development 3. ___ 5. ___
2. ___ 4. ___ 6. ___

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description File or accession #'s P8007D
2) Document type Maintaining organization
Document description File or accession #'s

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
(address / phone / fax / e-mail)

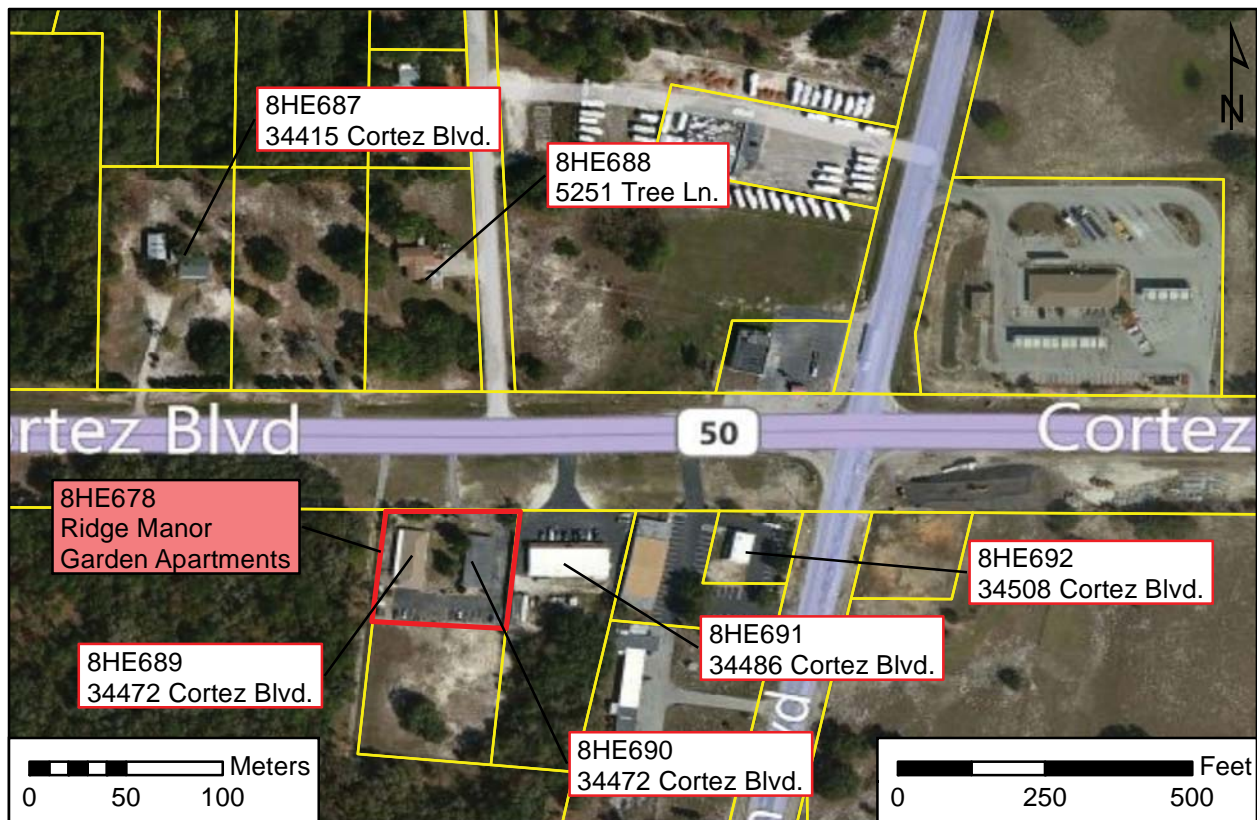
Required Attachments

- 1 USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
3 PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



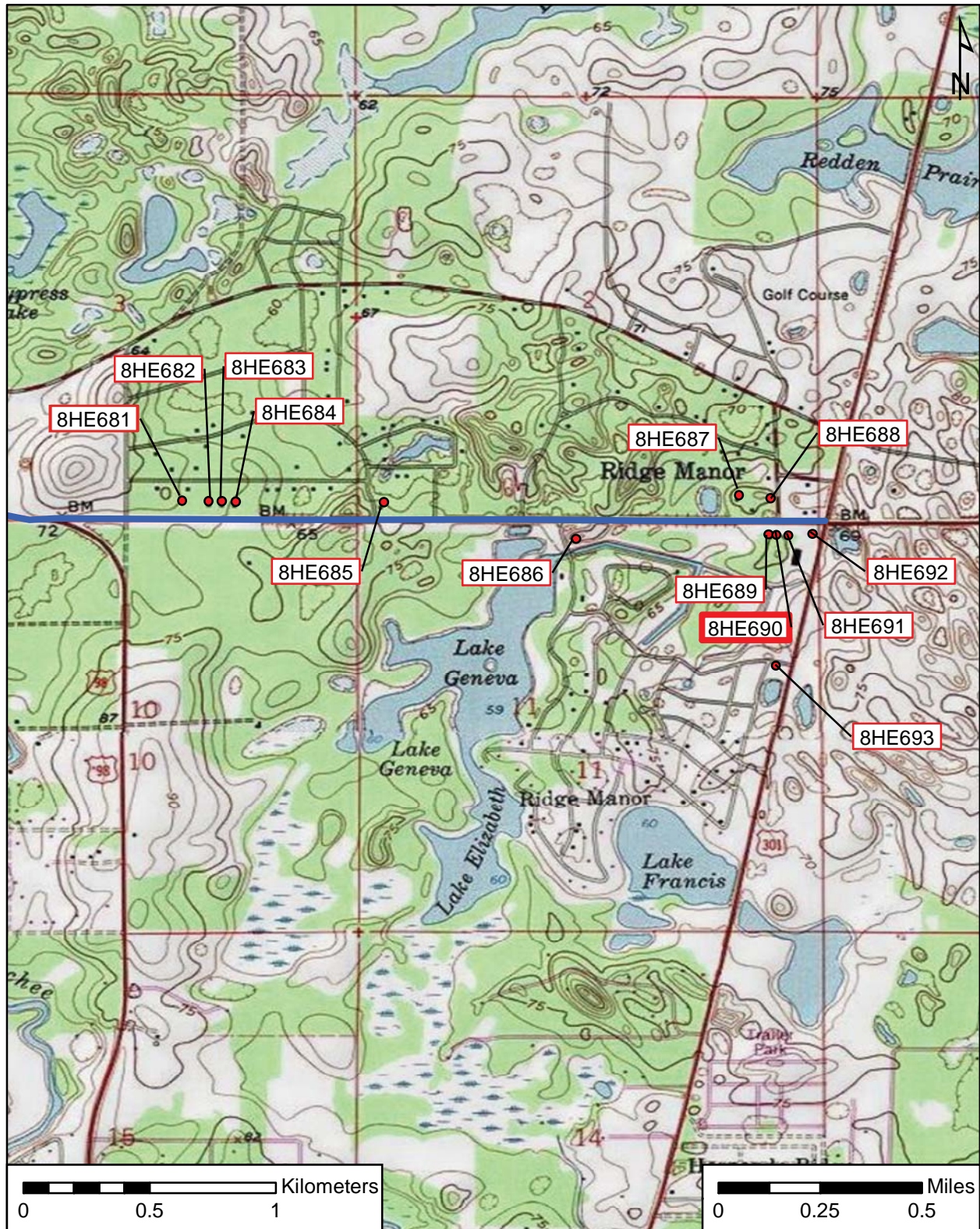
Historic Structure Form

Site # 8HE690

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 11



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00691**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 14

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 34486 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: Street Number 34486 Direction _____ Street Name Cortez Street Type Boulevard Suffix Direction _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 11 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # R11 923 21 0000 0020 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 385332 Northing 3153957
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1960 approximately year listed or earlier year listed or later
Original Use Commercial From (year): orig To (year): -
Current Use Commercial From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1970 Nature plywood siding, repl windws, closed unit
Additions: yes no unknown Date: 1-1-1970 Nature east addition
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Manor Buildings Inc. (1980-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Wood/Plywood 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1-light fixed, metal, independent

Distinguishing Architectural Features (exterior or interior ornaments) roof canopy over length of building

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ___ Chimney Material(s): 1. ___ 2. ___
Structural System(s): 1. Concrete block 2. ___ 3. ___
Foundation Type(s): 1. Slab 2. ___
Foundation Material(s): 1. Poured Concrete Footing 2. ___
Main Entrance (stylistic details) 3 commercial units with 1-light metal swing doors

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): [] excellent [x] good [] fair [] deteriorated [] ruinous

Narrative Description of Resource

Archaeological Remains [] Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- [x] FMSF record search (sites/surveys) [] library research [] building permits [] Sanborn maps
[] FL State Archives/photo collection [] city directory [] occupant/owner interview [] plat maps
[x] property appraiser / tax records [] newspaper files [] neighbor interview [x] Public Lands Survey (DEP)
[x] cultural resource survey (CRAS) [] historic photos [] interior inspection [] HABS/HAER record search
[] other methods (describe)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? [] yes [x] no [] insufficient information

Appears to meet the criteria for National Register listing as part of a district? [] yes [x] no [] insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of Masonry Vernacular style found throughout Hernando County and limited research revealed no significant historical associations. Therefore, 8HE691 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

- 1. Community planning & development 3. ___ 5. ___
2. ___ 4. ___ 6. ___

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description File or accession #'s P8007D
2) Document type Maintaining organization
Document description File or accession #'s

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments
1 USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
3 PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



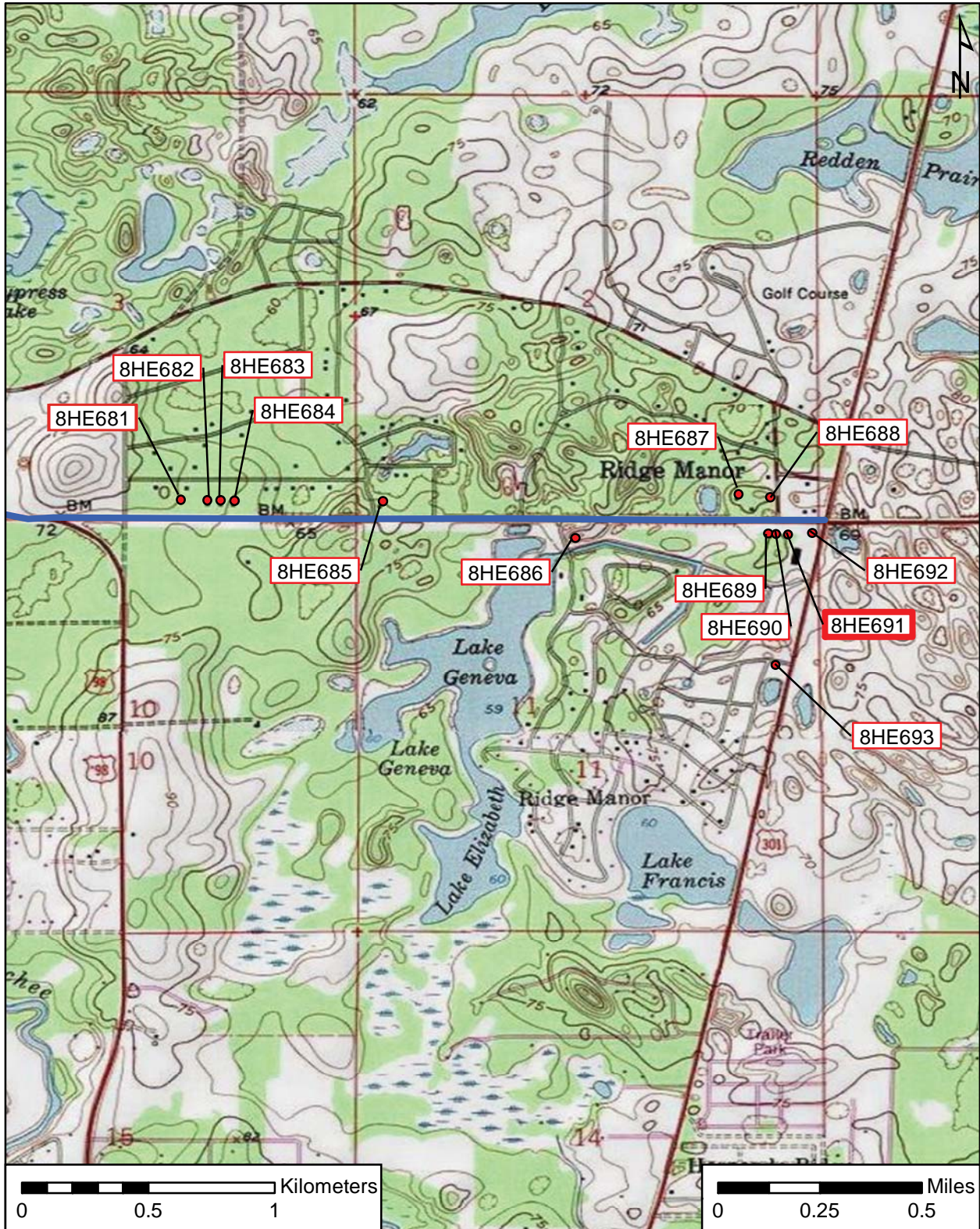
Historic Structure Form

Site # 8HE691

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 11



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00692**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 16

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 34508 Cortez Blvd. Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 401 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 34508 Cortez Boulevard
Street Number Direction Street Name Street Type Suffix Direction
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 11 ¼ section: NW SW SE NE Irregular-name: _____
Tax Parcel # R11 423 21 0000 0100 0000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 385410 Northing 3153965
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1960 approximately year listed or earlier year listed or later
Original Use Commercial From (year): orig To (year): unk
Current Use Abandoned/Vacant From (year): unk To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature _____
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Manor Buildings Inc. (1980-curr)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Moderne Exterior Plan Rectangular Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 1-light fixed, metal, independent; ribbon (3)

Distinguishing Architectural Features (exterior or interior ornaments) wide overhang/canopy on north and east elevations, window sills

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) obscured with plywood

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical example of Moderne style found throughout Hernando County and limited research revealed no significant historical associations.

Therefore, 8HE692 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
 Document description _____ File or accession #'s P8007D
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid

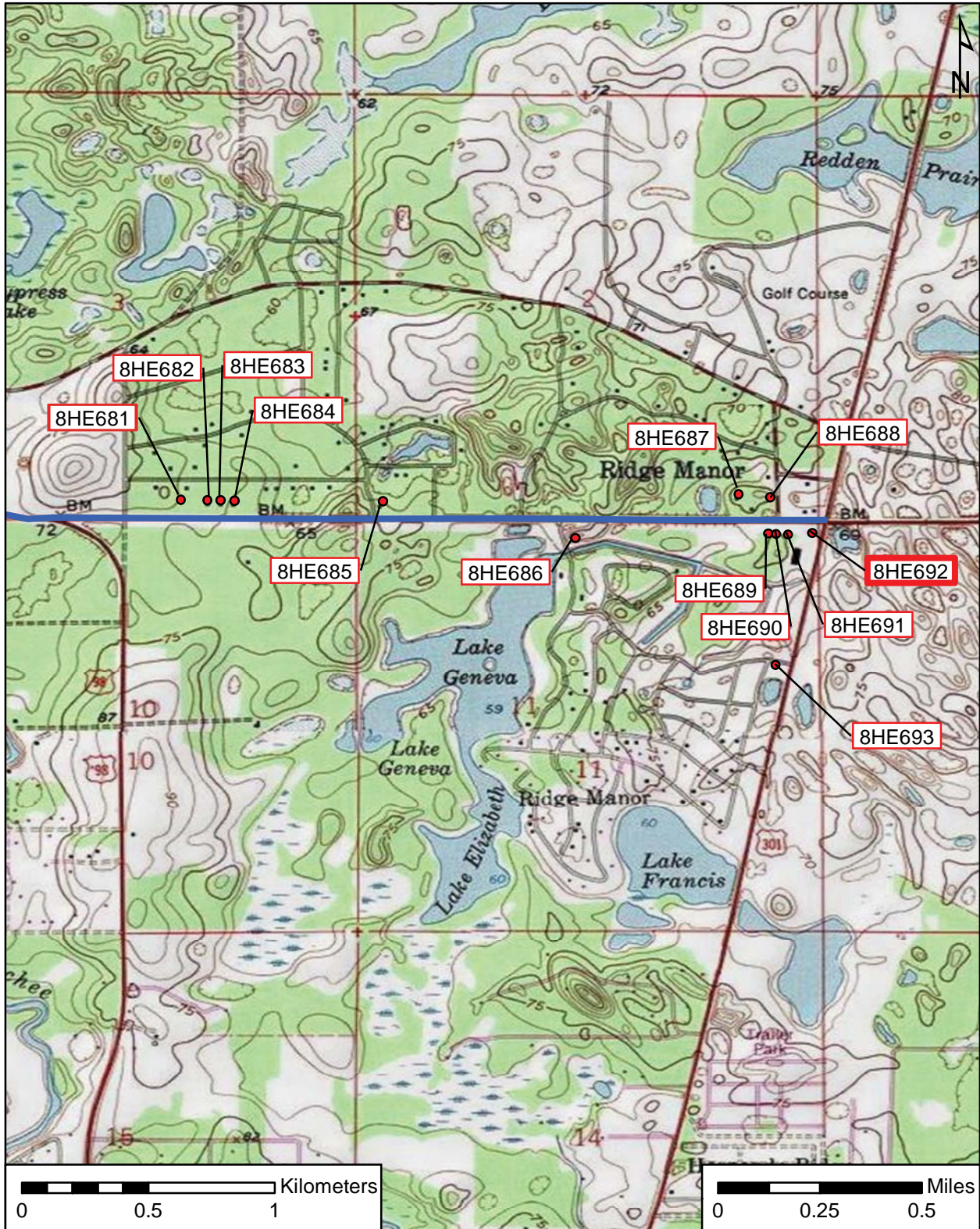


Historic Structure Form

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 11



Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **HE00693**
Field Date 1-12-2012
Form Date 1-12-2012
Recorder # 24

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Miller Lighthouse Lounge Multiple Listing (DHR only) _____
Survey Project Name CRAS SR 50 from Lockhart to US 301 Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Address: 5025 Treiman Boulevard
Cross Streets (nearest / between) _____
USGS 7.5 Map Name SAINT CATHERINE USGS Date 1958 Plat or Other Map _____
City / Town (within 3 miles) Ridge Manor In City Limits? yes no unknown County Hernando
Township 23S Range 21E Section 11 ¼ section: NW SW SE NE Irregular-name: _____
Tax Parcel # R11 123 21 0810 00A0 0140 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 385295 Northing 3153440
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1960 approximately year listed or earlier year listed or later
Original Use Commercial From (year): orig To (year): -
Current Use Commercial From (year): - To (year): curr
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: 1-1-1970 Nature covered windows, replaced windows
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): unknown Builder (last name first): unknown
Ownership History (especially original owner, dates, profession, etc.) Miller Lighthouse Lounge, Inc. (unknown-current)

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Shed 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) 2-light sliding, metal paired

Distinguishing Architectural Features (exterior or interior ornaments) concrete brackets supporting roof; canopy overhang

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) decorative lighthouse and boat to east and south

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Concrete block 2. Slab
Structural System(s): 1. Concrete block 2. Slab 3. Poured Concrete Footing
Foundation Type(s): 1. Slab 2. Poured Concrete Footing
Foundation Material(s): 1. Poured Concrete Footing 2.
Main Entrance (stylistic details) 1-light metal swing

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): [] excellent [x] good [] fair [] deteriorated [] ruinous

Narrative Description of Resource

Archaeological Remains [] Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- [x] FMSF record search (sites/surveys) [] library research [] building permits [] Sanborn maps
[] FL State Archives/photo collection [] city directory [] occupant/owner interview [] plat maps
[x] property appraiser / tax records [] newspaper files [] neighbor interview [x] Public Lands Survey (DEP)
[x] cultural resource survey (CRAS) [] historic photos [] interior inspection [] HABS/HAER record search
[] other methods (describe)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? [] yes [x] no [] insufficient information

Appears to meet the criteria for National Register listing as part of a district? [] yes [x] no [] insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This is a typical commercial building found throughout Hernando County, and limited research revealed no significant historical associations. Therefore 8HE693 does not appear eligible for listing in the NRHP.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

- 1. Community planning & development 3. 5.
2. 4. 6.

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description File or accession #'s P8007D
2) Document type Maintaining organization
Document description File or accession #'s

RECORDER INFORMATION

Recorder Name Marielle Lumang Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste A, Sarasota, FL 34240; 941-379-6206; ACIFlorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments
1 USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
3 PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

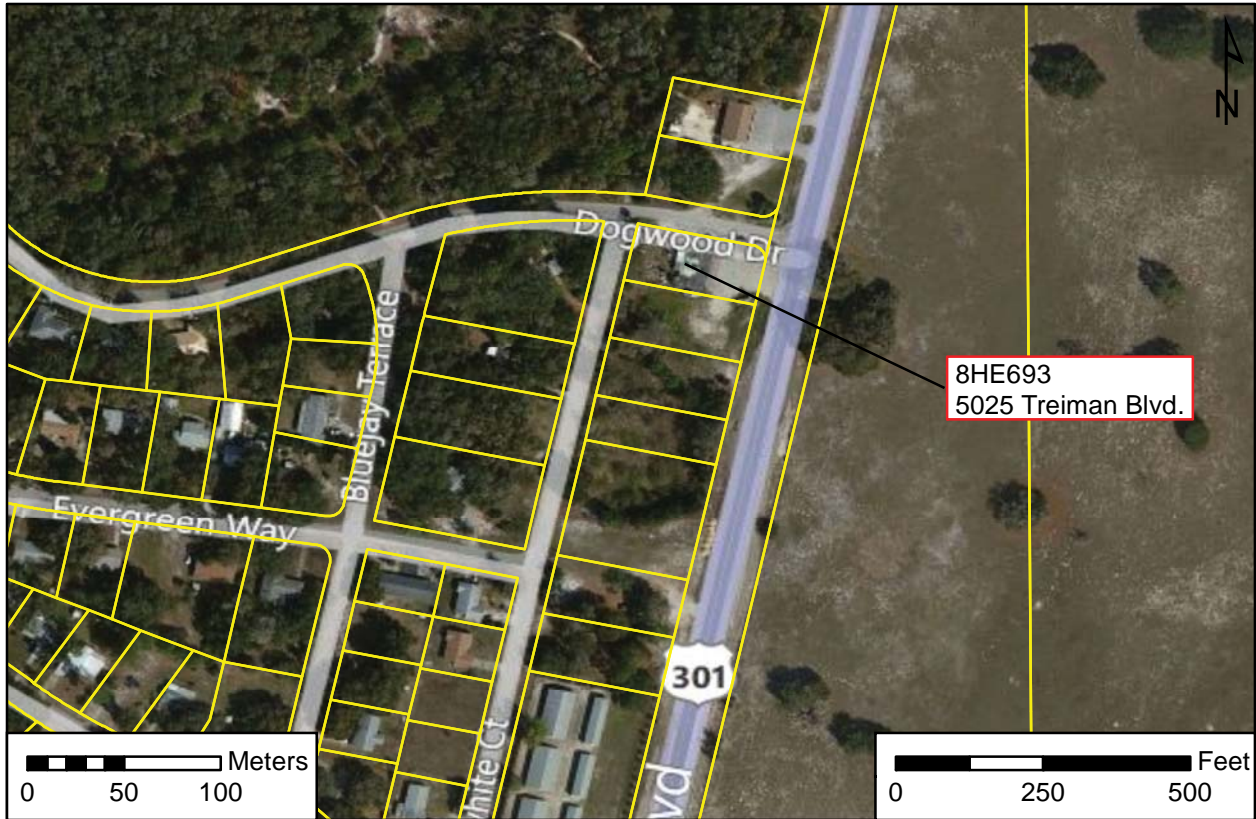


PHOTOGRAPHS





PHOTOGRAPHS



Microsoft 2010 - Bing Maps Hybrid



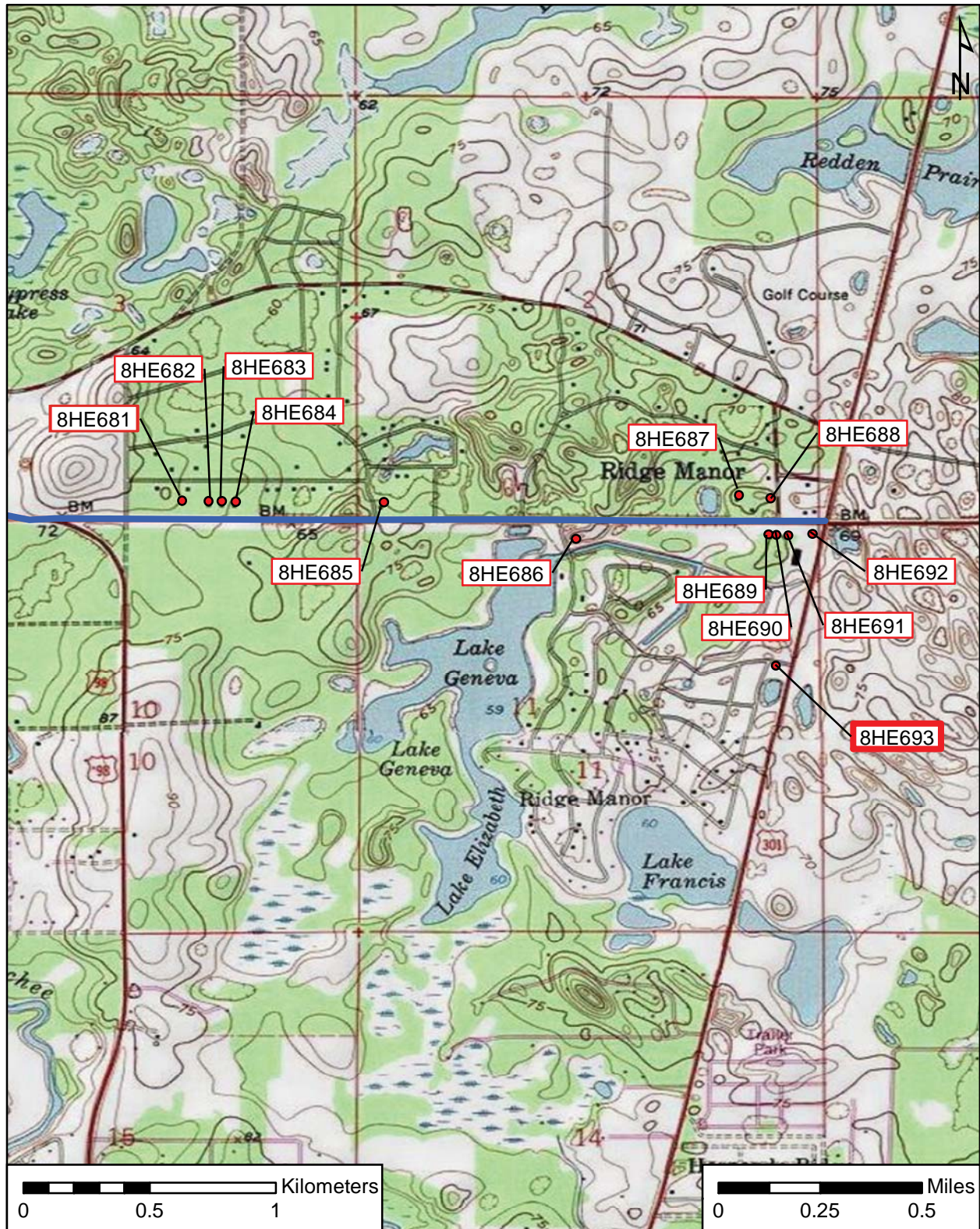
Historic Structure Form

Site # 8HE693

USGS MAP

Brooksville SE

Township 23 South, Range 21 East, Section 11



APPENDIX B: Existing and Proposed Typical Sections

SR 50 (Cortez Boulevard) from Lockhart Road to US 301 (SR 35/Treiman Boulevard)

WPI Segment No.: 416732-2

Hernando County, Florida

Proposed Typical Sections

Figure 1, showing the existing and proposed typical section, was evaluated for the Build Alternative between Lockhart Road and Kettering Road. This typical section is a six-lane divided suburban roadway with a 46-foot (ft) median, which includes a 33-ft raised grass median, including Type E curb and gutter. Three 12-ft travel lanes with 6.5-ft inside shoulders and 10-ft flush outside shoulders (5 ft paved), are provided in each direction. This typical section also contains open drainage ditches that parallel both sides of the roadway. Sidewalks, 5 ft wide, are provided adjacent to the right of way (ROW) line. The proposed design speed for this typical section is 50 miles per hour (mph), the minimum design speed for a Strategic Intermodal System facility. This typical section fits within the existing 200 ft of ROW.

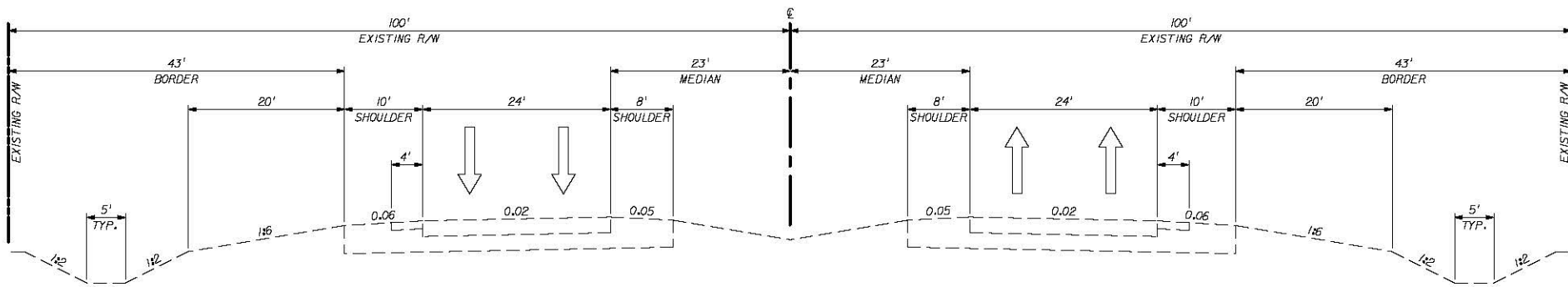
Figure 2, showing the existing and proposed typical section, was evaluated for the Build Alternative between Kettering Road and US 98 (SR 700/McKethan Road). This typical section includes both inside and outside widening to result in a six-lane divided rural roadway with a 40-ft depressed grass median and flush inside and outside shoulders. Since the Annual Average Daily Traffic (AADT) volumes are considered low volume east of Kettering Road, 8-ft inside unpaved shoulders and 8-ft outside shoulders (5 ft paved), are provided in each direction. This typical section also contains open drainage ditches and 5 ft sidewalks adjacent to the ROW line. The proposed design speed for this typical section is 65 mph. This typical section fits within the existing 200 ft (minimum) of ROW if a Design Variation is granted for the substandard border width (36 ft of 40 ft required). A preliminary drainage review supports the reduced border width. In some areas, the existing ROW width will allow the standard 40-ft border. In other areas where right turn lanes are needed, the standard border width will be reduced to fit within existing ROW.

Figure 3 shows the existing and proposed typical section from US 98 (SR 700/McKethan Road) to US 301 (SR 35/Treiman Boulevard). This segment improves SR 50 (Cortez Boulevard) from a two-lane undivided rural roadway to a four-lane divided roadway by removing the crown from the existing roadway, which will become the new westbound lanes. New pavement, 24 ft wide, will be constructed 40 ft south of the existing roadway, to become the new eastbound roadway. The completed four-lane rural roadway will have a 40-ft depressed grass median and flush 6-ft inside shoulders (0 ft paved) and 8-ft outside shoulders (5 ft paved). This typical section also contains open drainage ditches and 5 ft sidewalks adjacent to the ROW line. The proposed design speed for this typical section is 65 mph. This typical section fits within the existing 200 ft (minimum) of ROW.

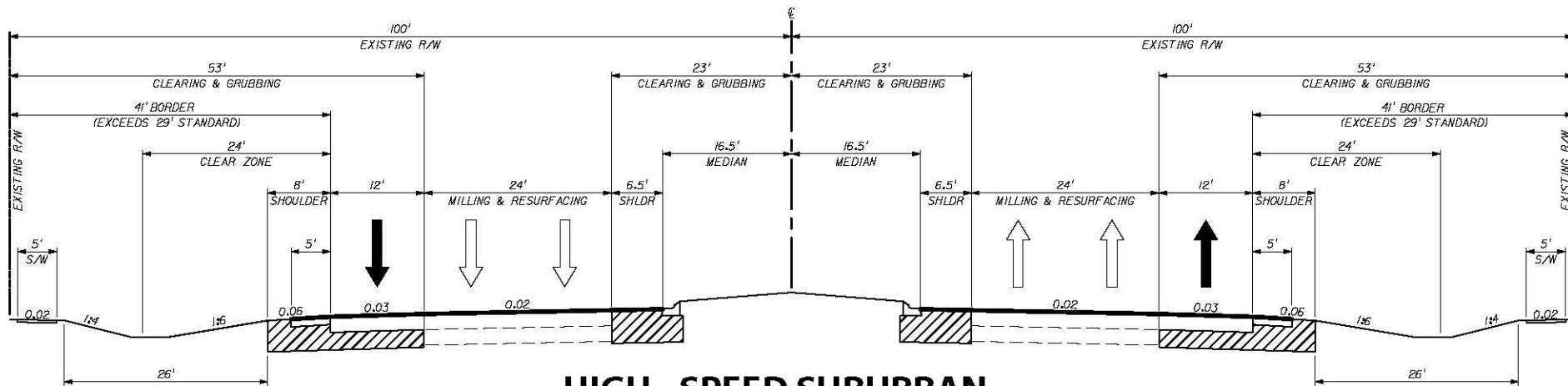
Figure 4 shows the widening of the two existing bridges over the Withlacoochee River. In order to facilitate maintenance of traffic (MOT) and limit the bridge widening to just one side of each bridge, the proposed roadway median width will transition from 40 ft to 50 ft on each approach. The outside concrete barrier of each bridge will be removed, along with the deck to the center of the first beam. Each bridge will then be widened to accommodate three 12-ft lanes, 8-ft inside and outside shoulders, and a 5-ft sidewalk separated from the shoulder with a concrete barrier. Florida I-Beams will support the widened portion of the deck.

The Build Alternative will generally follow the existing alignment, which is mostly centered within the existing 200-ft ROW. The existing two-lane undivided section from US 98 (SR 700/McKethan Road) to US 301 (SR 35/Treiman Boulevard) was originally constructed such that future widening to a rural divided multilane highway would accommodate a 40-ft median centered within the ROW.

Since no improvements are currently programmed and concepts not yet developed for the planned frontage roads, Lockhart Road, or Kettering Road, these improvements are considered in this study for planning purposes and information only. Future studies will determine the specific typical sections, lane configuration and alignments.

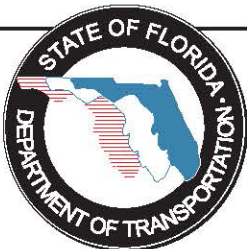


**EXISTING
DESIGN SPEED=65 MPH**



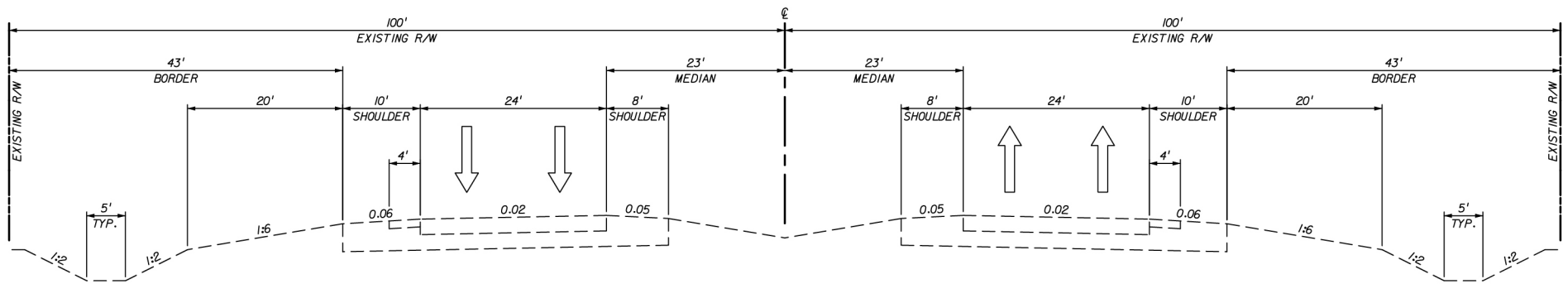
**HIGH - SPEED SUBURBAN
DESIGN SPEED = 50 MPH**

SR 50 FROM LOCKHART ROAD TO KETTERING ROAD

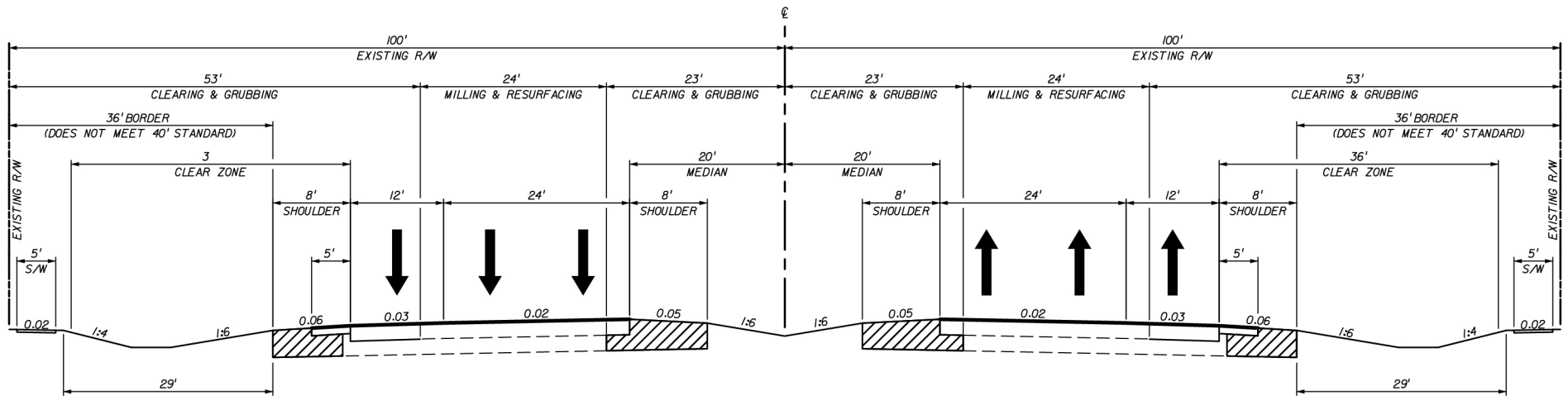


Project Development and Environment Study
SR 50 (Cortez Boulevard)
 from Lockhart Road to US 301 (Treiman Boulevard)
 Work Program Item Segment Number: 416732-2

**Figure 1
Proposed Roadway
Typical Section**

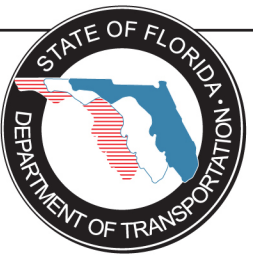


**EXISTING
DESIGN SPEED = 65 MPH**



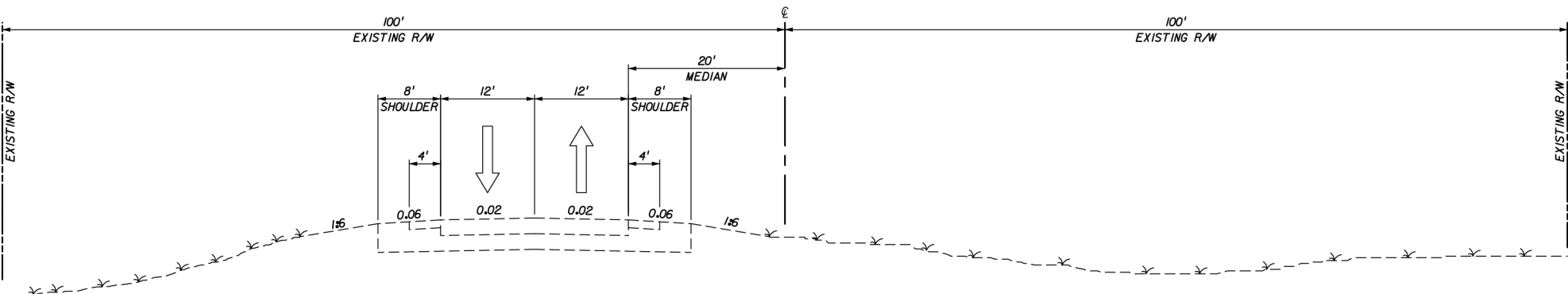
**RURAL
DESIGN SPEED = 65 MPH**

SR 50 FROM KETTERING ROAD TO US 98

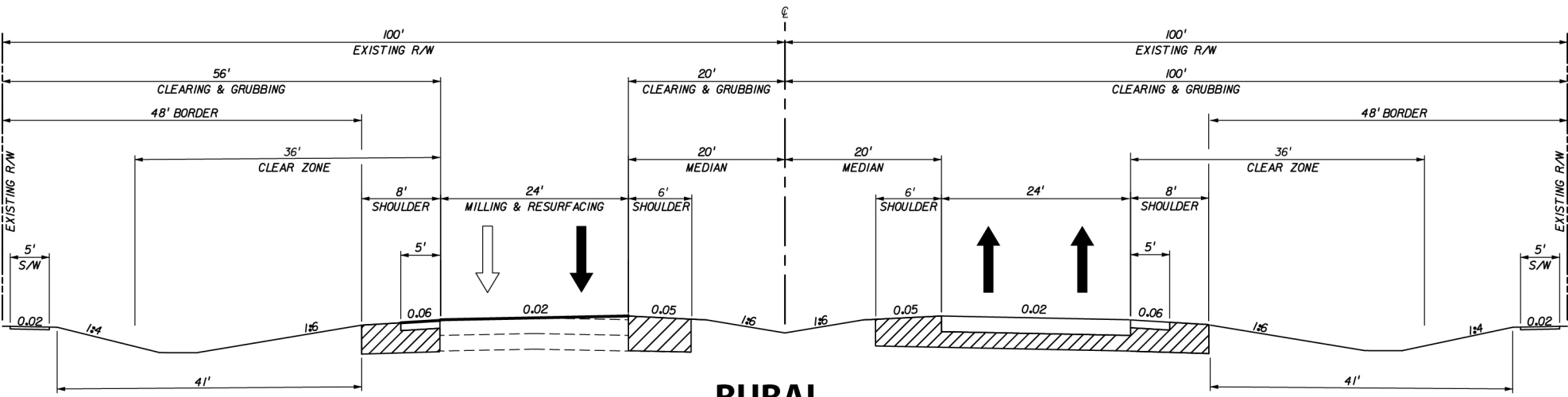


Project Development and Environment Study
SR 50 (Cortez Boulevard)
 from Lockhart Road to US 301 (Treiman Boulevard)
 Work Program Item Segment Number: 416732-2

**Figure 2
Proposed Roadway
Typical Section**

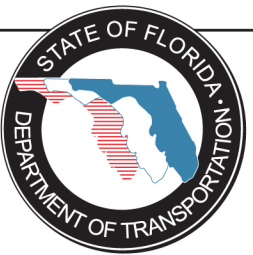


EXISTING
DESIGN SPEED = 65 MPH



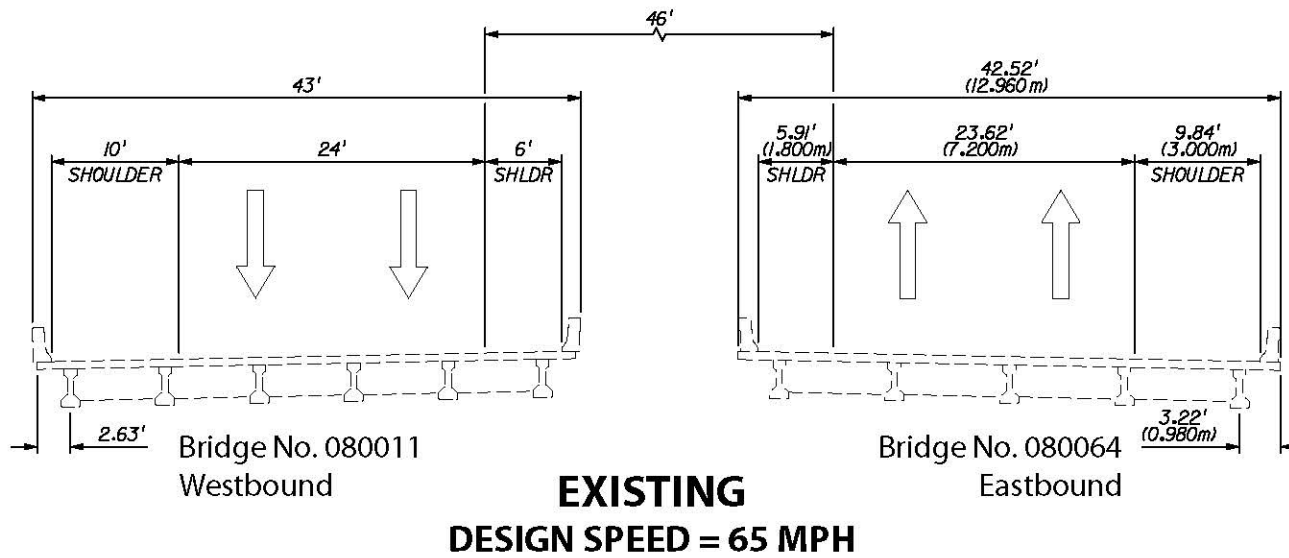
RURAL
DESIGN SPEED = 65 MPH

SR 50 FROM US 98 TO US 301

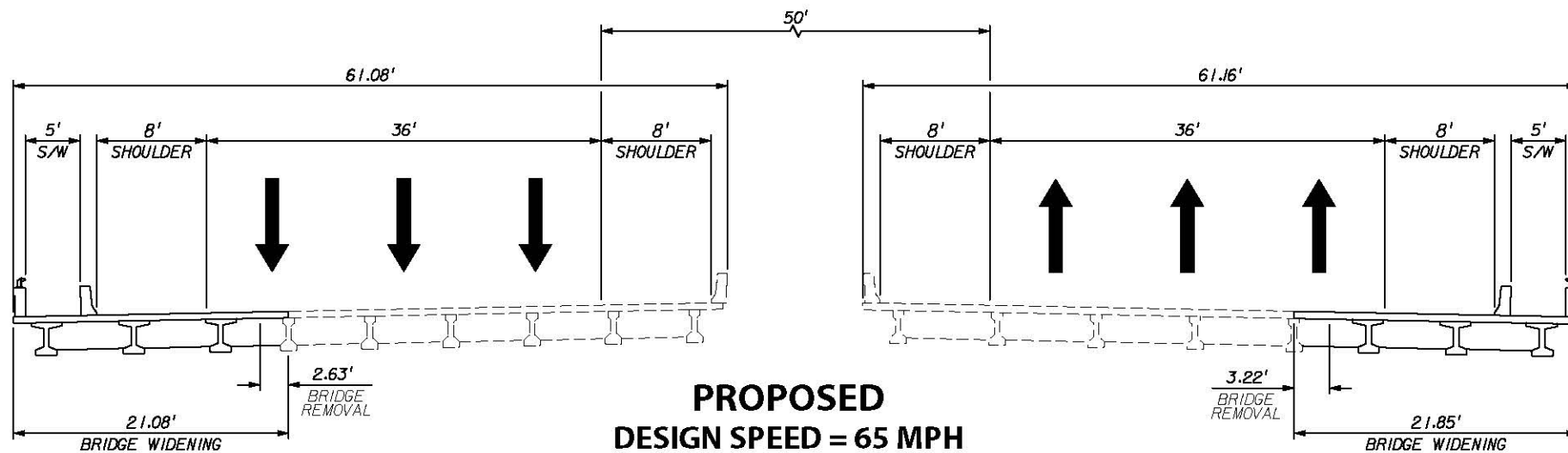


Project Development and Environment Study
SR 50 (Cortez Boulevard)
 from Lockhart Road to US 301 (Treiman Boulevard)
 Work Program Item Segment Number: 416732-2

Figure 3
Proposed Roadway
Typical Section

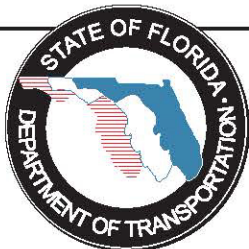


EXISTING
DESIGN SPEED = 65 MPH



PROPOSED
DESIGN SPEED = 65 MPH

SR 50 BRIDGES OVER WITHLACOCHEE RIVER



Project Development and Environment Study
SR 50 (Cortez Boulevard)
 from Lockhart Road to US 301 (Treiman Boulevard)
 Work Program Item Segment Number: 416732-2

Figure 4
Proposed
Bridge Typical Section

APPENDIX C: Survey Log Sheet

Ent D (FMSF only) _____



Survey Log Sheet

Florida Master Site File
Version 4.1 1/07

Survey # (FMSF only) _____

Consult *Guide to the Survey Log Sheet* for detailed instructions.

Identification and Bibliographic Information

Survey Project (name and project phase) Historic Structures Update Technical Memorandum of SR 50 (Cortez Blvd) from Lockhart Rd to US 301 (SR 35/Treiman Blvd), Hernando County

Report Title (exactly as on title page) Historic Structures Update Survey Technical Memorandum, SR 50 (Cortez Blvd) from Lockhart Rd to US 301 (SR 35/Treiman Blvd), Hernando County

Report Authors (as on title page, last names first) 1. ACI 3. _____
2. _____ 4. _____

Publication Date (year) 2012 Total Number of Pages in Report (count text, figures, tables, not site forms) 25

Publication Information (Give series, number in series, publisher and city. For article or chapter, cite page numbers. Use the style of *American Antiquity*.)
P8007D, ACI Sarasota

Supervisors of Fieldwork (even if same as author) Names Deming, Joan

Affiliation of Fieldworkers: Organization Archaeological Consultants Inc City Sarasota

Key Words/Phrases (Don't use county name, or common words like *archaeology, structure, survey, architecture, etc.*)

1. SR 50 3. Withlacoochee 5. _____ 7. _____
2. Ridge Manor 4. _____ 6. _____ 8. _____

Survey Sponsors (corporation, government unit, organization or person directly funding fieldwork)

Name _____ Organization Florida Dept of Transportation - District 7

Address/Phone/E-mail 11201 N. McKinley Dr. Tampa, FL 33612

Recorder of Log Sheet Lumang, Marielle Date Log Sheet Completed 1-20-2012

Is this survey or project a continuation of a previous project? No Yes: Previous survey #s (FMSF only) _____

Mapping

Counties (List each one in which field survey was done; attach additional sheet if necessary)

1. Hernando 3. _____ 5. _____
2. _____ 4. _____ 6. _____

USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name BROOKSVILLE SE Year 1954 4. Name _____ Year _____
2. Name SAINT CATHERINE Year 1958 5. Name _____ Year _____
3. Name _____ Year _____ 6. Name _____ Year _____

Description of Survey Area

Dates for Fieldwork: Start 1-12-2012 End 1-12-2012 Total Area Surveyed (fill in one) _____ hectares _____ acres

Number of Distinct Tracts or Areas Surveyed _____

If Corridor (fill in one for each) Width: _____ meters 600 feet Length: _____ kilometers 6.00 miles

Research and Field Methods

Types of Survey (check all that apply): archaeological architectural historical/archival underwater
 damage assessment monitoring report other(describe): _____

Scope/Intensity/Procedures background research, photos taken, buildings recorded, memo prepared

Preliminary Methods (check as many as apply to the project as a whole)

Florida Archives (Gray Building) library research- local public local property or tax records other historic maps
 Florida Photo Archives (Gray Building) library-special collection - nonlocal newspaper files soils maps or data
 Site File property search Public Lands Survey (maps at DEP) literature search windshield survey
 Site File survey search local informant(s) Sanborn Insurance maps aerial photography
 other (describe): internet

Archaeological Methods (check as many as apply to the project as a whole)

Check here if NO archaeological methods were used.
 surface collection, controlled shovel test-other screen size block excavation (at least 2x2 m)
 surface collection, uncontrolled water screen soil resistivity
 shovel test-1/4" screen posthole tests magnetometer
 shovel test-1/8" screen auger tests side scan sonar
 shovel test 1/16" screen coring pedestrian survey
 shovel test-unscreened test excavation (at least 1x2 m) unknown
 other (describe): _____

Historical/Architectural Methods (check as many as apply to the project as a whole)

Check here if NO historical/architectural methods were used.
 building permits demolition permits neighbor interview subdivision maps
 commercial permits exposed ground inspected occupant interview tax records
 interior documentation local property records occupation permits unknown
 other (describe): _____

Survey Results (cultural resources recorded)

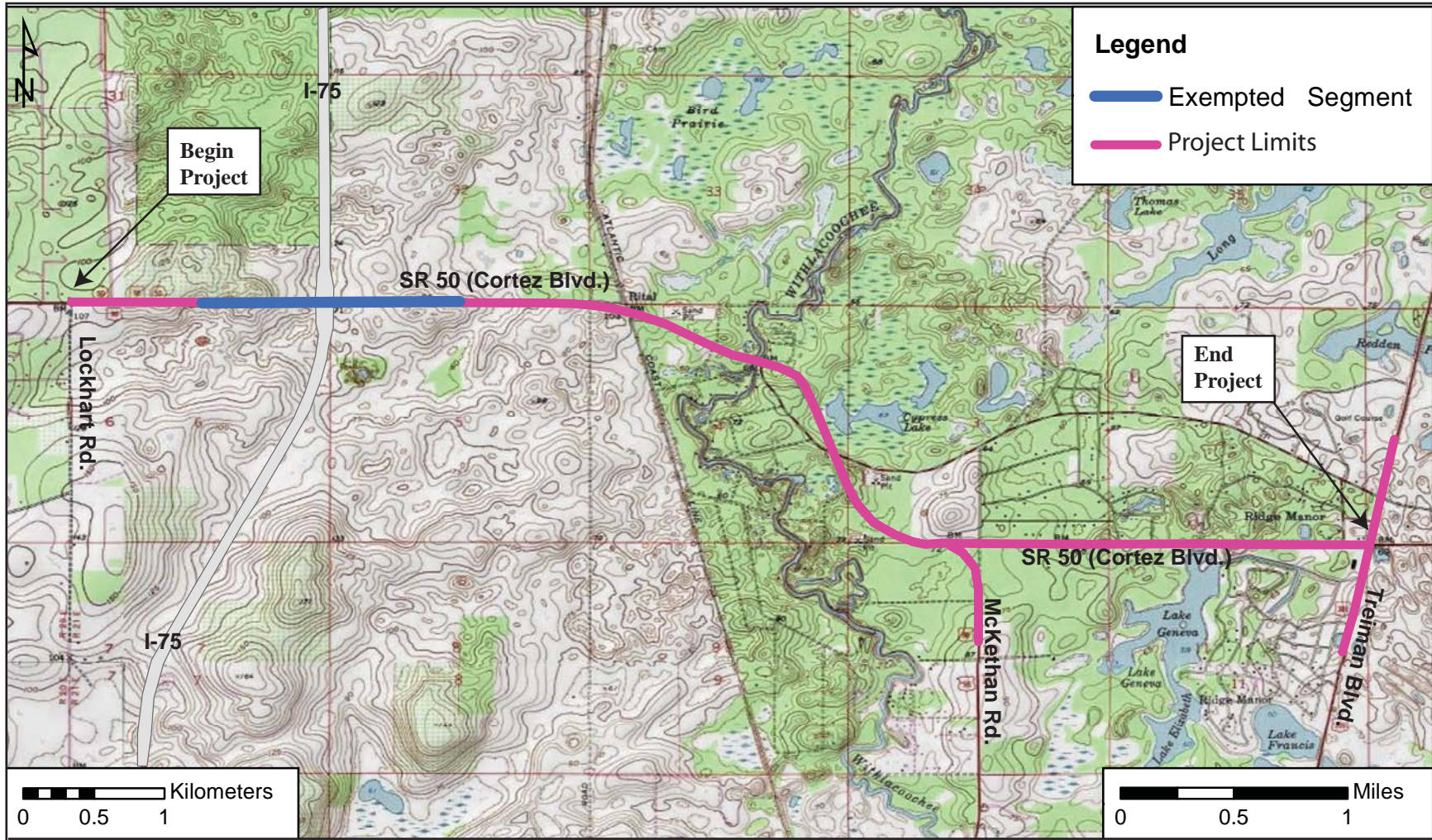
Site Significance Evaluated? Yes No
Count of Previously Recorded Sites 0 Count of Newly Recorded Sites 16
Previously Recorded Site #'s with Site File Update Forms (List site #'s without "8". Attach additional pages if necessary.) NA

Newly Recorded Site #'s (Are all originals and not updates? List site #'s without "8". Attach additional pages if necessary.) HE678-HE693

Site Forms Used: Site File Paper Form Site File Electronic Recording Form

REQUIRED: ATTACH PLOT OF SURVEY AREA ON PHOTOCOPY OF USGS 1:24,000 MAP(S)

SHPO USE ONLY SHPO USE ONLY SHPO USE ONLY
Origin of Report: 872 CARL UW 1A32 # _____ Academic Contract Avocational
 Grant Project # _____ Compliance Review: CRAT # _____
Type of Document: Archaeological Survey Historical/Architectural Survey Marine Survey Cell Tower CRAS Monitoring Report
 Overview Excavation Report Multi-Site Excavation Report Structure Detailed Report Library, Hist. or Archival Doc
 MPS MRA TG Other: _____
Document Destination: _____ Plotability: _____



SR 50 (Cortez Boulevard) project area
 Section 36, Township 22 South, Range 20 East; Sections 31 & 32, Township 22 South, Range 21 East; and
 Sections 1-6, & 10-12, Township 23 South, Range 21 East
 USGS Brooksville SE and St. Catherine
 (National Geographic Society 2011 - USA Topo Maps).

SR 50 (Cortez Blvd)
 From Lockhart Road to
 US 301 (Treiman Blvd.)
 Hernando County, Florida
 WPI Segment No.: 416732-2