

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
TECHNICAL REPORT COVERSHEET

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ENVIRONMENTAL
MANAGEMENT
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CONCEPTUAL STAGE RELOCATION PLAN

Florida Department of Transportation

District Seven

US 92/SR 600/Gandy Boulevard

Limits of Project: 4th Street to West Shore Boulevard

Pinellas and Hillsborough Counties, Florida

Financial Management Number: 441250-1-22-01

ETDM Number: 14335

Date: July 2023

The environmental review, consultation, and other actions required by applicable federal environmental laws for this project are being, or have been, carried out by the Florida Department of Transportation (FDOT) pursuant to 23 U.S.C. § 327 and a Memorandum of Understanding dated May 26, 2022 and executed by the Federal Highway Administration and FDOT.

CONCEPTUAL STAGE RELOCATION PLAN

US 92/SR 600/Gandy Boulevard from 4th Street to West Shore Boulevard Project Development and Environment Study

Pinellas & Hillsborough Counties, Florida

**Financial Project ID: 441250-1
Federal Aid Project No.: N/A**

ETDM #14335

Prepared for:



**Florida Department of Transportation
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July 2023

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1.0 Introduction

1.1 Project Description

The Florida Department of Transportation (FDOT), District Seven, is conducting a Project Development and Environment (PD&E) study to evaluate improvements to US 92/SR 600/Gandy Boulevard including roadway widening, bridge widening and/or replacement, new stormwater management facilities, and pedestrian and bicycle accommodations. The limits of the study are from US 92/SR 687/4th Street North in St. Petersburg (Pinellas County) to CR 587/South West Shore Boulevard in Tampa (Hillsborough County), a distance of approximately 7.0 miles. The project study area and project limits are shown in **Figure 1-1**. The existing Gandy Boulevard is a four-lane roadway with sidewalks and segments of multi-use trails. The project is located in Sections 7 and 8 of Township 30 South, Range 18 East, and Sections 15, 16, 17, 18, and 19 of Township 30 South, Range 17 East. Proposed improvements include a 4-lane to 6-lane controlled access roadway, frontage roads and multi-use trails. The results of the study will aid FDOT District Seven and the FDOT Office of Environmental Management (OEM) in deciding the location and design concept for the proposed improvements.

The project was evaluated through FDOT's Efficient Transportation Decision Making (ETDM) process as project #14335. An ETDM *Programming Screen Summary Report* containing comments from the Environmental Technical Advisory Team (ETAT) was published on November 8, 2018. The ETAT evaluated the project's effects on various natural, physical, and social resources.

1.2 Project Purpose and Need

The purpose of this project is to reduce traffic congestion and improve pedestrian and bicycle accommodations on Gandy Boulevard.

This project is needed to address current and future traffic demand by improving roadway capacity and to address pedestrian and bicycle accommodations with potential connectivity over Old Tampa Bay. According to Forward Pinellas (Metropolitan Planning Organization) Active Transportation Plan, construction of bike lanes and a trail from 4th Street to west of San Martin Boulevard is planned. The Duke Energy/Pinellas Loop Trail from 28th Street to San Martin Boulevard and the San Martin Boulevard Trail from Macoma Drive (at Patuca Road NE) to Gandy Boulevard are also planned.

Roadway Capacity: The US 92/SR 600/Gandy Boulevard PD&E study segment was divided into three segments for the purposes of roadway capacity and pedestrian analysis. The segment from 4th Street to the west end of the Gandy bridge operates at a deficient level of service (LOS) in both the existing year 2020 and design year 2050. The segment from the east end of the Gandy bridges

to West Shore Boulevard is forecasted to have a deficient LOS in the design year 2050.

Roadway Deficiencies: On the western side of the Gandy bridge, a sidewalk is present on the south side of the roadway from the vicinity of 99th Avenue North to approximately 0.25 miles east of San Fernando Drive. On the north side of the roadway a sidewalk is present from Oak Street to Brighton Bay Boulevard. At Brighton Bay Boulevard, a multi-use trail begins and terminates in the vicinity of the west end of Gandy bridges over Old Tampa Bay. On the eastern side of the Gandy Bridge, sidewalks are present on both sides of the roadway from the vicinity of Gandy Park South to West Shore Boulevard. There are no pedestrian or bicycle accommodations located on the Gandy bridge. This project will address the need for bicycle and pedestrian improvements along the US 92/SR 600/Gandy Boulevard corridor.

1.3 Existing Facility and Project Segments

Gandy Boulevard is part of FDOT's Strategic Intermodal System (SIS) and a designated hurricane evacuation route. FDOT's functional classification for Gandy Boulevard is an urban principal arterial-other roadway.

The project was divided into three segments for the purpose of evaluating future traffic capacity needs and differences in existing roadway typical sections as shown in **Figure 1-1**.



Figure 1-1: Project Location Map

Segment 1

Segment 1 (Pinellas Segment) begins at the western project limit at 4th Street and extends 3.5 miles to the west end of the Gandy bridges over Old Tampa Bay in Pinellas County. Within Segment 1, the existing facility consists of a four-lane divided roadway with a varying median width (40 feet minimum), four 12-foot travel lanes, paved outside shoulders (four-foot minimum) designated for bicycle use, intermittent sidewalk segments, a 12-foot multi-use trail on the north side, and open ditches along the outside. The existing right-of-way (ROW) width varies in Segment 1 with a minimum width of 172 feet as shown in **Figure 1-2**. There are numerous side street and driveway connections to the residential and business land uses between 4th Street and San Fernando Drive.

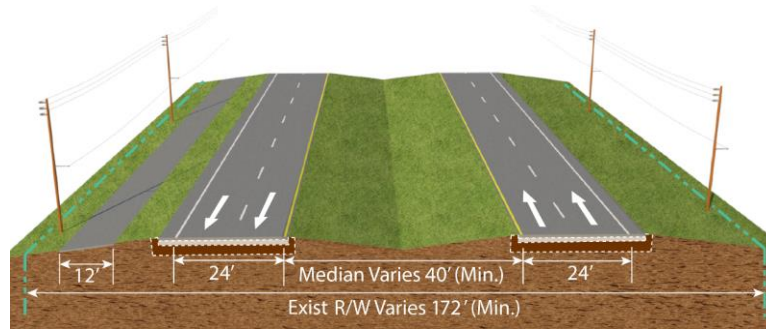


Figure 1-2: Existing Roadway Typical Section – Segment 1 – 4th St. to west end of Gandy bridges

Segment 2

Segment 2 (Bay Segment) includes the Gandy bridges over Old Tampa Bay. The existing eastbound bridge (#100300), constructed in 1975, and existing westbound bridge (#100585), constructed in 1996, extend approximately 2.5 miles. Both the existing eastbound and westbound bridges consist of two 12-foot travel lanes, a six-foot inside shoulder, and a ten-foot outside shoulder as shown in **Figure 1-3**. The westbound bridge was designed to accommodate an additional travel lane by widening on both sides of the bridge. Currently, neither the eastbound or westbound bridge provides pedestrian or bicycle accommodations.

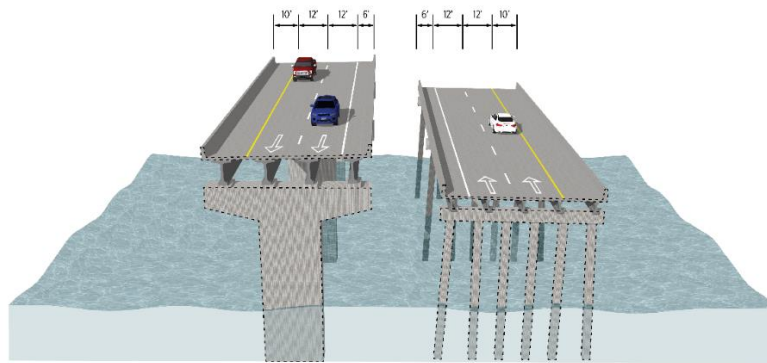


Figure 1-3: Existing Bridges Typical Section – Segment 2 – Gandy bridges

Segment 3

Segment 3 (Hillsborough Segment) begins at the east end of the Gandy bridges over Old Tampa Bay and extends for approximately one mile to West Shore Boulevard in Hillsborough County. Within Segment 3, the existing Gandy Blvd. consists of a four-lane divided roadway. The typical section consists of two 11-foot travel lanes, urban curb and gutter, and a 6 to 12-foot sidewalk/multi-use trail on the north and south side. There is a varying median width due to the inside two elevated travel lanes which serve as the Selmon Expressway (SR 618) viaduct operated and maintained by the Tampa Hillsborough Expressway Authority. The existing ROW width varies in Segment 3 with a minimum width of 100 feet as shown in **Figure 1-4**.

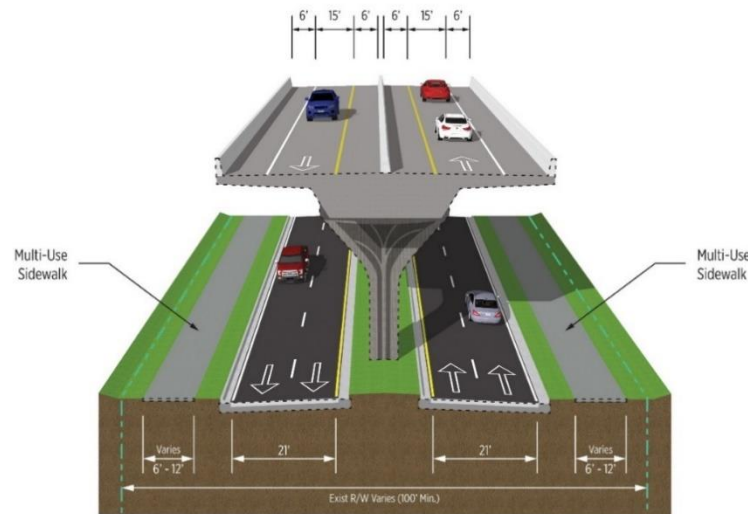


Figure 1-4: Existing Roadway Typical Section (Curb and Gutter) – Segment 3 – east end of Gandy bridges to West Shore Blvd.

1.4 Proposed Action

The proposed action is to reduce traffic congestion and improve pedestrian and bicycle accommodations by reconstructing Gandy Boulevard to provide an elevated controlled access roadway mainline separated from local traffic with frontage roads and multi-use trails on both sides of the corridor for pedestrians and bicyclists. The proposed action will also widen the existing westbound Gandy bridge to accommodate a third travel lane and construct a new bridge to provide a wider structure for three travel lanes and a multi-use trail.

1.5 Build Alternative

1.5.1 Segment 1

Typical Section 1

The Build Alternative for Segment 1 (Pinellas Segment) includes three typical sections. Typical Section 1 is proposed from 4th Street to Brighton Bay Boulevard and from east of San Martin Boulevard to approximately 3,000 feet east of San Fernando Drive. Typical Section 1 consists of an elevated controlled access facility with two 12-foot travel lanes in each direction, varying inside shoulder widths (four feet to eight feet paved), ten-foot paved outside shoulders, and a 46-foot depressed median separated by guardrail. The local traffic will be accommodated along eastbound and westbound one-way frontage roads consisting of two 11-foot travel lanes with curb and gutter. Twelve-foot multi-use trails are proposed along the outside of the frontage roads on both sides of the corridor as shown in **Figure 1-5**. Typical Section 1 will require ROW acquisition to the south side of Gandy Boulevard approaching Brighton Bay Boulevard which varies from zero to 119 feet. The alignment shifts from the south to the north through the San Martin Boulevard intersection heading east where the ROW acquisition varies from zero to 80 feet.

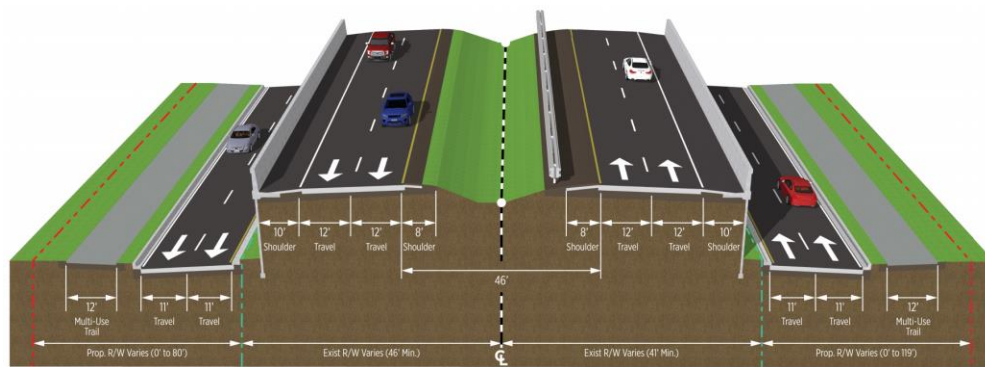


Figure 1-5: Segment 1 – Typical Section 1 from 4th Street to Brighton Bay Blvd.

Typical Section 2

Typical Section 2 is proposed from west of Brighton Bay Boulevard to San Martin Boulevard and consists of a centered elevated viaduct with frontage roads on both sides. The viaduct consists of two 12-foot travel lanes in each direction separated by a concrete barrier wall with six-foot inside shoulders and ten-foot outside shoulders. The bridge concept could be widened to the outside if additional lanes are needed in the future. The eastbound and westbound frontage roads consist of two 11-foot travel lanes with curb and gutter. Twelve-foot multi-use trails are proposed along the outside of the frontage roads on both sides of the corridor as shown in **Figure 1-6**. Typical Section 2 will require ROW acquisition along the south side of Gandy Boulevard which varies from zero to 119 feet and along the north side of Gandy Boulevard varying from zero to 80 feet.

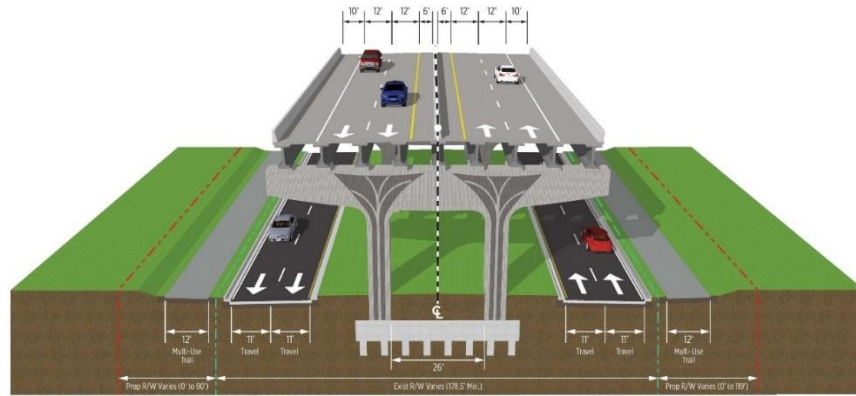


Figure 1-6: Segment 1 – Typical Section 2 from Brighton Bay to San Martin Blvd.

Typical Section 3

Typical Section 3 is proposed from San Martin Boulevard to the west end of the Gandy bridges. An additional travel lane in either direction is developed from the direct connect access ramps from the local frontage roads creating a six-lane typical section throughout the causeway which continues east over the Gandy bridges. Typical Section 3 consists of an elevated controlled access roadway with three 12-foot travel lanes in each direction, ten-foot paved inside shoulders, and ten-foot paved outside shoulders with barrier wall in each direction. The median transitions from 46 feet to 22 feet with opposing travel lanes separated by median barrier wall. One-lane frontage roads are proposed on the outside of the controlled access roadway in each direction with a 15-foot travel lane, varying outside shoulder widths (seven feet to nine feet paved), curb and gutter, and a 12-foot multi-use trail. One of the frontage roads will provide access to multi-use trail parking. Typical Section 3 is proposed within the existing FDOT ROW as shown in **Figure 1-7**.

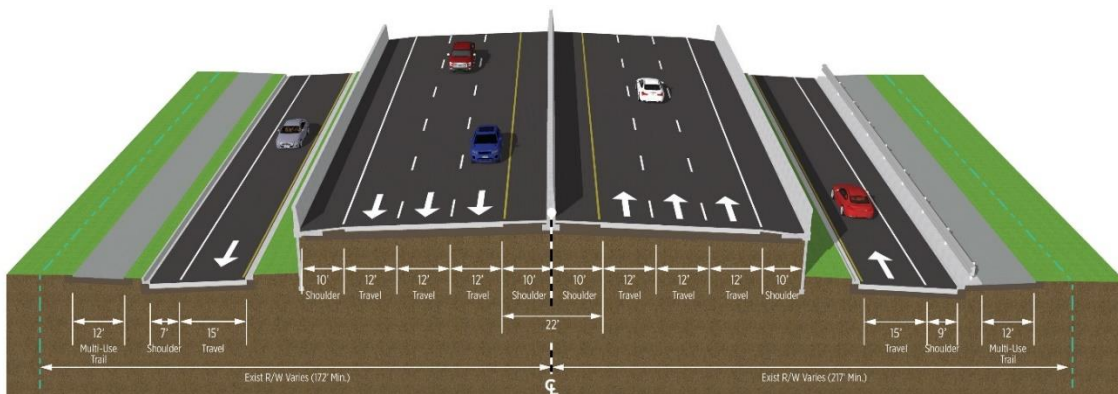


Figure 1-7: Segment 1 – Typical Section 3 from San Martin Blvd. to west end of Gandy bridges

1.5.2 Segment 2

Typical Section 4

The Build Alternative for Segment 2 (Bay Segment) includes Typical Section 4 with three eastbound travel lanes, three westbound travel lanes, and a multi-use trail on the north side of the westbound bridge. As part of the Build Alternative, the existing eastbound bridge (#100300) will be demolished. The existing westbound bridge (#100585) will be widened to both the north and south sides and placed into service as the eastbound bridge. The widened bridge (#100585) will consist of three 12-foot travel lanes and ten-foot inside and outside shoulders. A new westbound bridge will be constructed on the north side of the widened bridge. The new westbound bridge will consist of three 12-foot travel lanes, ten-foot inside and outside shoulders, and a 16-foot multi-use trail separated by barrier wall as shown in **Figure 1-8**. The typical section includes an 88-foot median with approximately 65 feet of separation between the two bridges for constructability. The proposed bridge improvements over Old Tampa Bay are within existing FDOT ROW.

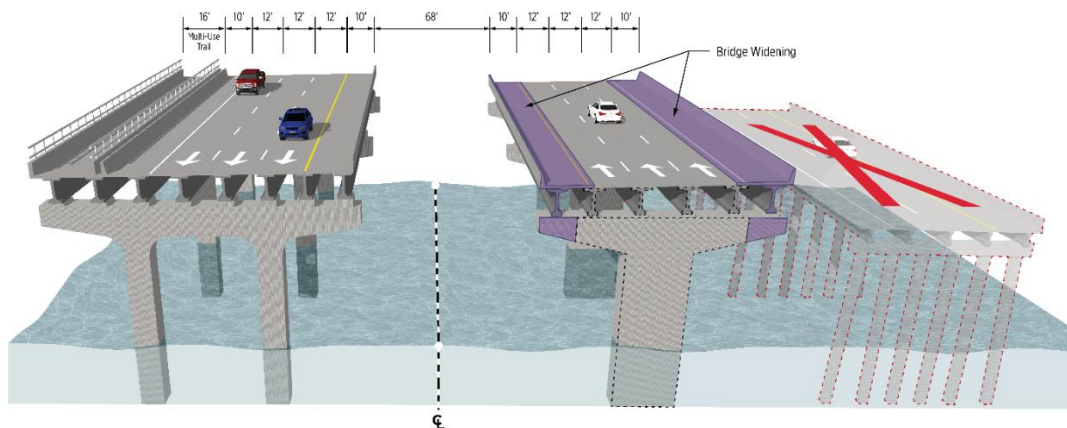


Figure 1-8: Segment 2 – Typical Section 4 Bridges over Old Tampa Bay

1.5.3 Segment 3

Typical Section 5

The Build Alternative for Segment 3 (Hillsborough Segment) provides a four-lane and six-lane divided typical section. Typical Section 5 is a transitional typical section proposed between the east end of the Gandy bridges to approximately 1,800 feet west of Bridge Street where the Selmon Expressway two-lane elevated viaduct begins in the median. Typical Section 5 consists of three 12-foot travel lanes in each direction, ten-foot paved inside shoulders bordered with guardrail and barrier wall, and ten-foot paved outside shoulders with barrier wall. The inside travel lanes function as the general use lanes across the Gandy bridges and become auxiliary lanes to serve as the entrance and exit lanes for the Selmon Expressway viaduct in the median. A 12-foot wide

multi-use trail is proposed on both sides of the roadway as shown in **Figure 1-9**.

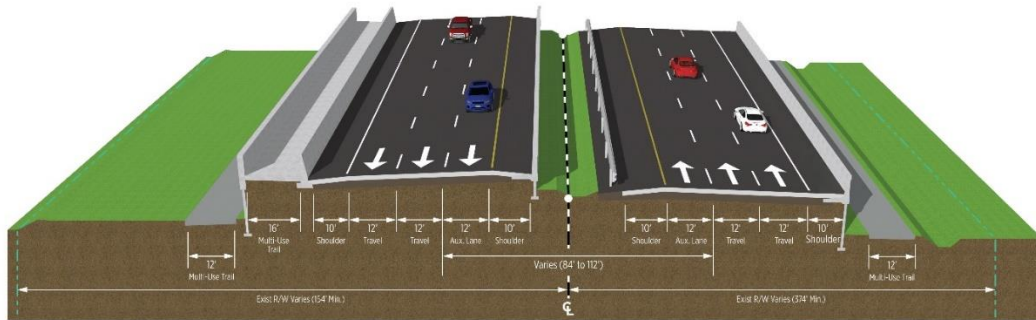


Figure 1-9: Segment 3 – Typical Section 5 from east end of Gandy bridges to approximately 1,800 feet west of Bridge Street

Typical Section 6

Typical Section 6 is proposed from approximately 1,800 feet west of Bridge Street to West Shore Boulevard. The proposed improvements within the limits of Typical Section 6 are limited to intersection and access management improvements, and auxiliary lane development to connect the proposed relocated Gandy Boat Ramp turnout approximately 800 feet west of Bridge Street. The proposed typical section will match the existing roadway with a four-lane divided roadway, one 10-foot travel lane and one 11-foot travel lane in each direction. Typical Section 6 will accommodate the existing Selmon Expressway two-lane viaduct within the median with intermittent bridge piers. (**Figure 1-10**). The Segment 3 improvements are proposed within the existing FDOT ROW.

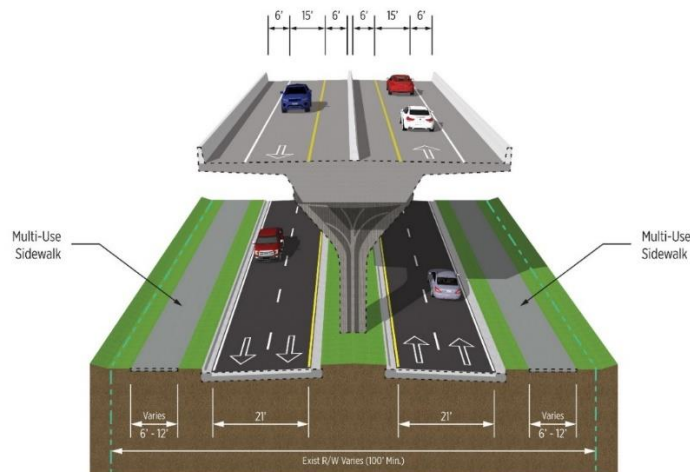


Figure 1-10: Segment 3 – Typical Section 6 from 1,800 feet west of Bridge St. to West Shore Blvd.

1.6 Proposed Pond Sites

There are four proposed drainage basins associated with the Build Alternative. In Basin 1, there is one proposed stormwater management facility (SMF), which is an expansion of an existing FDOT SMF at Gandy Blvd and 4th Street. In Basin 2, there are two offsite wet detention SMF alternatives, both located on the south side of Gandy Boulevard, and one (Pond 2B) is recommended for this study. Basins 3 and 4 are proposed to utilize nutrient removal credits that were created by the Old Tampa Bay Water Quality Improvement Project, and therefore do not have proposed SMFs. In total, two SMFs are recommended for this study.

1.7 Purpose of Conceptual Stage Relocation Plan

This Conceptual Stage Relocation Plan (CSRP) is submitted in accordance with the FDOT Right-of-way Procedures Manual and with Florida Statutes Chapter 421.55; 49 Code of Federal Regulations (CFR) Part 24; and 23 CFR Part 710 to comply with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (Public Law 91-646), as amended. The purpose of the CSRP is to evaluate the number and type of relocations resulting from the proposed project and to identify any socio-economic impacts to the surrounding neighborhoods that might occur as a result of implementing the Preferred Alternative (Build Alternative). The acquisition and relocation program will be conducted in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended. Relocation advisory services and resources are available to all residential and business relocatees without discrimination.

The American Community Survey (ACS) is the source for the baseline demographic data used in developing this CSRP. The demographic information that was analyzed includes: total population, racial and ethnic composition, elderly population, educational attainment, income, household occupancy, and housing values. This information allows for comparisons that provide reasonable representation of community impacts. Although efforts were made to minimize the impact of the proposed project on existing land uses, three business locations are anticipated to accommodate the proposed improvements and associated right-of-way acquisition. For those acquisitions that are unavoidable, relocation and financial assistance will be provided to the displaced businesses by the FDOT.

2.0 Demographics

2.1 Study Area Characteristics

The Sociocultural Data Report was created from the Preferred Alternative (Build Alternative) project limits with a 500-foot buffer in the Environmental Screening Tool (EST) from the ACS 2016-2020 results and is included in **Appendix A**. The ACS data is from twelve census block groups covering the project limits which include the following census block groups; 121030245192, 121030245172, 120570065011, 121030244102, 120570071022, 121030244113, 120570065042, 120570071031, 121030244062, 121030245191, 121030244114, 120570065041. **Table 2-1** includes a summary of demographics found within the study area and provides demographics for Pinellas and Hillsborough Counties in similar categories to compare the ACS 2016-2020 results.

Table 2-1 Demographic Summary

Category	Study Area	Pinellas County	Hillsborough County
Total Population	1,826	970,985	1,451,358
Age, Race and Ethnicity			
% Age 65+	17.96%	24.84%	14.25%
% White	73.77%	80.00%	67.09%
% Hispanic/Latino (Any Race)	12.32%	9.89%	29.07%
% Black or African American	10.35%	10.28%	16.71%
% Other	2.14%	1.61%	4.24%
% Asian Alone	4.82%	3.45%	4.18%
Educational Attainment and Language			
% Earned HS Diploma/GED or Higher	93.78%	91.62%	88.89%
% Earned Bachelor's Degree or Higher	41.67%	32.49%	34.46%
% Speak English Not Well or Not At All	1.47%	2.18%	6.23%
Household and Income			
Total Units	1,168	510,798	590,714
Total Occupied Units (Owner and Renter)	969	413,239	539,919
Median Housing Value	\$192,300	\$219,800	\$233,200
Median Household Income	\$57,267	\$56,419	\$60,566
% Households Below Poverty Level	12.80%	11.27%	13.39%

3.0 Relocation Overview

3.1 Potential Residential and Business Relocations

This CSRP documents anticipated relocations associated with implementing the Preferred Alternative (Build Alternative). The results of the study estimate zero residences and three businesses may be impacted. One of the three businesses is a landlord business. None of the businesses proposed for acquisition are considered to be major employers and do not appear to present any unusual relocation issues. Sufficient comparable replacement sites are available or will be made available for the businesses. **Table 3-1** represents the summary of anticipated relocations for the Preferred Alternative (Build Alternative).

Table 3-1: Summary of Anticipated Relocations

Preferred Alternative (Build Alternative)	Residential	Business	Publicly Owned Lands
Segment 1	0	3	0
Segment 2	0	0	0
Segment 3	0	0	0
Pond Sites Only	0	0	0

The relocatees do not appear to have special needs that would prevent the successful relocation of the potential business displacees. Nor does this project appear to have any business displacements that provide services to the elderly, handicapped, non-driver, transit-dependent, or to minority groups. Those individuals that use the transit system, where available, will still have this service available along the project corridor.

3.2 Residential Overview

The Preferred Alternative (Build Alternative) results in zero residential relocations. Therefore, a comparison of available housing is not required for this CSRP.

3.2.1 Last Resort Housing

Last Resort Housing is used when a highway project cannot proceed to construction because suitable, comparable and/or adequate replacement sale or rental housing is not available and cannot otherwise be made available to displacees within the payment limits. In order to ensure all displacees are placed in decent safe and sanitary replacement dwellings, Last Resort Housing is used in the manner necessary to fulfill the requirements of the Uniform Relocation Act. Since no residential relocations will occur with the Preferred Alternative (Build Alternative), Last Resort Housing is not required for this project.

3.3 Business Overview

A list of the names and addresses of the displaced businesses can be found in **Table 3-2**. The potential business relocations include two parcels with 3 businesses. The first potential business

relocation impacts a business identified as Spirits 365, which is owned by the same entity. The impacts are associated with an adjacent proposed floodplain compensation site. The facilities do not impact the entire parcels (**Appendix A**); however, a significant portion of each parcel is impacted, and the existing driveway access is compromised by the facilities. The driveway also accesses a residential property (owned by the same person) on an adjacent parcel; however, it appears that an alternate access to the residential property can be accommodated.

Table 3-2: Business Relocations

Station	Units	Parcel Number	Property Owner/Mailing Address	Site Address	Property Use	Business Name	Approx. No. of Employees
240+00	2	17-30-17-00000-340-0600	Three Stooges & You LLC / 10570 Gandy Blvd., St. Petersburg, FL 33702	10568 Gandy Blvd. N., St. Petersburg, FL 33702	Liquor Store	Spirits 365	5 to 10
		17-30-17-00000-340-0600	Three Stooges & You LLC / 10570 Gandy Blvd., St. Petersburg, FL 33702	10570 Gandy Blvd. N., St. Petersburg, FL 33702	Exotic Dancing Gentlemen's Club	TNA Gentlemen's Club	15 to 20
285+00	1	16-30-17-73424-000-0000	RaceTrac Petroleum Inc. C/O Ryan LLC Rick Perez / P.O. Box 2437 Smyrna, GA 30081	12025 Gandy Blvd. N., St. Petersburg, FL 33702	Convenience Store/Gas Station	RaceTrac	5 to 10

3.3.1 Available Business Sites Where Affected Businesses May Relocate

None of the business displacements are considered major employers. There are comparable replacement sites available in the area for each business to lease or purchase. A search for similar retail properties within approximately 10 miles of relocatees properties was conducted using an online commercial real estate site, Loopnet.com. The July 2023 search revealed a total of four comparable retail business sites for sale ranging in price from \$1,250,000 to \$2,650,000 and 10 comparable retail business sites for lease ranging from \$12.00 sq. ft./year to \$45.00 sq. ft./year.

Table 3-3: Comparable Business Sites for Purchase or Lease

Type of Property	Property Address	Size	Land Area	For Purchase / Lease	Price
Retail	12897 62 nd St. N, Largo, FL 33773	9,560 sq. ft.	0.71 acres	Purchase	\$2,500,000 (\$262/sq. ft.)
Retail	6901 US Hwy 19 N, Pinellas Park, FL 33781	6,204 sq. ft.	0.98 acres	Purchase	\$1,250,000 (\$201/sq. ft.)

Type of Property	Property Address	Size	Land Area	For Purchase / Lease	Price
Retail	7101 54 th Ave. N St., Petersburg FL 33709	2,680 sq. ft.	1.36 acres	Purchase	\$1,400,000 (\$522/sq. ft.)
Retail	9292 49 th St. N, Pinellas Park, FL 33782 And 9300 N 49 th St. Pinellas Park, FL 33782	8,800 sq. ft. / 1,960 sq. ft.	0.59 acres / 0.80 acres	Purchase (2 parcels)	\$2,650,000 (\$246.28 sq. ft.)
Retail	Mainlands Village Shopping Center 8999 – 9121 U.S Hwy 19 N, Pinellas, FL 33782	2,500 - 13,333 sq. ft.	18.00 acres	Lease	\$14/sq. ft./year
Retail	5825 66 th St. N, St. Petersburg, FL 33709	11,005 sq. ft.	Not listed	Lease	\$18/sq. ft./year
Retail	Echlelon City Center – Bld. 4 – Phase II Carillion Pkwy., St. Petersburg	1,000 – 13,000 sq. ft.	Not listed	Lease	\$45/sq. ft./year
Retail	12025 – 12081 Seminole Blvd., Largo, FL 33778	600 - 1,800 sq. ft.	Not listed	Lease	\$24/sq. ft./year
Retail	Buccaneer Plaza 6661 49 th St., Pinellas Park, FL 33781	1,500 sq. ft.	2.65	Lease	\$22/sq. ft./year
Retail	10751 Ulmerton Rd., Largo, FL 33778	5,056 sq. ft.	Not listed	Lease	\$30/sq. ft./year
Retail	8804 66 th St. N., Pinellas Park, FL 33782	4,494 sq. ft.	Not listed	Lease	\$16/sq. ft./year
Retail	Largo Business Park 2101 Starkey Rd., Ste R, Largo, FL 33771	1,300 – 8,181 sq. ft.	Not listed	Lease	\$30/sq. ft./year
Retail	Bardmoor Promenade 10801 Starkey Rd., Ste R, Largo, FL 33777	10,080 sq. ft.	Not listed	Lease	\$12/sq. ft./year
Retail	12654 - 12734 Starkey Rd., Ste R, Largo, FL 33773	9,159 sq. ft.	Not listed	Lease	\$21/sq. ft./year

With 3 business relocations associated with the project and the number of retail property available for lease and purchase within approximately 10 miles of the relocatees properties, future comparable relocation sites are anticipated to be available in the community subject to the retail property real estate market at the time of the right-of-way phase.

3.3.2 Likelihood of Such Relocation and Impacts on Remaining Business Community

Based on the Preferred Alternative (Build Alternative), it is estimated that a maximum of three businesses will potentially be displaced. Of the three businesses, only one is considered a landlord business relocation. The Uniform Relocation Act recognizes the act of renting property to another person or entity as a business. As such, landlords are entitled to business relocation benefits. It appears that there will be no impact on the remaining business community as a result of these displacements since multiple gas stations, liquor stores and gentlemen's clubs are located in the surrounding St. Petersburg area. The remaining businesses will still be able to operate and do not appear to be dependent on the businesses that will be displaced.

3.4 Signs

On premise signs are handled during the appraisal and acquisition phase. The owner will be compensated for the value of the signs through the appraisal process. There are on premise signs observed within the proposed right of way.

Additionally, five double sided billboards are located along the project corridor. One of these billboards, Clear Channel billboard (00168 and 000068), is located on the parcel ID 17-30-17-00000-340-0600, containing Spirits 365, which is to be acquired.

3.5 Publicly Owned Lands

When lands, buildings or other improvements are needed for transportation purposes, but are held by a governmental entity and utilized for public purposes other than transportation, the acquiring body may compensate the entity for such properties by providing functionally equivalent replacement facilities. Based on this study, there are no public facilities requiring functional replacement.

3.6 Potential Contamination Concerns

A Contamination Screening Evaluation Report (CSER) was prepared under separate cover for the PD&E study. Twenty-two (22) mainline locations were investigated for sites that may present the potential for finding petroleum contamination or hazardous materials, and therefore may impact the proposed improvements for this project. Of the twenty-two (22) mainline sites investigated, the following risk ratings were applied: one "High" rated site, five "Medium" rated sites, fourteen "Low" rated sites, and two sites rated "No" for potential contamination concerns. Additionally, two (2) preferred pond sites were investigated for contamination. Both locations investigated were applied a risk rating of "Low" for potential contamination concerns.

One of the contamination sites investigated along Gandy Blvd. is a potential business relocation site. The RaceTrac is a "Medium" rated site for a potential contamination concern. In accordance with FDOT guidelines, all "Medium" and "High" rated sites that are determined to be impacted by the Preferred Alternative (Build Alternative) during the Design Phase will be subject to Level

II contamination screening as warranted for potential construction activities and/or dewatering at or near the site.

3.7 Discussion of Special Relocation Advisory Services for Unusual Conditions or Unique Problems

Specific advisory services for identified unusual conditions or unique problems should be described. The description should identify special cases (i.e. handicapped or disabled displacees, the elderly, racial and ethnic concerns). Additionally, consideration should be given to the availability of governmental and social agencies available to serve these particular needs. Relocation advisory services are central to the success of this project in order to effectively accomplish relocation goals. Review of the business relocatees did not reveal any obvious need for specific special relocation advisory services.

A copy of the various community services for the Pinellas County area has been provided in Section 4.0 of this report to assist business relocations. Based on the research of the area from various sources, no special need has been identified.

4.0 Relocation Assistance & Resources

4.1 *Acquisition and Relocation Assistance Program*

In order to minimize the unavoidable effects of right-of-way acquisition and displacement of people, the Florida Department of Transportation will carry out a Right-of-Way and Relocation Program in accordance with Florida Statute 339.09 and the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (Public Law 91-646 as amended by Public Law 100-17).

The Florida Department of Transportation provides advance notification of impending right-of-way acquisition. Before acquiring right-of-way, all properties are appraised on the basis of comparable sales and land use values in the area. Owners of property to be acquired will be offered and paid fair market value for their property rights.

No person lawfully occupying real property will be required to move without at least 90 days written notice of the intended vacation date, and no occupant of a residential property will be required to move until decent, safe and sanitary replacement housing is made available. "Made available" means that the affected person has either obtained and has the right of possession of replacement housing, or that FDOT has offered the relocatee decent, safe and sanitary housing which is within their financial means and available for immediate occupancy.

At least one relocation specialist is assigned to each highway project to carry out the Relocation Assistance and Payments program. A relocation specialist will contact each person to be relocated to determine individual needs, and to provide information, answer questions, and give help in finding replacement property. Relocation services and payments are provided without regard to race, color, religion, sex, or national origin.

All tenants and owner-occupant displacees will receive an explanation regarding all options available to them, such as (1) varying methods of claiming reimbursement for moving expenses; (2) rental replacement housing, either private or publicly subsidized; and (3) purchase of replacement housing.

Financial assistance is available to the eligible relocatees to:

1. Reimburse the relocatee for the actual reasonable costs of moving from homes, businesses, and farm operations acquired for a highway project.
2. Make up the difference, if any, between the amounts paid for the acquired dwelling and the cost of a comparable decent, safe and sanitary dwelling available on the private market, as determined by the Department.
3. Provide reimbursement of expenses, incidental to the purchase of a replacement dwelling.
4. Make payment for eligible increased interest cost resulting from having to get another mortgage at a higher interest rate. Replacement housing payments, increased interest payments, and closing costs are limited to \$31,000 combined total.

The brochures that describe in detail the Florida Department of Transportation’s Relocation Assistance Program and Right of Way Acquisition Program are “Residential Relocation Under the Florida Relocation Assistance Program”, “Relocation Assistance Business, Farms and Non-profit Organizations”, “Mobile Home Relocation Assistance”, and “Relocation Assistance Program Personal Property Moves”. All of these brochures are distributed at all public hearings and made available upon request to any interested persons.

4.2 Relocation Resources

The Fair Housing Act, Title VIII of the Civil Rights Act of 1968, as amended, guarantees each person equal opportunity in housing. Relocation resources are available to all businesses and relocates without discrimination. Economic There are economic and social service organizations in the area that are available to assist displaced businesses. **Table 4-1** list some of those community services available within the area.

Table 4-1: Community and Social Services

University of South Florida (USF) Small Business Development Center Port Authority Building 1101 Channelside Drive, Suite 210 Tampa, FL 33602 813-905-5800	USF Connect Building 3802 Spectrum Boulevard, Suites 109 and 111 Tampa, FL 33612-9220 Field Office (813) 974-9080 or (813) 974-5238
Florida SBDC at Hillsborough County Entrepreneur Collaborative Center 2101 East Palm Avenue Tampa, FL 33605-3915 Telephone: 813-204-YBOR (9267) Fax: (813) 277-138	BBIF- Business Financing for Minority Owned Businesses 301 East Pine Street, Suite 175 Orlando, Florida 32801 Telephone: (407) 649-4780 Fax: (407) 649-8688 info@bbif.com www.bbifflorida.com
The Greenhouse 440 2nd Avenue North St. Petersburg, FL Phone: 727-893-7146 Fax: 727-551-3360 https://stpetegreenhouse.com/	St. Pete Chamber of Commerce 100 2 nd Avenue North, #150 St. Petersburg, FL 33701 Phone: 727-821-4069 https://www.stpete.com/

5.0 References

Florida Department of State. The Division of Corporations. <https://dos.myflorida.com/sunbiz/>

Florida Department of Transportation. Project Development and Environment Manual <https://www.fdot.gov/environment/pubs/pdeman/pdeman-current>.

Florida Department of Transportation. Right of Way Procedures Manual. <https://www.fdot.gov/rightofway/ProceduresManual.shtm>.

LoopNet. Commercial Real Estate Search Engine. [LoopNet: #1 in Commercial Real Estate for Sale & Lease](#).

Pinellas County Florida Property Appraiser Tax Parcel Viewer; <https://www.pcpao.org/PaoTpv/>

St. Pete Chamber of Commerce. <https://www.stpete.com/>

Appendix A

Sociocultural Data Report

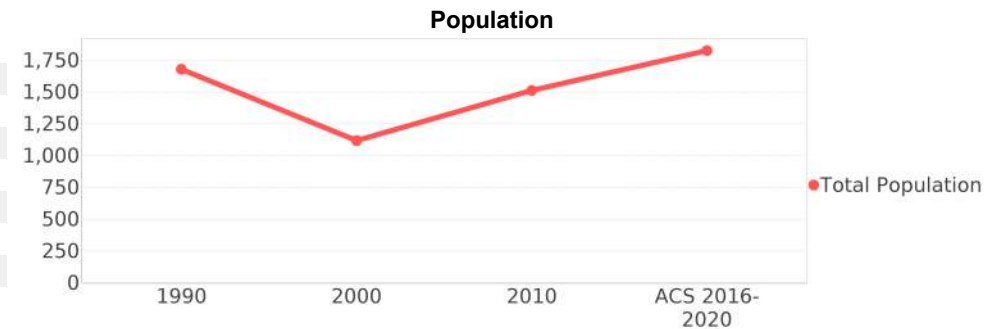
Gandy - Feature 1

Area: 1,431 square miles
Jurisdiction - Cities: St. Petersburg, Tampa
Jurisdiction - Counties: Pinellas, Hillsborough



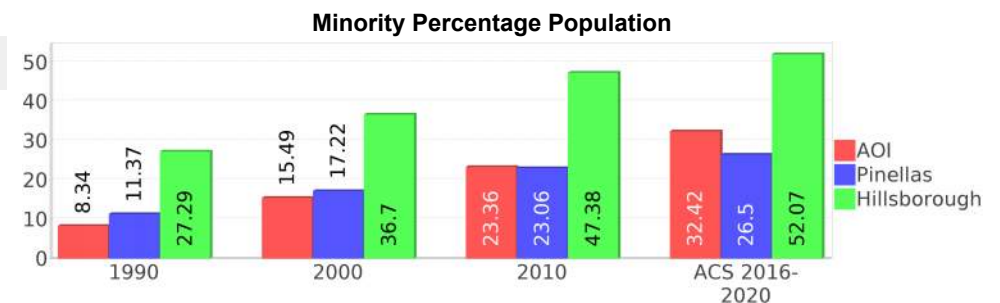
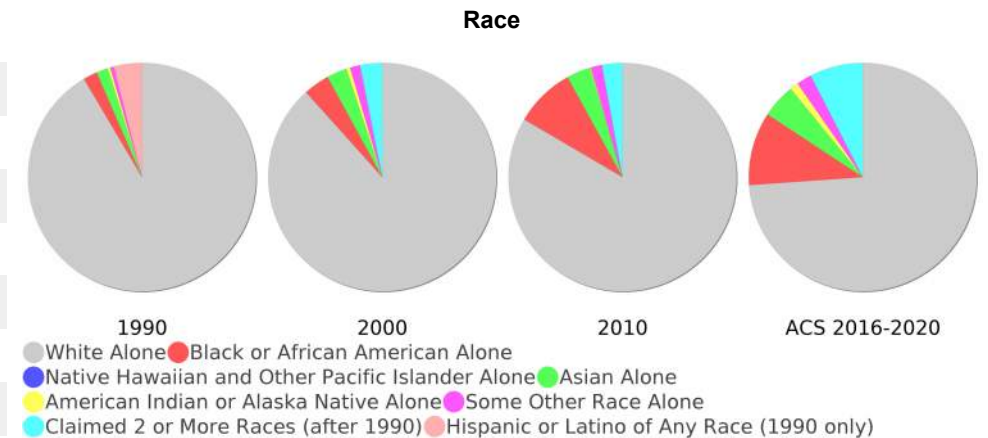
General Population Trends

Description	1990	2000	2010 ¹	ACS 2016-2020
Total Population	1,679	1,117	1,511	1,826
Total Households	963	619	804	969
Average Persons per Acre	6.97	8.64	8.70	10.86
Average Persons per Household	1.78	1.80	1.90	1.95
Average Persons per Family	2.47	2.68	2.80	2.70
Males	812	568	735	882
Females	867	548	776	943



Race and Ethnicity Trends

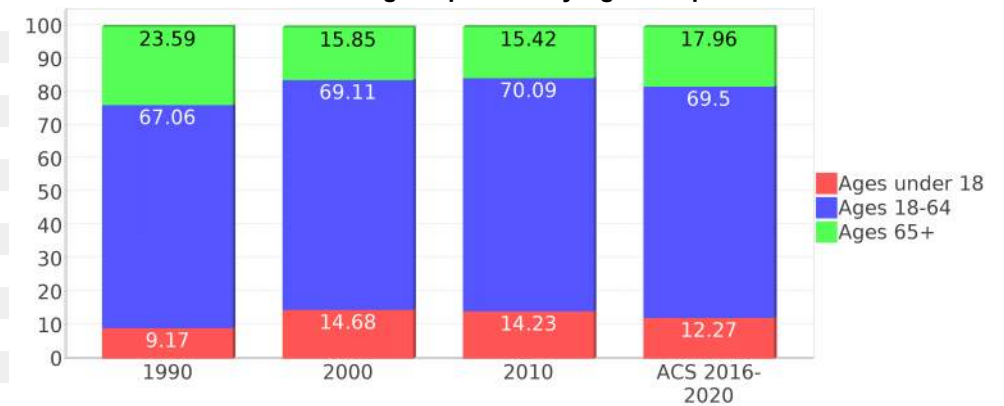
Description	1990	2000	2010 ¹	ACS 2016-2020
White Alone	1,598 (95.18%)	984 (88.09%)	1,258 (83.26%)	1,347 (73.77%)
Black or African American Alone	35 (2.08%)	41 (3.67%)	129 (8.54%)	189 (10.35%)
Native Hawaiian and Other Pacific Islander Alone	0 (0.00%)	0 (0.00%)	0 (0.00%)	0 (0.00%)
Asian Alone	29 (1.73%)	32 (2.86%)	51 (3.38%)	88 (4.82%)
American Indian or Alaska Native Alone	6 (0.36%)	6 (0.54%)	2 (0.13%)	22 (1.20%)
Some Other Race Alone	9 (0.54%)	16 (1.43%)	24 (1.59%)	39 (2.14%)
Claimed 2 or More Races	NA (NA)	35 (3.13%)	44 (2.91%)	138 (7.56%)
Hispanic or Latino of Any Race	70 (4.17%)	62 (5.55%)	138 (9.13%)	225 (12.32%)
Not Hispanic or Latino	1,609 (95.83%)	1,055 (94.45%)	1,373 (90.87%)	1,601 (87.68%)
Minority	140 (8.34%)	173 (15.49%)	353 (23.36%)	592 (32.42%)



Age Trends

Description	1990	2000	2010 ¹	ACS 2016-2020
Under Age 5	3.45%	4.03%	5.49%	3.07%
Ages 5-17	5.72%	10.65%	8.74%	9.20%
Ages 18-21	4.29%	3.94%	3.24%	1.48%
Ages 22-29	20.61%	15.58%	18.00%	21.19%
Ages 30-39	16.91%	19.79%	17.87%	15.55%
Ages 40-49	10.30%	16.65%	13.57%	11.45%
Ages 50-64	14.95%	13.16%	17.41%	19.82%
Age 65 and Over	23.59%	15.85%	15.42%	17.96%
-Ages 65-74	13.10%	7.70%	7.21%	10.90%
-Ages 75-84	8.22%	5.73%	5.43%	5.09%
-Age 85 and Over	2.20%	2.24%	2.71%	1.92%
Median Age	NA	34	37	38

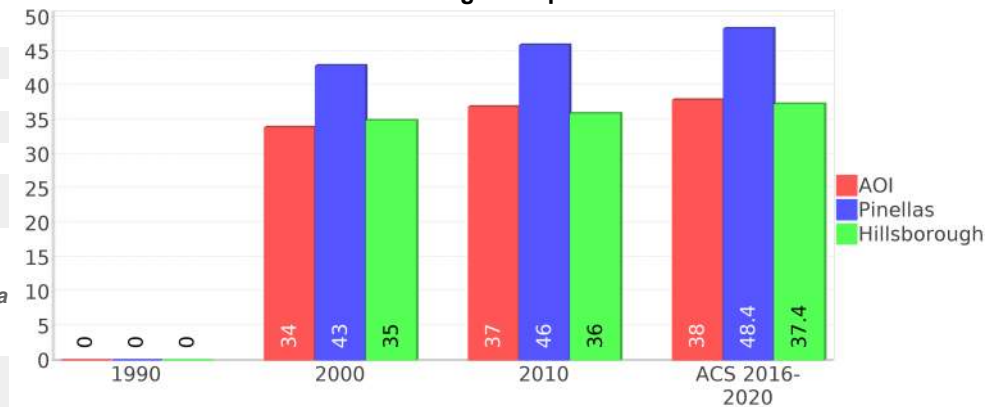
Percentage Population by Age Group



Income Trends

Description	1990	2000	2010 ¹	ACS 2016-2020
Median Household Income	\$28,941	\$35,766	\$51,462	\$57,267
Median Family Income	\$32,082	\$46,551	\$56,967	\$75,787
Population below Poverty Level	5.66%	5.91%	8.93%	11.88%
Households below Poverty Level	5.30%	5.65%	10.32%	12.80%
Households with Public Assistance Income	1.97%	1.13%	0.75%	1.96%

Median Age Comparison



Disability Trends

See the Data Sources section below for an explanation about the differences in disability data among the various years.

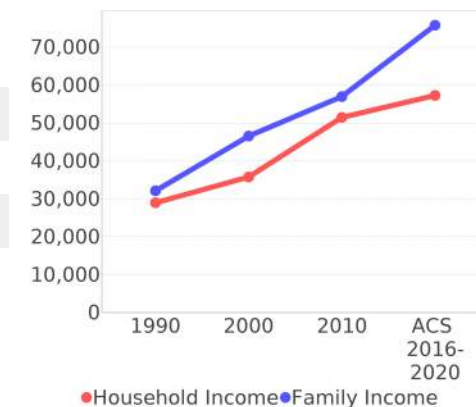
Description	1990	2000	2010 ¹	ACS 2016-2020
Population 16 To 64 Years with a disability	104 (7.24%)	125 (12.12%)	(NA)	(NA)
Population 20 To 64 Years with a disability	(NA)	(NA)	(NA)	157 (12.95%)

Educational Attainment Trends

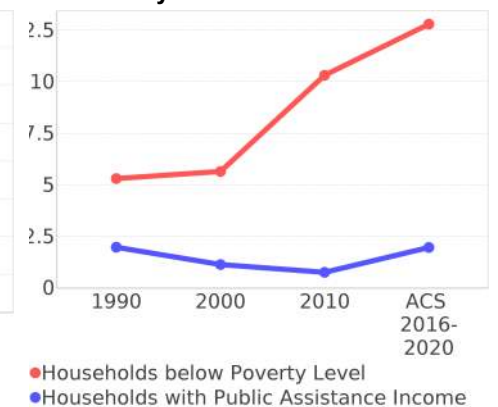
Age 25 and Over

Description	1990	2000	2010 ¹	ACS 2016-2020
Less than 9th Grade	71 (5.33%)	31 (3.62%)	36 (3.44%)	31 (2.12%)
9th to 12th Grade, No Diploma	160 (12.02%)	77 (9.00%)	72 (6.88%)	59 (4.03%)
High School Graduate or Higher	1,099 (82.57%)	747 (87.27%)	938 (89.59%)	1,373 (93.78%)
Bachelor's Degree or Higher	296 (22.24%)	263 (30.72%)	392 (37.44%)	610 (41.67%)

Income Trends



Poverty and Public Assistance



Language Trends

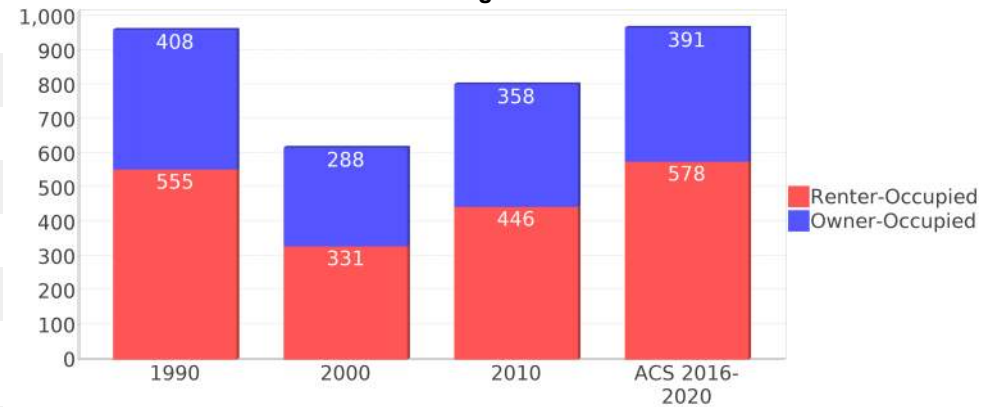
Age 5 and Over

Description	1990	2000	2010 ¹	ACS 2016-2020
Speaks English Well	33 (2.05%)	23 (2.15%)	29 (2.31%)	28 (1.58%)
Speaks English Not Well	NA (NA)	21 (1.96%)	15 (1.20%)	20 (1.13%)
Speaks English Not at All	NA (NA)	0 (0.00%)	14 (1.12%)	6 (0.34%)
Speaks English Not Well or Not at All	16 (0.99%)	21 (1.96%)	29 (2.31%)	26 (1.47%)
Speaks English Less than Very Well	NA (NA)	45 (4.20%)	59 (4.70%)	54 (3.05%)

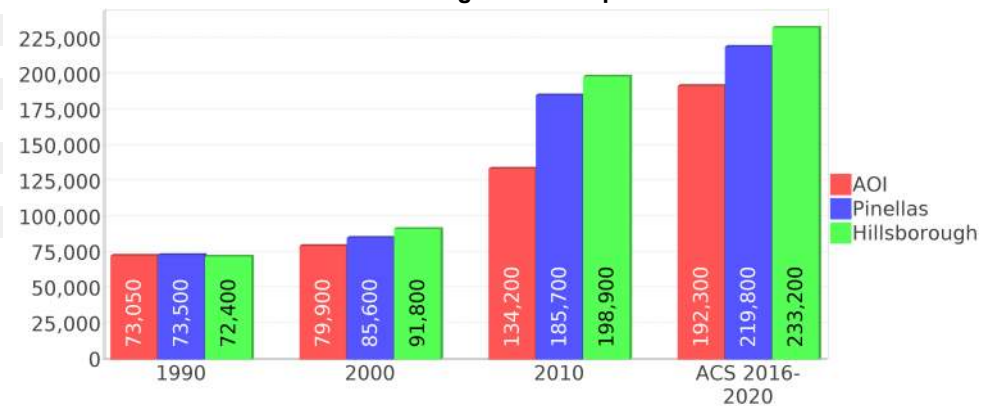
Housing Trends

Description	1990	2000	2010 ¹	ACS 2016-2020
Total	1,136	695	1,003	1,168
Units per Acre	3.12	3.11	3.39	4.12
Single-Family Units	215	155	253	202
Multi-Family Units	513	357	513	804
Mobile Home Units	226	179	159	161
Owner-Occupied Units	408	288	358	391
Renter-Occupied Units	555	331	446	578
Vacant Units	172	75	198	198
Median Housing Value	\$73,050	\$79,900	\$134,200	\$192,300
Occupied Housing Units w/No Vehicle	54 (5.60%)	30 (4.84%)	38 (4.72%)	76 (7.84%)

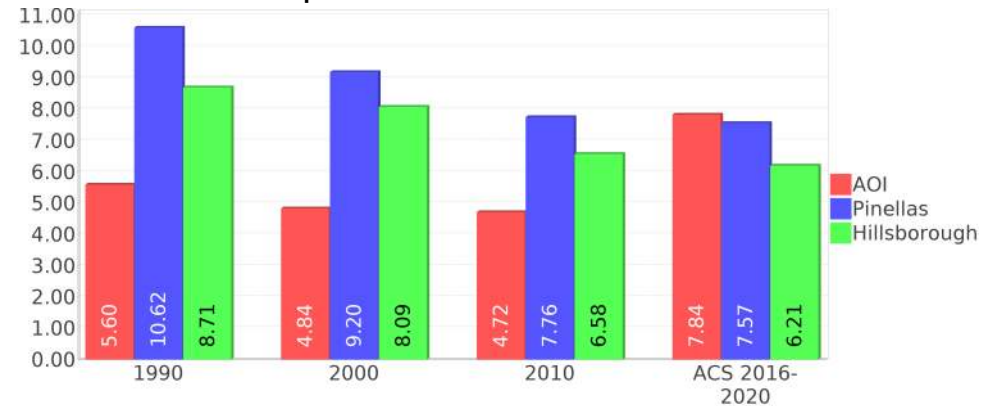
Housing Tenure



Median Housing Value Comparison



Occupied Units With No Vehicles Available



Geographic Mobility

Description	ACS 2016-2020
Median year householder moved into unit - Total	2016
Median year householder moved into unit - Owner Occupied	2010
Median year householder moved into unit - Renter Occupied	2016
Abroad 1 year ago	6
Different house in United States 1 year ago	490
Same house 1 year ago	1,324
Geographical Mobility in the Past Year - Total	1,821

Computers and Internet

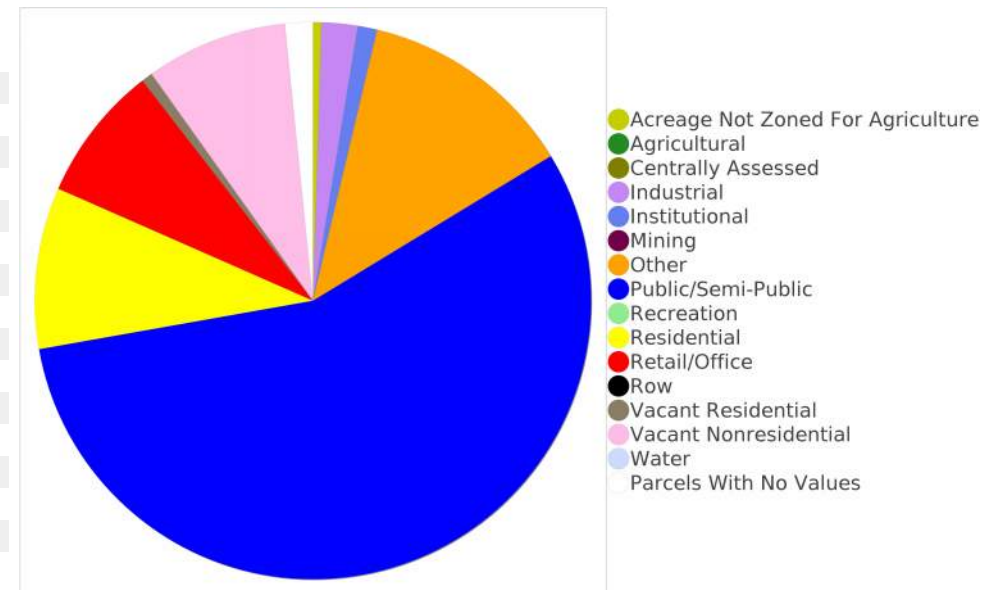
Description	ACS 2016-2020
Total Households Types of Computers in HH	969
Households with 1 or more device	916
Households with no computer	53
Total Households Presence and Types of Internet Subscriptions	969
Households with an internet subscription	862
Households with internet access without a subscription	18
Households with no internet access	89

Household Languages

Description	ACS 2016-2020
Total Households by Household Language	969
Household Not Limited English Speaking Status	951
Spanish: Limited English speaking household	18
Indo-European languages: Limited English speaking household	0
Asian and Pacific Island languages: Limited English speaking household	0
Other languages: Limited English speaking household	0

Existing Land Use

Land Use Type	Acres	Percentage
Acreage Not Zoned For Agriculture	3	0.33%
Agricultural	0	0.00%
Centrally Assessed	0	0.00%
Industrial	13	1.42%
Institutional	7	0.76%
Mining	0	0.00%
Other	78	8.52%
Public/Semi-Public	346	37.78%
Recreation	<0.5	<0.05%
Residential	58	6.33%
Retail/Office	49	5.35%
Row	<0.5	<0.05%
Vacant Residential	4	0.44%
Vacant Nonresidential	51	5.57%
Water	0	0.00%
Parcels With No Values	10	1.09%



Location Maps

No Map available

No Map available

Community Facilities

The community facilities information below is useful in a variety of ways for environmental evaluations. These community resources should be evaluated for potential sociocultural effects, such as accessibility and relocation potential. The facility types may indicate the types of population groups present in the project study area. Facility staff and leaders can be sources of community information such as who uses the facility and how it is used. Additionally, community facilities are potential public meeting venues.

Assisted Rental Housing Units

Facility Name	Address	Zip Code
FREEDOM VILLAGE II	5002 S BRIDGE ST	33611

Florida Parks and Recreational Facilities

Facility Name	Address	Zip Code
GANDY CAUSEWAY WAYSIDE BEACH CANOE LAUNCH POINTS	GANDY BLVD N	33702
GANDY WAYSIDE PARK & BOAT RAMP	SR 92 WEST END OF GANDY BRIDGE OLD TAMPA BAY	33702
AL PALONIAS PARK	5123 W GANDY BLVD	33611
GANDY (SALTY SOL FLEISHMAN) PARK & BOAT RAMP	5120 W GANDY BLVD	33611

Mobile Home Parks

Facility Name	Address	Zip Code
PINEWOOD VILLAGE	10441 GANDY BLVD	33702
GATEWAY MOBILE HOME PARK	10100 GANDY BLVD N	33716
TWIN CITY MHP	10636 GANDY BLVD	33702

Group Care Facilities

Facility Name	Address	Zip Code
GOODWILL INDUSTRIES-SUNCOAST, INC. CORRECTIONS	10596 GANDY BOULEVARD N	33702

Block Groups

The following Census Block Groups were used to calculate demographics for this report.

1990 Census Block Groups

121030244052, 121030244061, 120570065006, 120570065007, 121030244053, 121030245021, 121030244051, 120570071001

2000 Census Block Groups

121030244053, 120570065007, 120570065006, 120570071001, 121030244052, 121030244061, 121030245021, 121030244051

2010 Census Block Groups

121030244112, 121030245113, 120570065023, 120570071021, 120570071031, 120570065013, 121030244062, 121030244102, 121030245111, 121030244111

Census Block Groups

121030245192, 121030245172, 120570065011, 121030244102, 120570071022, 121030244113, 120570065042, 120570071031, 121030244062, 121030245191, 121030244114, 120570065041

Data Sources

ACS vs Census Data

(1) The 2010 Census data is represented by a combination of decennial and ACS (2006-2010) data. The General Population Trends, Race and Ethnicity Trends, Age Trends are entirely from decennial. The Income Trends, Language Trends are entirely from the ACS. The Housing Trends section is derived from both: Decennial (Total # Housing Units, Housing Units per Acre, Owner-Occupied Units, Renter-Occupied Units, Vacant Units); ACS (Single Family Units, Multi-family Units, Mobile Homes, Median Housing Value, Occupied Housing Units w/No Vehicle).

Area

(2) The geographic area of the community based on a user-defined community boundary or area of interest (AOI) boundary.

Jurisdiction

(3) Jurisdiction(s) includes local government boundaries that intersect the user-defined community or AOI boundary.

Goals, Values and History

(4) Information under the headings Goals and Values and History is entered manually by the user before the Sociocultural Data Report (SDR) is generated. This information is usually not available for communities with boundaries that are based on Census-defined places (i.e., not user-specified).

Demographic Data

(5) Demographic data reported under the headings General Population Trends, Race and Ethnicity Trends, Age Trends, Income Trends, Educational Attainment Trends, Language Trends, and Housing Trends is from the U.S. Decennial Census for 1990 and 2000 and the American Community Survey (ACS) 5-year estimates for 2006-2010 and ACS 2016-2020. The data was gathered at the block group level for user-defined communities, Census places, and AOIs, and at the county level for counties. Depending on the dataset, the data represents 100% counts (Census Summary File 1) or sample-based information (Census Summary File 3 or ACS). For more information about using demographic data, please see the training videos located here: <https://www.fdot.gov/environment/pubs/sce/sce1.shtm>.

About the Census Data

(6) The block group analysis for ETDM project analysis areas, user-defined communities, Census places, and AOI boundaries do not always correspond precisely to block group boundaries. To estimate the actual population more accurately, the SDR analysis adjusts the geographic area and data of affected block groups using the following methodology:

Delete overlapping census blocks with extremely low populations (2 or fewer people)
Remove the portion of the block group that lies outside of the analysis area
Recalculate the demographics assuming an equal area distribution of the population

Note that there may be areas where there is no population.

(7) Use caution when comparing the 100% count data (Decennial Census) to the sample-based data (ACS). In any given year, about one in 40 U.S. households will receive the ACS questionnaire. Over any five-year period, about one in eight households will receive the questionnaire, as compared to about one in six that received the long form questionnaire for the Decennial Census 2000. (Source: https://www.census.gov/content/dam/Census/programs-surveys/acs/news/10ACS_keyfacts.pdf) The U.S. Census Bureau provides help with this process: <https://www.census.gov/programs-surveys/acs/guidance/comparing-acs-data.html>

(8) Race and ethnicity are separate questions on the Census questionnaire. Individuals can report multiple race and ethnicity answers; therefore, numbers in the Race and Ethnicity portion of this report may add up to be greater than the total population. In addition, use caution when interpreting changes in race and ethnicity over time. Starting with the 2000 Decennial Census, respondents could select one or more race categories. Also in 2000, the placement of the question about Hispanic origin changed, helping to increase responsiveness to the Hispanic-origin question. Because of these and other changes, the 1990 data on race and ethnicity are not directly comparable with data from later censuses. (Source: <https://www.census.gov/library/publications/2001/dec/c2kbr01-01.html>)

(9) The "Minority" calculations use both the race and ethnicity responses from Census and ACS data. In this report, "Minority" refers to individuals who list a race other than White and/or list their ethnicity as Hispanic/Latino. In other words, people who are multi-racial, any single race other than White, or Hispanic/Latino of any race are considered minorities. We use the following formula: $\text{MINORITY} = \text{TOTALPOP} - \text{WHITE_NH}$ where TOTALPOP is the Total Population and WHITE_NH is the population with a race of White alone and an ethnicity of Not Hispanic or Latino. Translating this to the field names used in the census ACS source data, the formula looks like this: $\text{MINORITY} = \text{B01003_E001} - \text{B03002_E003}$. (Note, the WHITE_NH population is not reported separately in this report.)

(10) Disability data is not included in the 2010 Decennial Census or the 2006-2010 ACS. This data is available in the ACS 2016-2020 ACS. Because of changes made to the Census and ACS questions between 1990 and ACS, disability variables should not be compared from year to year. For example: 1) with the 1990 data, the disabilities are listed as a "work disability" while this distinction is not made with 2000 or ACS data; 2) the ACS data includes the institutionalized population (e.g. persons in prisons and group homes) while this population is not included in 1990 or 2000; and 3) the age groupings changed over the years.

(11) The category Bachelor's Degree or Higher under the heading Educational Attainment Trends is a subset of the category High School Graduate or Higher.

(12) Income of households. This includes the income of the householder and all other individuals 15 years old and over in the household, whether they are related to the householder or not. Because many households consist of only one person, average household income is usually less than average family income.

(13) Income of families. In compiling statistics on family income, the incomes of all members 15 years old and over related to the householder are summed and treated as a single amount.

(14) Age trends. The median age for 1990 is not available.

Land Use Data

(15) The Land Use information Indicates acreages and percentages for the generalized land use types used to group parcel-specific, existing land use assigned by the county property appraiser office according to the Florida Department of Revenue land use codes.

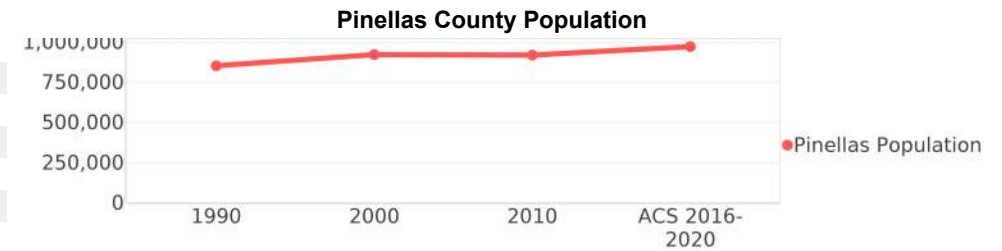
Community Facilities Data

- (16) Assisted Rental Housing Units - Identifies multifamily rental developments that receive funding assistance under federal, state, and local government programs to offer affordable housing as reported by the Shimberg Center for Housing Studies, University of Florida.
- (17) Mobile Home Parks - Identifies approved or acknowledged mobile home parks reported by the Florida Department of Business and Professional Regulation and Florida Department of Health.
- (18) Migrant Camps - Identifies migrant labor camp facilities inspected by the Florida Department of Health.
- (19) Group Care Facilities - Identifies group care facilities inspected by the Florida Department of Health.
- (20) Community Center and Fraternal Association Facilities - Identifies facilities reported by multiple sources.
- (21) Law Enforcement Correctional Facilities - Identifies facilities reported by multiple sources.
- (22) Cultural Centers - Identifies cultural centers including organizations, buildings, or complexes that promote culture and arts (e.g., aquariums and zoological facilities; arboreta and botanical gardens; dinner theaters; drive-ins; historical places and services; libraries; motion picture theaters; museums and art galleries; performing arts centers; performing arts theaters; planetariums; studios and art galleries; and theater producers stage facilities) reported by multiple sources.
- (23) Fire Department and Rescue Station Facilities - Identifies facilities reported by multiple sources.
- (24) Government Buildings - Identifies local, state, and federal government buildings reported by multiple sources.
- (25) Health Care Facilities - Identifies health care facilities including abortion clinics, dialysis clinics, medical doctors, nursing homes, osteopaths, state laboratories/clinics, and surgicenters/walk-in clinics reported by the Florida Department of Health.
- (26) Hospital Facilities - Identifies hospital facilities reported by multiple sources.
- (27) Law Enforcement Facilities - Identifies law enforcement facilities reported by multiple sources.
- (28) Parks and Recreational Facilities - Identifies parks and recreational facilities reported by multiple sources.
- (29) Religious Center Facilities - Identifies religious centers including churches, temples, synagogues, mosques, chapels, centers, and other types of religious facilities reported by multiple sources.
- (30) Private and Public Schools - Identifies private and public schools reported by multiple sources.
- (31) Social Service Centers - Identifies social service centers reported by multiple sources.
- (32) Veteran Organizations and Facilities

Pinellas County Demographic Profile

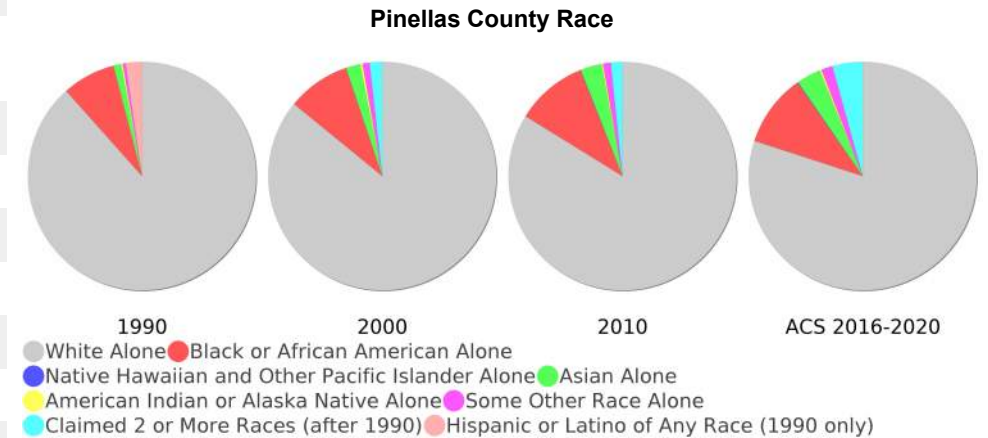
General Population Trends - Pinellas

Description	1990	2000	2010 ¹	ACS 2016-2020
Total Population	851,659	921,482	918,263	970,985
Total Households	380,635	414,968	405,649	413,239
Average Persons per Acre	4.564	4.979	4.962	5.24
Average Persons per Household	2.237	2.164	2.00	2.30
Average Persons per Family	2.786	2.836	2.964	3.10
Males	397,563	438,291	440,533	465,985
Females	454,096	483,191	477,730	505,000



Race and Ethnicity Trends - Pinellas

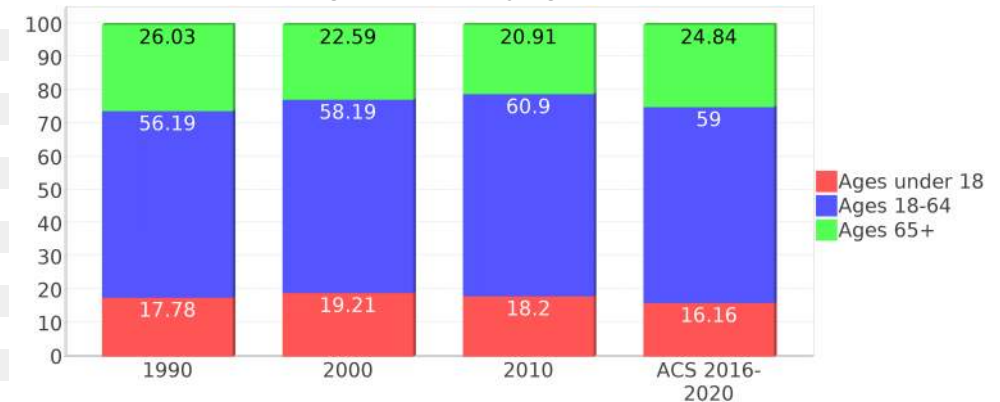
Description	1990	2000	2010 ¹	ACS 2016-2020
White Alone	770,374 (90.46%)	791,372 (85.88%)	769,296 (83.78%)	776,810 (80.00%)
Black or African American Alone	65,868 (7.73%)	82,384 (8.94%)	93,342 (10.17%)	99,798 (10.28%)
Native Hawaiian and Other Pacific Islander Alone	(NA)	226 (0.02%)	801 (0.09%)	913 (0.09%)
Asian Alone	9,523 (1.12%)	18,783 (2.04%)	27,616 (3.01%)	33,532 (3.45%)
American Indian or Alaska Native Alone	1,985 (0.23%)	2,903 (0.32%)	2,028 (0.22%)	2,466 (0.25%)
Some Other Race Alone	3,642 (0.43%)	9,278 (1.01%)	9,972 (1.09%)	15,637 (1.61%)
Claimed 2 or More Races	(NA)	16,536 (1.79%)	15,208 (1.66%)	41,829 (4.31%)
Hispanic or Latino of Any Race	20,069 (2.36%)	42,128 (4.57%)	68,009 (7.41%)	96,064 (9.89%)
Not Hispanic or Latino	831,590 (97.64%)	879,354 (95.43%)	850,254 (92.59%)	874,921 (90.11%)
Minority	96,857 (11.37%)	158,659 (17.22%)	211,756 (23.06%)	257,355 (26.50%)



Age Trends - Pinellas

Description	1990	2000	2010 ¹	ACS 2016-2020
Under Age 5	5.24%	4.87%	4.66%	4.32%
Ages 5-17	12.54%	14.34%	13.53%	11.84%
Ages 18-21	4.19%	3.60%	4.19%	3.57%
Ages 22-29	10.56%	8.15%	8.59%	9.22%
Ages 30-39	14.69%	13.98%	11.05%	11.65%
Ages 40-49	11.75%	15.40%	15.14%	11.44%
Ages 50-64	15.00%	17.07%	21.93%	23.12%
Age 65 and Over	26.03%	22.59%	20.91%	24.84%
-Ages 65-74	13.49%	10.55%	9.92%	13.32%
-Ages 75-84	9.41%	8.81%	7.57%	7.74%
-Age 85 and Over	3.13%	3.23%	3.41%	3.78%
Median Age	NA	43	46	48.4

Percentage Population by Age Group - Pinellas



Income Trends - Pinellas

Description	1990	2000	2010 ¹	ACS 2016-2020
Median Household Income	\$26,296	\$37,111	\$45,258	\$56,419
Median Family Income	\$32,634	\$46,925	\$58,335	\$75,478
Population below Poverty Level	9.50%	9.97%	12.08%	11.59%
Households below Poverty Level	9.48%	9.48%	11.18%	11.27%
Households with Public Assistance Income	4.48%	2.28%	1.61%	2.35%

Disability Trends - Pinellas

See the Data Sources section below for an explanation about the differences in disability data among the various years.

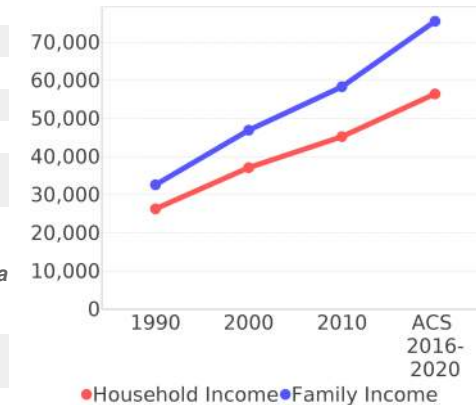
Description	1990	2000	2010 ¹	ACS 2016-2020
Population 16 To 64 Years with a disability	46,369 (6.63%)	120,867 (14.02%)	NA (NA)	NA (NA)
Population 20 To 64 Years with a disability	NA (NA)	NA (NA)	NA (NA)	63,689 (11.57%)

Educational Attainment Trends - Pinellas

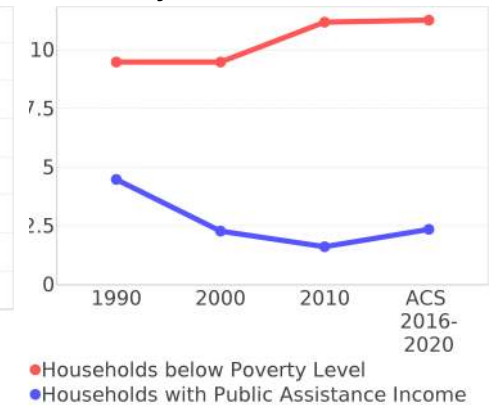
Age 25 and Over

Description	1990	2000	2010 ¹	ACS 2016-2020
Less than 9th Grade	41,960 (6.58%)	26,921 (3.92%)	23,441 (3.42%)	20,736 (2.76%)
9th to 12th Grade, No Diploma	98,030 (15.37%)	82,777 (12.06%)	58,112 (8.49%)	42,120 (5.61%)
High School Graduate or Higher	497,881 (78.05%)	576,396 (84.01%)	603,326 (88.09%)	687,314 (91.62%)
Bachelor's Degree or Higher	117,805 (18.47%)	157,235 (22.92%)	185,600 (27.10%)	243,730 (32.49%)

Income Trends



Poverty and Public Assistance



Language Trends - Pinellas

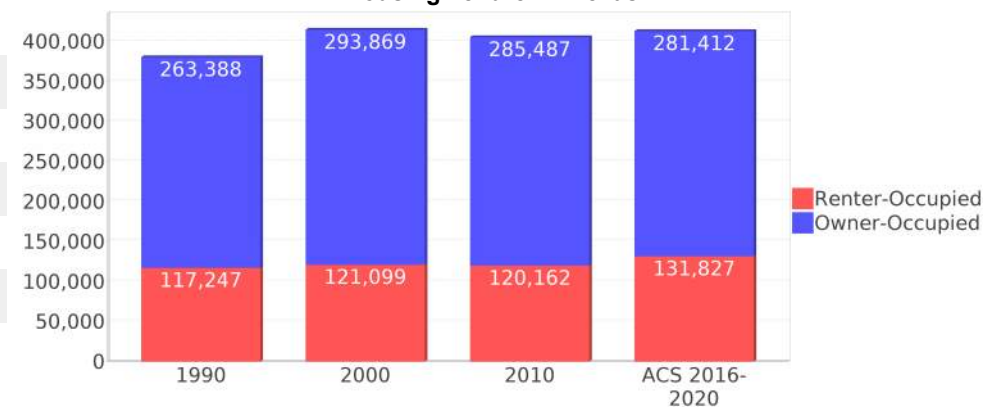
Age 5 and Over

Description	1990	2000	2010 ¹	ACS 2016-2020
Speaks English Well	14,850 (1.84%)	22,208 (2.53%)	23,929 (2.73%)	26,472 (2.85%)
Speaks English Not Well	NA (NA)	13,968 (1.59%)	17,369 (1.98%)	15,776 (1.70%)
Speaks English Not at All	NA (NA)	3,177 (0.36%)	6,866 (0.78%)	4,463 (0.48%)
Speaks English Not Well or Not at All	7,765 (0.96%)	17,145 (1.96%)	24,235 (2.77%)	20,239 (2.18%)
Speaks English Less than Very Well	NA (NA)	39,353 (4.49%)	48,164 (5.50%)	46,711 (5.03%)

Housing Trends - Pinellas

Description	1990	2000	2010 ¹	ACS 2016-2020
Total	458,341	481,573	503,078	510,798
Units per Acre	2.456	2.602	2.718	2.76
Single-Family Units	220,313	261,008	274,083	274,914
Multi-Family Units	120,210	169,202	180,940	189,656
Mobile Home Units	36,064	50,264	47,547	45,763
Owner-Occupied Units	263,388	293,869	285,487	281,412
Renter-Occupied Units	117,247	121,099	120,162	131,827
Vacant Units	77,706	66,605	97,429	97,559
Median Housing Value	\$73,500	\$85,600	\$185,700	\$219,800
Occupied Housing Units w/No Vehicle	40,426 (10.62%)	38,169 (9.20%)	31,489 (7.76%)	31,269 (7.57%)
Median year householder moved into unit - Total	NA	NA	NA	2012
Median year householder moved into unit - Owner Occupied	NA	NA	NA	2007
Median year householder moved into unit - Renter Occupied	NA	NA	NA	2016
Abroad 1 year ago	NA	NA	NA	5,321
Different house in United States 1 year ago	NA	NA	NA	142,094
Same house 1 year ago	NA	NA	NA	815,329
Geographical Mobility in the Past Year - Total	NA	NA	NA	815,329

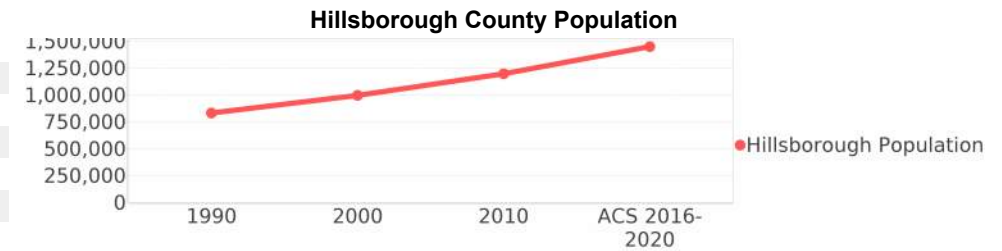
Housing Tenure - Pinellas



Hillsborough County Demographic Profile

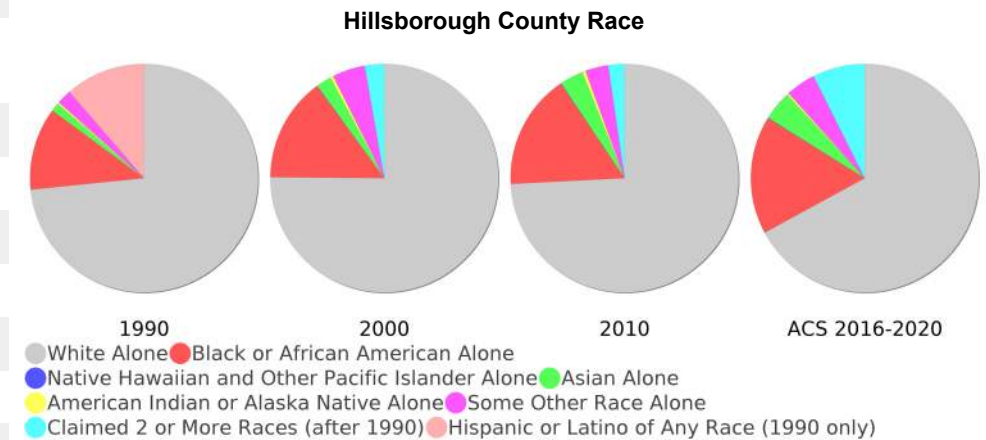
General Population Trends - Hillsborough

Description	1990	2000	2010 ¹	ACS 2016-2020
Total Population	834,054	998,948	1,200,236	1,451,358
Total Households	324,872	391,357	462,447	539,919
Average Persons per Acre	1.216	1.458	1.751	2.12
Average Persons per Household	2.567	2.508	3.00	2.65
Average Persons per Family	3.106	3.156	3.262	3.41
Males	406,217	488,596	585,512	709,815
Females	427,837	510,352	614,724	741,543



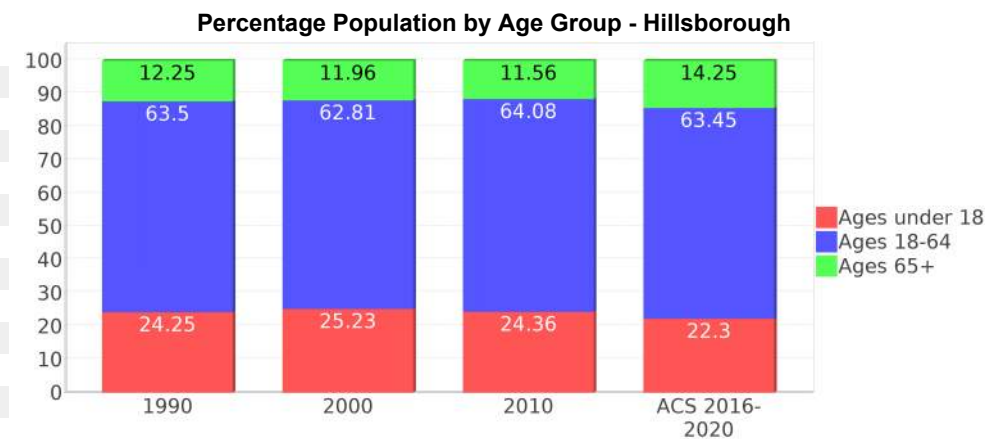
Race and Ethnicity Trends - Hillsborough

Description	1990	2000	2010 ¹	ACS 2016-2020
White Alone	690,352 (82.77%)	750,497 (75.13%)	890,392 (74.18%)	973,686 (67.09%)
Black or African American Alone	110,283 (13.22%)	147,966 (14.81%)	196,352 (16.36%)	242,544 (16.71%)
Native Hawaiian and Other Pacific Islander Alone	(NA)	540 (0.05%)	773 (0.06%)	1,086 (0.07%)
Asian Alone	11,093 (1.33%)	21,571 (2.16%)	40,285 (3.36%)	60,671 (4.18%)
American Indian or Alaska Native Alone	2,454 (0.29%)	4,175 (0.42%)	5,523 (0.46%)	4,000 (0.28%)
Some Other Race Alone	19,586 (2.35%)	46,587 (4.66%)	39,276 (3.27%)	61,496 (4.24%)
Claimed 2 or More Races	(NA)	27,612 (2.76%)	27,635 (2.30%)	107,875 (7.43%)
Hispanic or Latino of Any Race	106,908 (12.82%)	179,637 (17.98%)	286,394 (23.86%)	421,930 (29.07%)
Not Hispanic or Latino	727,146 (87.18%)	819,311 (82.02%)	913,842 (76.14%)	1,029,428 (70.93%)
Minority	227,588 (27.29%)	366,644 (36.70%)	568,661 (47.38%)	755,783 (52.07%)



Age Trends - Hillsborough

Description	1990	2000	2010 ¹	ACS 2016-2020
Under Age 5	7.30%	6.77%	6.70%	6.11%
Ages 5-17	16.95%	18.46%	17.66%	16.19%
Ages 18-21	5.96%	5.33%	5.91%	5.11%
Ages 22-29	14.20%	11.31%	11.83%	11.64%
Ages 30-39	17.39%	16.38%	13.93%	14.70%
Ages 40-49	12.95%	15.22%	15.18%	13.32%
Ages 50-64	13.00%	14.57%	17.23%	18.68%
Age 65 and Over	12.25%	11.96%	11.56%	14.25%
-Ages 65-74	7.41%	6.46%	6.21%	8.52%
-Ages 75-84	3.83%	4.20%	3.87%	4.06%
-Age 85 and Over	1.00%	1.29%	1.48%	1.67%
Median Age	NA	35	36	37.4



Income Trends - Hillsborough

Description	1990	2000	2010 ¹	ACS 2016-2020
Median Household Income	\$28,477	\$40,663	\$49,536	\$60,566
Median Family Income	\$33,645	\$48,223	\$59,886	\$73,907
Population below Poverty Level	13.29%	12.51%	14.17%	13.99%
Households below Poverty Level	12.66%	11.50%	13.11%	13.39%
Households with Public Assistance Income	6.07%	3.01%	2.06%	2.17%

Disability Trends - Hillsborough

See the Data Sources section below for an explanation about the differences in disability data among the various years.

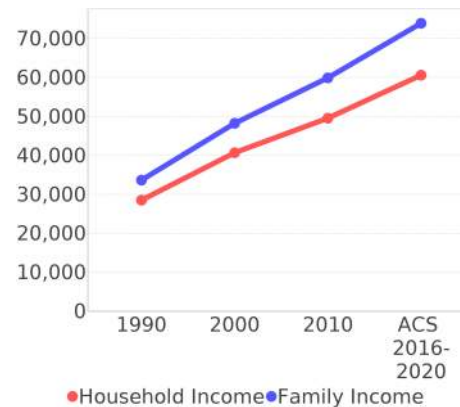
Description	1990	2000	2010 ¹	ACS 2016-2020
Population 16 To 64 Years with a disability	48,345 (7.57%)	136,465 (14.85%)	NA (NA)	NA (NA)
Population 20 To 64 Years with a disability	NA (NA)	NA (NA)	NA (NA)	84,236 (9.58%)

Educational Attainment Trends - Hillsborough

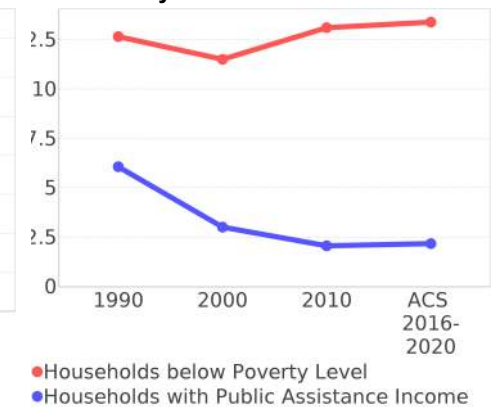
Age 25 and Over

Description	1990	2000	2010 ¹	ACS 2016-2020
Less than 9th Grade	48,247 (8.85%)	41,209 (6.30%)	41,965 (5.35%)	46,840 (4.69%)
9th to 12th Grade, No Diploma	84,751 (15.55%)	84,574 (12.93%)	69,127 (8.82%)	64,101 (6.42%)
High School Graduate or Higher	412,022 (75.60%)	528,058 (80.76%)	672,988 (85.83%)	887,397 (88.89%)
Bachelor's Degree or Higher	110,070 (20.20%)	164,109 (25.10%)	226,113 (28.84%)	344,058 (34.46%)

Income Trends



Poverty and Public Assistance



Language Trends - Hillsborough

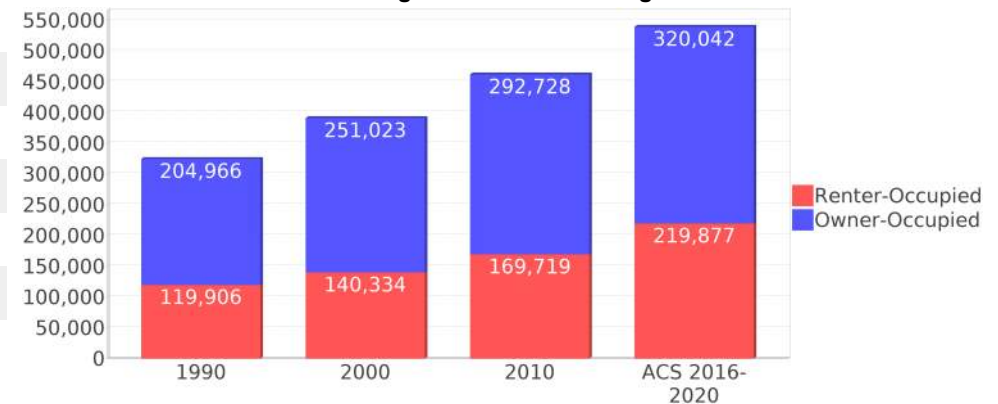
Age 5 and Over

Description	1990	2000	2010 ¹	ACS 2016-2020
Speaks English Well	23,611 (3.05%)	39,227 (4.21%)	54,355 (4.85%)	69,453 (5.10%)
Speaks English Not Well	NA (NA)	28,250 (3.03%)	39,803 (3.55%)	53,024 (3.89%)
Speaks English Not at All	NA (NA)	13,819 (1.48%)	19,950 (1.78%)	31,823 (2.34%)
Speaks English Not Well or Not at All	20,956 (2.71%)	42,069 (4.52%)	59,753 (5.34%)	84,847 (6.23%)
Speaks English Less than Very Well	NA (NA)	81,296 (8.73%)	114,108 (10.19%)	154,300 (11.32%)

Housing Trends - Hillsborough

Description	1990	2000	2010 ¹	ACS 2016-2020
Total	367,740	425,962	526,016	590,714
Units per Acre	0.536	0.622	0.768	0.86
Single-Family Units	200,373	260,157	330,155	377,434
Multi-Family Units	87,418	122,837	153,087	172,497
Mobile Home Units	34,499	42,063	42,158	39,631
Owner-Occupied Units	204,966	251,023	292,728	320,042
Renter-Occupied Units	119,906	140,334	169,719	219,877
Vacant Units	42,868	34,605	63,569	50,795
Median Housing Value	\$72,400	\$91,800	\$198,900	\$233,200
Occupied Housing Units w/No Vehicle	28,289 (8.71%)	31,680 (8.09%)	30,440 (6.58%)	33,535 (6.21%)
Median year householder moved into unit - Total	NA	NA	NA	2013
Median year householder moved into unit - Owner Occupied	NA	NA	NA	2009
Median year householder moved into unit - Renter Occupied	NA	NA	NA	2016
Abroad 1 year ago	NA	NA	NA	16,717
Different house in United States 1 year ago	NA	NA	NA	240,333
Same house 1 year ago	NA	NA	NA	1,177,447
Geographical Mobility in the Past Year - Total	NA	NA	NA	1,177,447

Housing Tenure - Hillsborough



County Data Sources

ACS vs Census Data

(1) The 2010 Census data is represented by a combination of decennial and ACS (2006-2010) data. The General Population Trends, Race and Ethnicity Trends, Age Trends are entirely from decennial. The Income Trends, Language Trends are entirely from the ACS. The Housing Trends section is derived from both: Decennial (Total # Housing Units, Housing Units per Acre, Owner-Occupied Units, Renter-Occupied Units, Vacant Units); ACS (Single Family Units, Multi-family Units, Mobile Homes, Median Housing Value, Occupied Housing Units w/No Vehicle).

About the Census Data

(34) Use caution when comparing the 100% count data (Decennial Census) to the sample-based data (ACS). In any given year, about one in 40 U.S. households will receive the ACS questionnaire. Over any five-year period, about one in eight households will receive the questionnaire, as compared to about one in six that received the long form questionnaire for the Decennial Census 2000. (Source: https://www.census.gov/content/dam/Census/programs-surveys/acs/news/10ACS_keyfacts.pdf) The U.S. Census Bureau provides help with this process: <https://www.census.gov/programs-surveys/acs/guidance/comparing-acs-data.html>

(35) Race and ethnicity are separate questions on the Census questionnaire. Individuals can report multiple race and ethnicity answers; therefore, numbers in the Race and Ethnicity portion of this report may add up to be greater than the total population. In addition, use caution when interpreting changes in race and ethnicity over time. Starting with the 2000 Decennial Census, respondents could select one or more race categories. Also in 2000, the placement of the question about Hispanic origin changed, helping to increase responsiveness to the Hispanic-origin question. Because of these and other changes, the 1990 data on race and ethnicity are not directly comparable with data from later censuses. (Source: <https://www.census.gov/library/publications/2001/dec/c2kbr01-01.html>)

(36) The "Minority" calculations use both the race and ethnicity responses from Census and ACS data. In this report, "Minority" refers to individuals who list a race other than White and/or list their ethnicity as Hispanic/Latino. In other words, people who are multi-racial, any single race other than White, or Hispanic/Latino of any race are considered minorities. We use the following formula: $MINORITY = TOTALPOP - WHITE_NH$ where TOTALPOP is the Total Population and WHITE_NH is the population with a race of White alone and an ethnicity of Not Hispanic or Latino. Translating this to the field names used in the census ACS source data, the formula looks like this: $MINORITY = B01003_E001 - B03002_E003$. (Note, the WHITE_NH population is not reported separately in this report.)

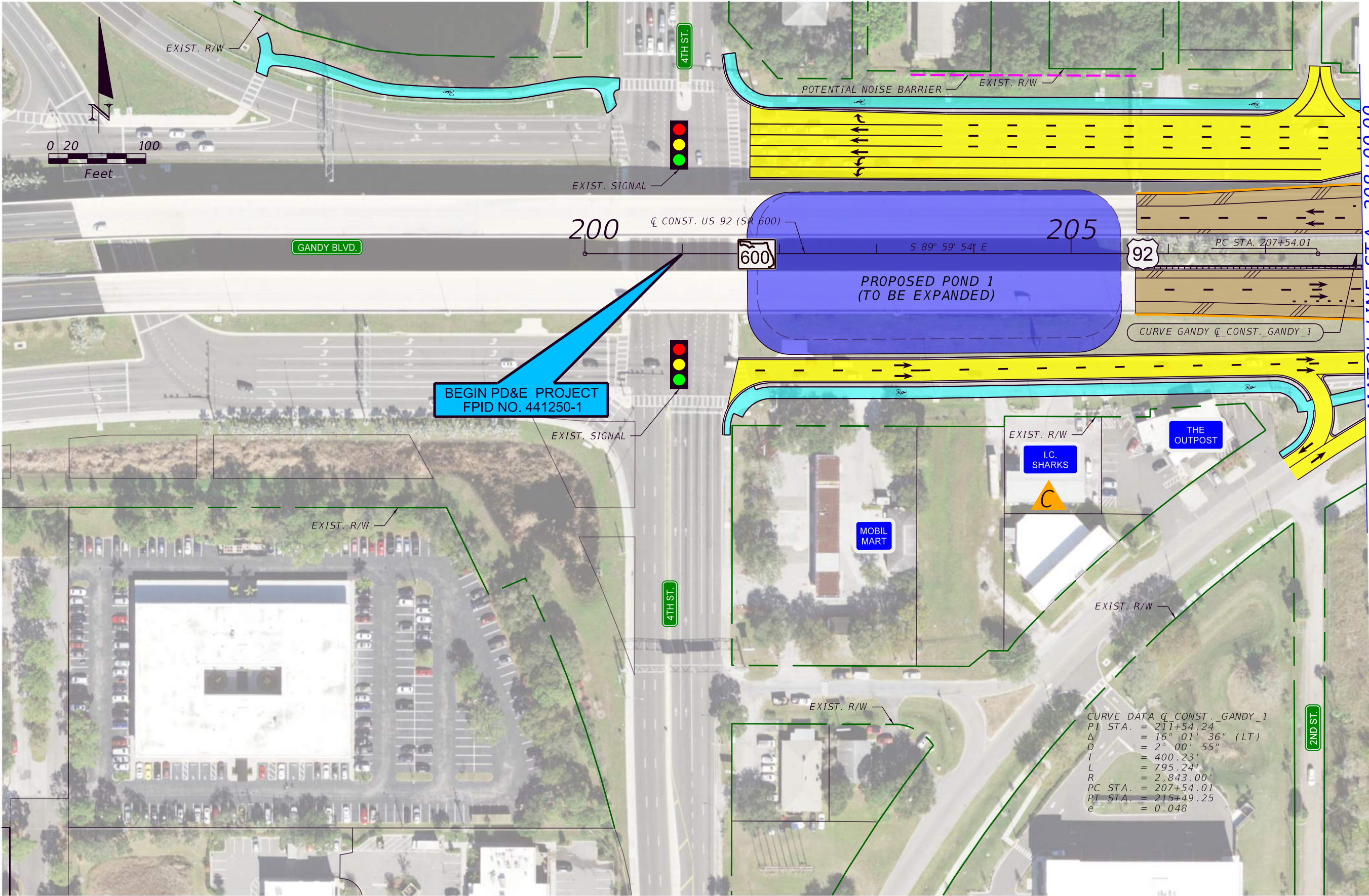
(37) Disability data is not included in the 2010 Decennial Census or the 2006-2010 ACS. This data is available in the ACS 2016-2020 ACS. Because of changes made to the Census and ACS questions between 1990 and ACS, disability variables should not be compared from year to year. For example: 1) with the 1990 data, the disabilities are listed as a "work disability" while this distinction is not made with 2000 or ACS data; 2) the ACS data includes the institutionalized population (e.g. persons in prisons and group homes) while this population is not included in 1990 or 2000; and 3) the age groupings changed over the years.

(38) The category Bachelor's Degree or Higher under the heading Educational Attainment Trends is a subset of the category High School Graduate or Higher.

Metadata

















- (39) Community and Fraternal Centers https://etdmpub.flc-etat.org/meta/gc_communitycenter.xml
- (40) Correctional Facilities in Florida https://etdmpub.flc-etat.org/meta/gc_correctional.xml
- (41) Cultural Centers in Florida https://etdmpub.flc-etat.org/meta/gc_culturecenter.xml
- (42) Fire Department and Rescue Station Facilities in Florida https://etdmpub.flc-etat.org/meta/gc_firestat.xml
- (43) Local, State, and Federal Government Buildings in Florida https://etdmpub.flc-etat.org/meta/gc_govbuild.xml
- (44) Florida Health Care Facilities https://etdmpub.flc-etat.org/meta/gc_health.xml
- (45) Hospital Facilities in Florida https://etdmpub.flc-etat.org/meta/gc_hospitals.xml
- (46) Law Enforcement Facilities in Florida https://etdmpub.flc-etat.org/meta/gc_lawenforce.xml
- (47) Florida Parks and Recreational Facilities https://etdmpub.flc-etat.org/meta/gc_parks.xml
- (48) Religious Centers https://etdmpub.flc-etat.org/meta/gc_religion.xml
- (49) Florida Public and Private Schools https://etdmpub.flc-etat.org/meta/gc_schools.xml
- (50) Social Service Centers https://etdmpub.flc-etat.org/meta/gc_socialservice.xml
- (51) Assisted Rental Housing Units in Florida https://etdmpub.flc-etat.org/meta/gc_assisted_housing.xml
- (52) Group Care Facilities <https://etdmpub.flc-etat.org/meta/groupcare.xml>
- (53) Mobile Home Parks in Florida https://etdmpub.flc-etat.org/meta/gc_mobilehomes.xml
- (54) Migrant Camps in Florida <https://etdmpub.flc-etat.org/meta/migrant.xml>
- (55) Veteran Organizations and Facilities https://etdmpub.flc-etat.org/meta/gc_veterans.xml
- (56) Generalized Land Use https://etdmpub.flc-etat.org/meta/lu_gen.xml
- (57) Census Block Groups in Florida https://etdmpub.flc-etat.org/meta/e2_cenacs_cci.xml
- (58) 1990 Census Block Groups in Florida https://etdmpub.flc-etat.org/meta/e2_cenblkgrp_1990_cci.xml
- (59) 2000 Census Block Groups in Florida https://etdmpub.flc-etat.org/meta/e2_cenblkgrp_2000_cci.xml
- (60) 2010 Census Block Groups in Florida https://etdmpub.flc-etat.org/meta/e2_cenblkgrp_2010_cci.xml

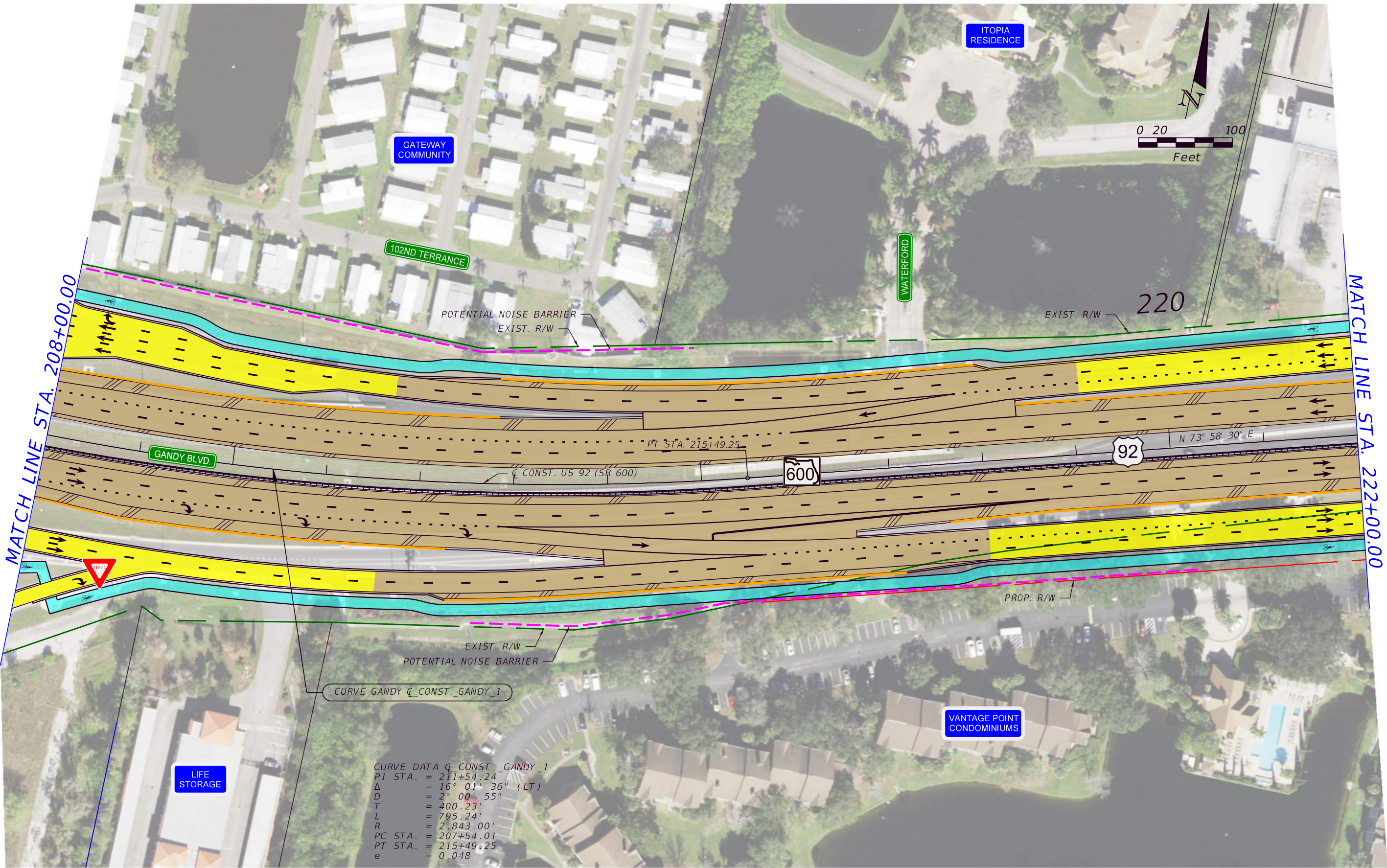
Appendix B
Concept Plans



MATCH LINE STA. 208+00.00

PREFERRED ALTERNATIVE

LEGEND			Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.			
	EXISTING PARCEL			PROPOSED ROADWAY		EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (1)	01
	EXISTING R/W LINE			PROPOSED GRADE SEPARATION		PROPOSED BRIDGE WIDENING					
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL				PROPOSED PAVEMENT REMOVAL						
	POTENTIAL CONTAMINATION SITE		PREFERRED POND SITES		POTENTIAL BUSINESS RELOCATION						



CURVE DATA GANDY C_CONST_GANDY_1

PI STA.	= 211+54.24
Δ	= 16° 01' 36" (LT)
D	= 2° 00' 55"
T	= 400.23'
L	= 795.24'
R	= 2,843.00'
PC STA.	= 207+54.01
PT STA.	= 215+49.25
e	= 0.048

LEGEND

EXISTING PARCEL	PROPOSED ROADWAY	EXISTING BRIDGE
EXISTING R/W LINE	PROPOSED GRADE SEPARATION	PROPOSED BRIDGE WIDENING
EXISTING WETLAND	PROPOSED BRIDGE DEMOLITION	PROPOSED MILLING & RESURFACING
PROPOSED R/W LINE	PROPOSED SIDEWALK/SHARED USE PATH	PROPOSED PAVEMENT REMOVAL
PROPOSED RETAINING WALL	POTENTIAL BUSINESS RELOCATION	
POTENTIAL CONTAMINATION SITE		

Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
Engineer of Record: Branan Anderson, P.E.
P.E. No.: 78438

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	PINELLAS	441250-1-22-01

GANDY BLVD. PD&E - PINELLAS SEGMENT

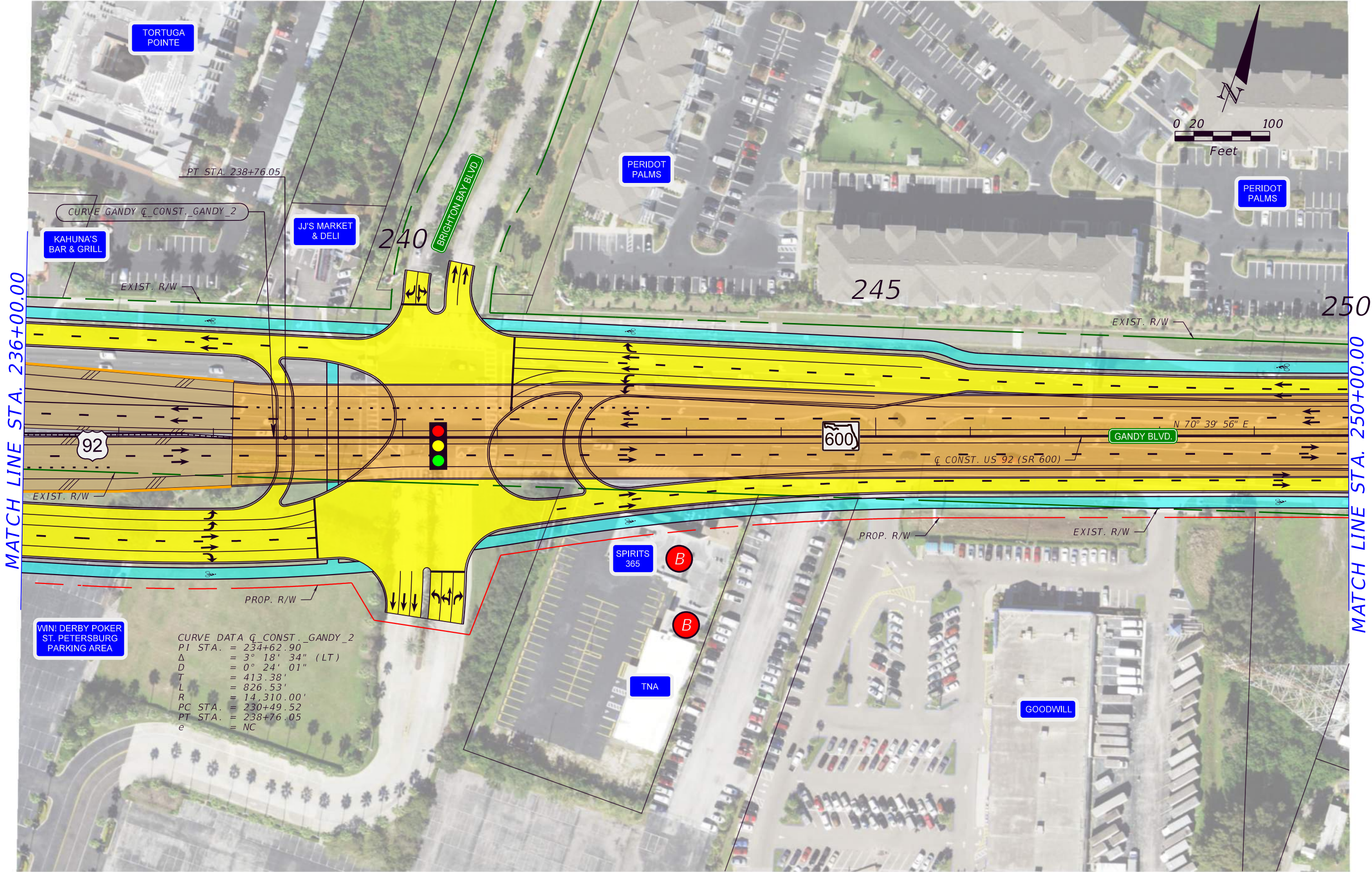
CONCEPT PLANS (2)

SHEET NO. 02














PREFERRED ALTERNATIVE



<p align="center">LEGEND</p> <table border="0"> <tr> <td></td> <td>EXISTING PARCEL</td> <td></td> <td>PROPOSED ROADWAY</td> <td></td> <td>EXISTING BRIDGE</td> </tr> <tr> <td></td> <td>EXISTING R/W LINE</td> <td></td> <td>PROPOSED GRADE SEPARATION</td> <td></td> <td>PROPOSED BRIDGE WIDENING</td> </tr> <tr> <td></td> <td>EXISTING WETLAND</td> <td></td> <td>PROPOSED BRIDGE</td> <td></td> <td>PROPOSED BRIDGE DEMOLITION</td> </tr> <tr> <td></td> <td>PROPOSED R/W LINE</td> <td></td> <td>PROPOSED SIDEWALK/ SHARED USE PATH</td> <td></td> <td>PROPOSED MILLING & RESURFACING</td> </tr> <tr> <td></td> <td>PROPOSED RETAINING WALL</td> <td></td> <td>PREFERRED POND SITES</td> <td></td> <td>PROPOSED PAVEMENT REMOVAL</td> </tr> <tr> <td></td> <td>POTENTIAL CONTAMINATION SITE</td> <td></td> <td></td> <td></td> <td>POTENTIAL BUSINESS RELOCATION</td> </tr> </table>					EXISTING PARCEL		PROPOSED ROADWAY		EXISTING BRIDGE		EXISTING R/W LINE		PROPOSED GRADE SEPARATION		PROPOSED BRIDGE WIDENING		EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION		PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING		PROPOSED RETAINING WALL		PREFERRED POND SITES		PROPOSED PAVEMENT REMOVAL		POTENTIAL CONTAMINATION SITE				POTENTIAL BUSINESS RELOCATION	<p>Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438</p>		<p align="center"><i>STATE OF FLORIDA</i> <i>DEPARTMENT OF TRANSPORTATION</i></p>			<p align="center"><i>GANDY BLVD. PD&E - PINELLAS SEGMENT</i></p>		<p align="center">SHEET NO.</p>
	EXISTING PARCEL		PROPOSED ROADWAY		EXISTING BRIDGE																																										
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION		PROPOSED BRIDGE WIDENING																																										
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION																																										
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING																																										
	PROPOSED RETAINING WALL		PREFERRED POND SITES		PROPOSED PAVEMENT REMOVAL																																										
	POTENTIAL CONTAMINATION SITE				POTENTIAL BUSINESS RELOCATION																																										
						<p align="center">ROAD NO.</p>	<p align="center">COUNTY</p>	<p align="center">FINANCIAL PROJECT ID</p>																																							
						<p align="center">SR 600</p>	<p align="center">PINELLAS</p>	<p align="center">441250-1-22-01</p>	<p align="center"><i>CONCEPT PLANS (3)</i></p>		<p align="center">03</p>																																				



PREFERRED ALTERNATIVE

LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (4)	04
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING					
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION	SR 600	PINELLAS	441250-1-22-01			
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		PREFERRED POND SITES		POTENTIAL BUSINESS RELOCATION						
	POTENTIAL CONTAMINATION SITE										

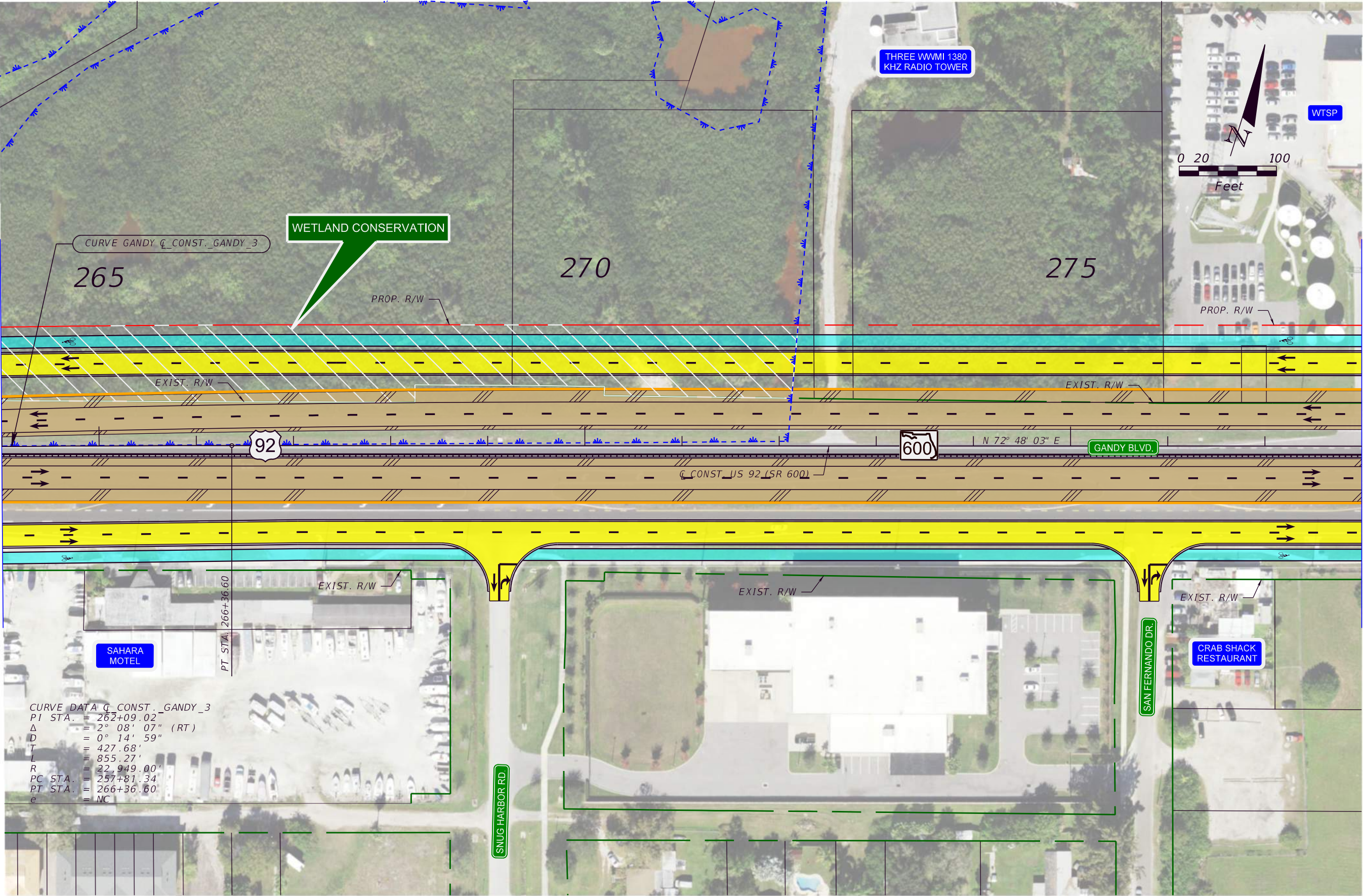


MATCH LINE STA. 264+00.00

<p align="center">LEGEND</p> <table border="0"> <tr> <td></td> <td>EXISTING PARCEL</td> <td></td> <td>PROPOSED ROADWAY</td> <td></td> <td>EXISTING BRIDGE</td> </tr> <tr> <td></td> <td>EXISTING R/W LINE</td> <td></td> <td>PROPOSED GRADE SEPARATION</td> <td></td> <td>PROPOSED BRIDGE WIDENING</td> </tr> <tr> <td></td> <td>EXISTING WETLAND</td> <td></td> <td>PROPOSED BRIDGE</td> <td></td> <td>PROPOSED BRIDGE DEMOLITION</td> </tr> <tr> <td></td> <td>PROPOSED R/W LINE</td> <td></td> <td>PROPOSED SIDEWALK/ SHARED USE PATH</td> <td></td> <td>PROPOSED MILLING & RESURFACING</td> </tr> <tr> <td></td> <td>PROPOSED RETAINING WALL</td> <td></td> <td>POTENTIAL BUSINESS RELOCATION</td> <td></td> <td>POTENTIAL BUSINESS RELOCATION</td> </tr> <tr> <td></td> <td>POTENTIAL CONTAMINATION SITE</td> <td></td> <td>PREFERRED POND SITES</td> <td></td> <td></td> </tr> </table>					EXISTING PARCEL		PROPOSED ROADWAY		EXISTING BRIDGE		EXISTING R/W LINE		PROPOSED GRADE SEPARATION		PROPOSED BRIDGE WIDENING		EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION		PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING		PROPOSED RETAINING WALL		POTENTIAL BUSINESS RELOCATION		POTENTIAL BUSINESS RELOCATION		POTENTIAL CONTAMINATION SITE		PREFERRED POND SITES			<p>Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438</p>		<p align="center"><i>STATE OF FLORIDA</i> <i>DEPARTMENT OF TRANSPORTATION</i></p> <table border="1"> <tr> <th>ROAD NO.</th> <th>COUNTY</th> <th>FINANCIAL PROJECT ID</th> </tr> <tr> <td align="center">SR 600</td> <td align="center">PINELLAS</td> <td align="center">441250-1-22-01</td> </tr> </table>			ROAD NO.	COUNTY	FINANCIAL PROJECT ID	SR 600	PINELLAS	441250-1-22-01	<p align="center"><i>GANDY BLVD. PD&E - PINELLAS SEGMENT</i></p> <p align="center"><i>CONCEPT PLANS (5)</i></p>		<p align="center">SHEET NO.</p> <p align="center">05</p>
	EXISTING PARCEL		PROPOSED ROADWAY		EXISTING BRIDGE																																																
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION		PROPOSED BRIDGE WIDENING																																																
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION																																																
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	PROPOSED RETAINING WALL		POTENTIAL BUSINESS RELOCATION		POTENTIAL BUSINESS RELOCATION																																																
	POTENTIAL CONTAMINATION SITE		PREFERRED POND SITES																																																		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID																																																			
SR 600	PINELLAS	441250-1-22-01																																																			

MATCH LINE STA. 264+00.00

MATCH LINE STA. 278+00.00

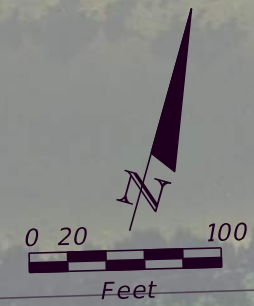


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R = 22,949.00'
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PT STA. = 266+36.60
e = NC

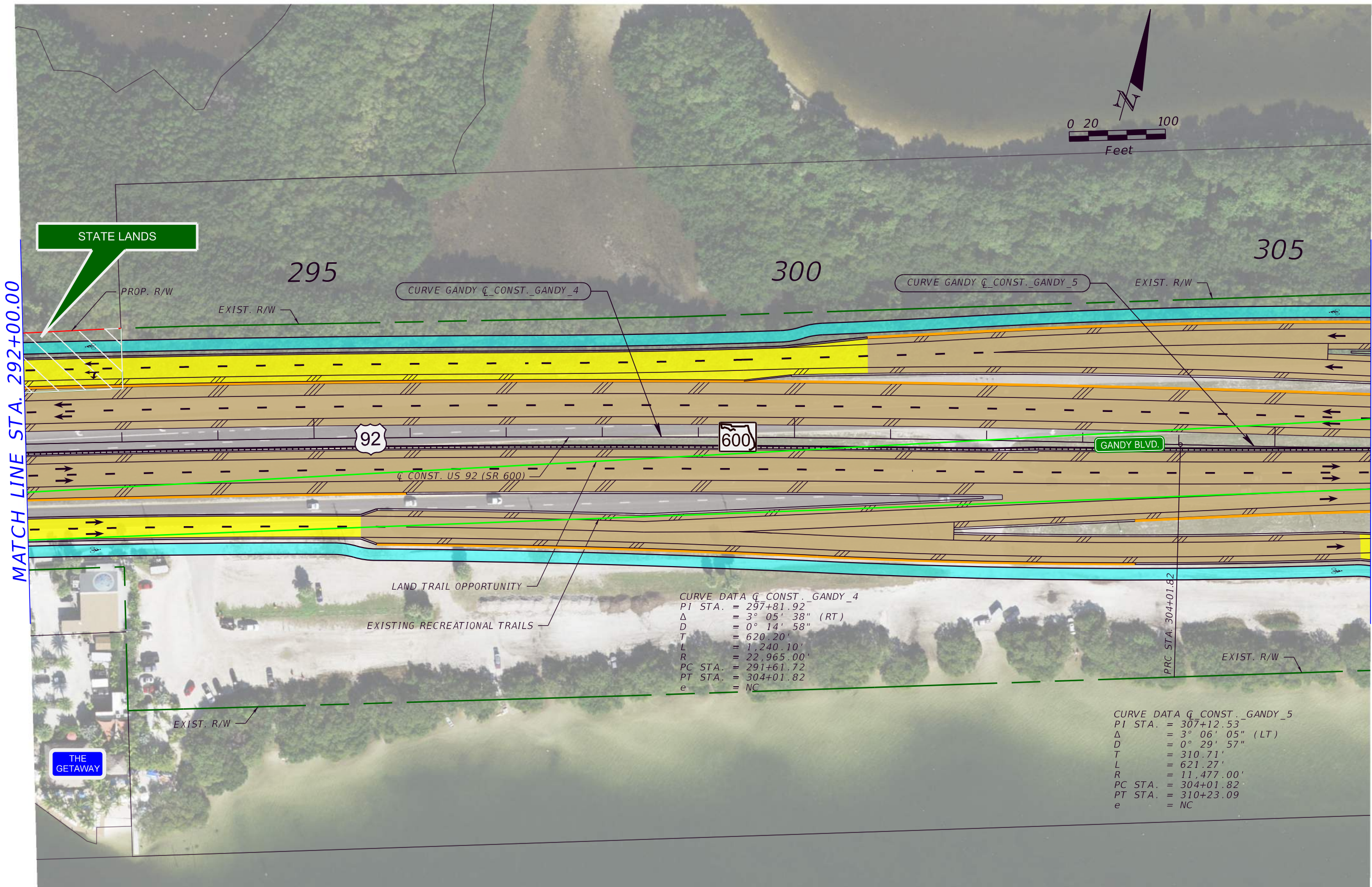
PREFERRED ALTERNATIVE

LEGEND			Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO. 06
EXISTING PARCEL	PROPOSED ROADWAY	EXISTING BRIDGE		ROAD NO.	COUNTY	FINANCIAL PROJECT ID		
EXISTING R/W LINE	PROPOSED GRADE SEPARATION	PROPOSED BRIDGE WIDENING		SR 600	PINELLAS	441250-1-22-01		
EXISTING WETLAND	PROPOSED BRIDGE DEMOLITION	PROPOSED MILLING & RESURFACING					CONCEPT PLANS (6)	
PROPOSED R/W LINE	PROPOSED BRIDGE	PROPOSED PAVEMENT REMOVAL						
PROPOSED RETAINING WALL	PROPOSED SIDEWALK/ SHARED USE PATH	POTENTIAL BUSINESS RELOCATION						
POTENTIAL CONTAMINATION SITE	PREFERRED POND SITES							

MATCH LINE STA. 292+00.00



MATCH LINE STA. 306+00.00



CURVE DATA C.CONST._GANDY_4
PI STA. = 297+81.92
Δ = 3° 05' 38" (RT)
D = 0° 14' 58"
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PT STA. = 304+01.82
e = NC

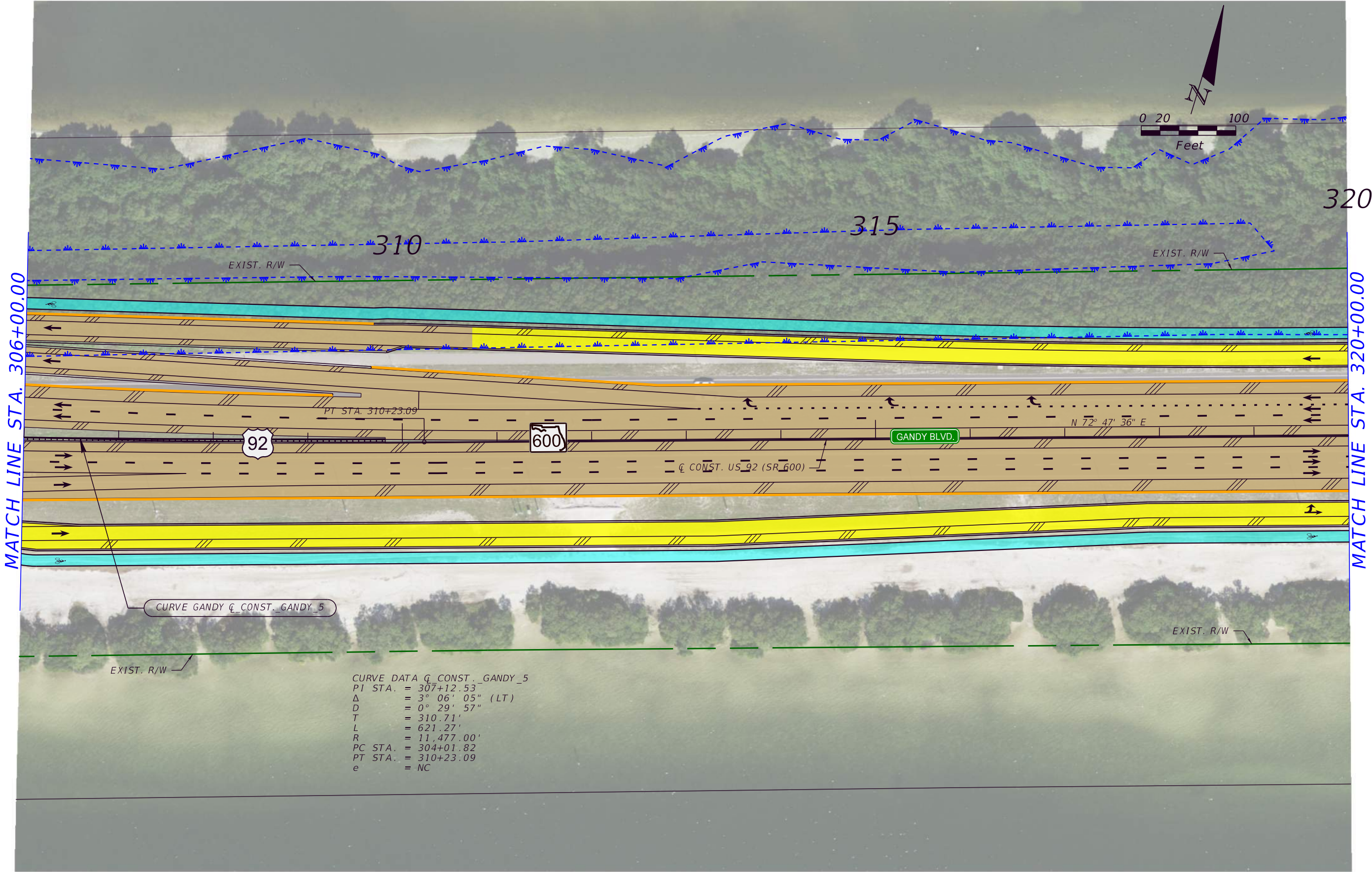
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L = 621.27'
R = 11,477.00'
PC STA. = 304+01.82
PT STA. = 310+23.09
e = NC

PREFERRED ALTERNATIVE

LEGEND			Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Florida Certificate of Authorization No. 02317 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		GANDY BLVD. PD&E - PINELLAS CAUSEWAY CONCEPT PLANS (8)	SHEET NO. 08
EXISTING PARCEL EXISTING R/W LINE PROPOSED R/W LINE PROPOSED RETAINING WALL TRAIL NETWORK SECT. 4(F) RECREATIONAL AREA EXISTING BRIDGE	PROPOSED ROADWAY PROPOSED ELEVATED ROADWAY PROPOSED BRIDGE PROPOSED SIDEWALK/ SHARED USE PATH POND ALTERNATIVES	PROPOSED BRIDGE WIDENING PROPOSED BRIDGE DEMOLITION PROPOSED MILLING & RESURFACING PROPOSED PAVEMENT REMOVAL PROPOSED BUSINESS RELOCATION		ROAD NO. SR 600	COUNTY PINELLAS		













dgrumbach 7/17/2023 4:17:02 PM M:\6201912 Gandy Blvd PDE\Design\roadway\PLANRD03_4f.dgn

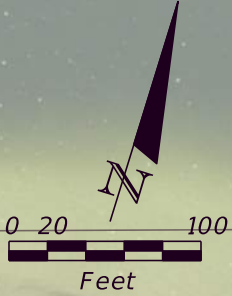
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



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D = 0° 29' 57"
T = 310.71'
L = 621.27'
R = 11,477.00'
PC STA. = 304+01.82
PT STA. = 310+23.09
e = NC

PREFERRED ALTERNATIVE

LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (9)	09
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	PINELLAS	441250-1-22-01		
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		POTENTIAL CONTAMINATION SITE		POTENTIAL BUSINESS RELOCATION						



320

325

330

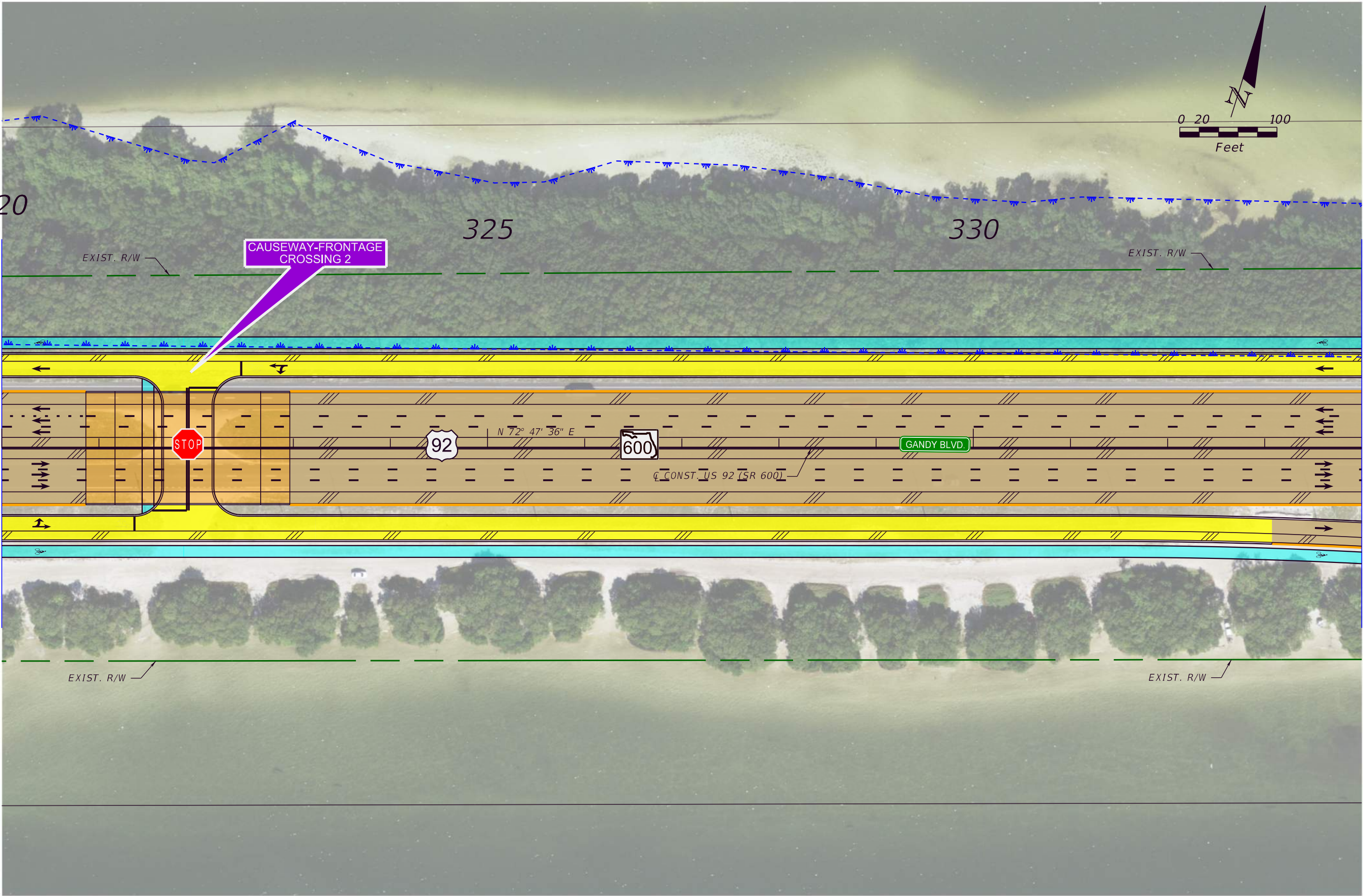
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CAUSEWAY-FRONTAGE
CROSSING 2

EXIST. R/W

MATCH LINE STA. 320+00.00














MATCH LINE STA. 334+00.00

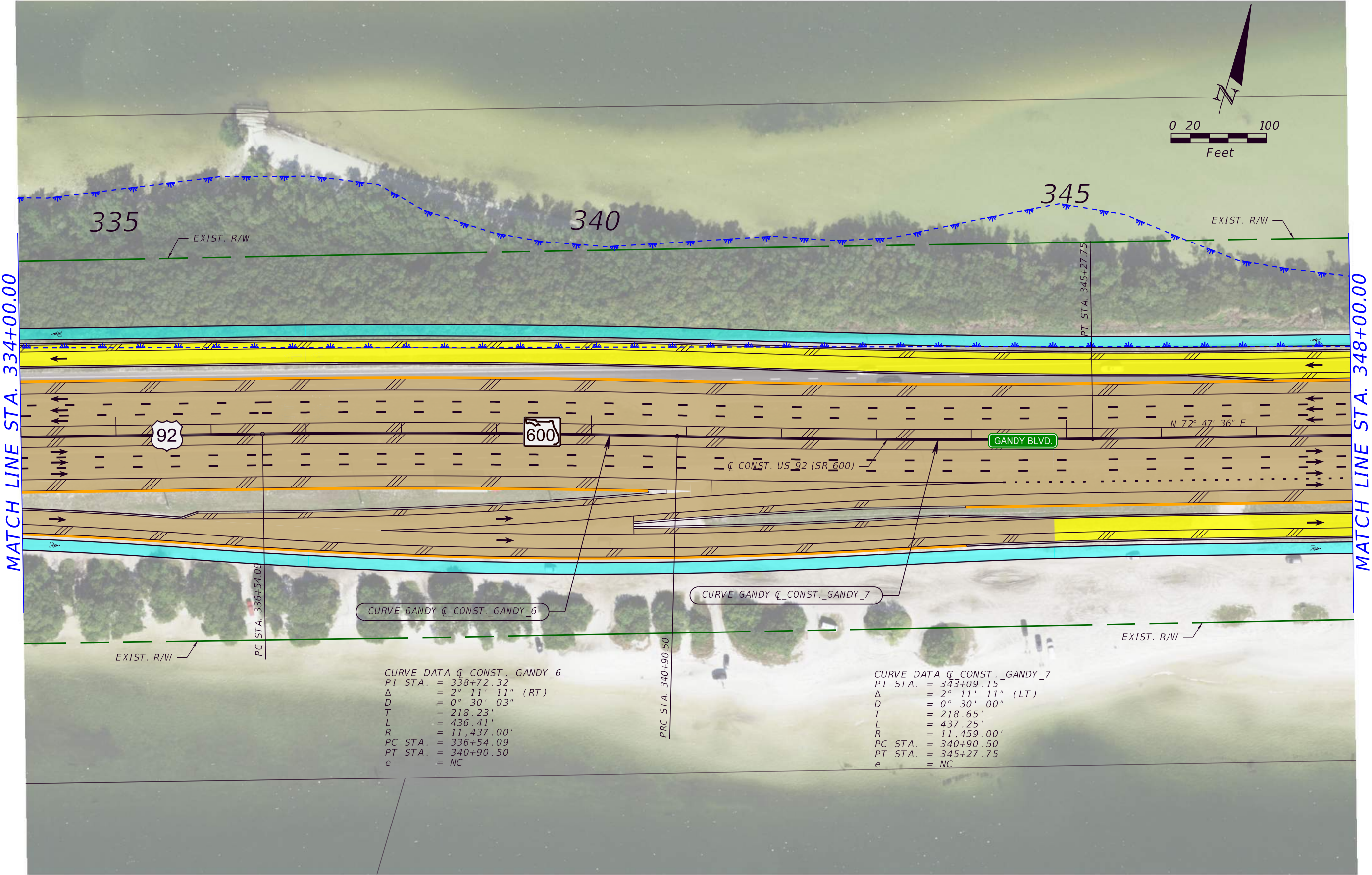


EXIST. R/W

EXIST. R/W

PREFERRED ALTERNATIVE

LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (10)	10
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	PINELLAS	441250-1-22-01		
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		PREFERRED POND SITES		PROPOSED PAVEMENT REMOVAL						
	POTENTIAL CONTAMINATION SITE				POTENTIAL BUSINESS RELOCATION						



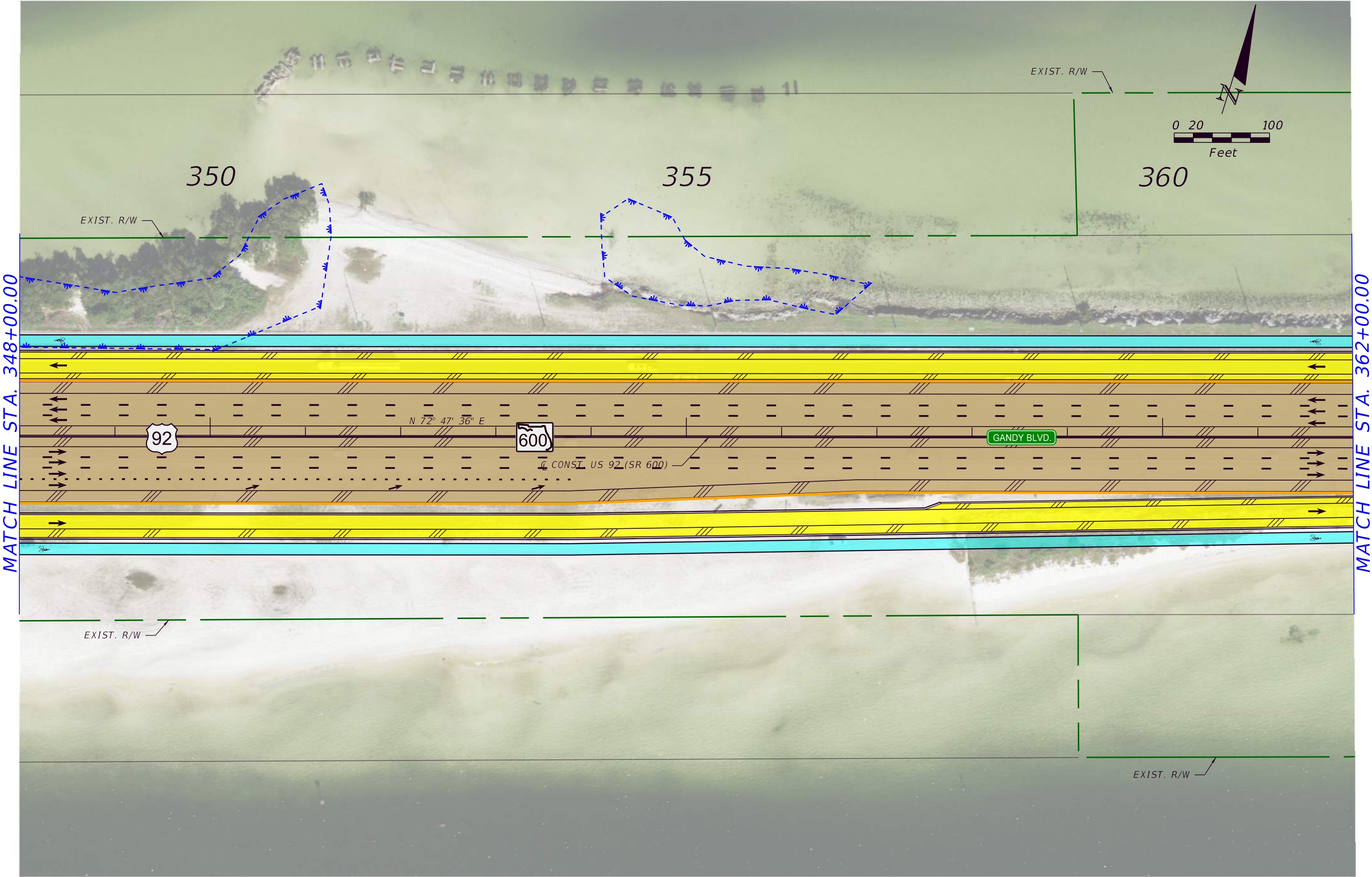
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R = 11,437.00'
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PT STA. = 340+90.50
e = NC

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L = 437.25'
R = 11,459.00'
PC STA. = 340+90.50
PT STA. = 345+27.75
e = NC

PREFERRED ALTERNATIVE

LEGEND			Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.
EXISTING PARCEL	PROPOSED ROADWAY	EXISTING BRIDGE		ROAD NO.	COUNTY	FINANCIAL PROJECT ID		
EXISTING R/W LINE	PROPOSED GRADE SEPARATION	PROPOSED BRIDGE WIDENING		SR 600	PINELLAS	441250-1-22-01		
EXISTING WETLAND	PROPOSED BRIDGE DEMOLITION	PROPOSED MILLING & RESURFACING						
PROPOSED R/W LINE	PROPOSED BRIDGE	PROPOSED PAVEMENT REMOVAL						
PROPOSED RETAINING WALL	PROPOSED SIDEWALK/ SHARED USE PATH	POTENTIAL BUSINESS RELOCATION						
POTENTIAL CONTAMINATION SITE	PREFERRED POND SITES							














CONCEPT PLANS (11)



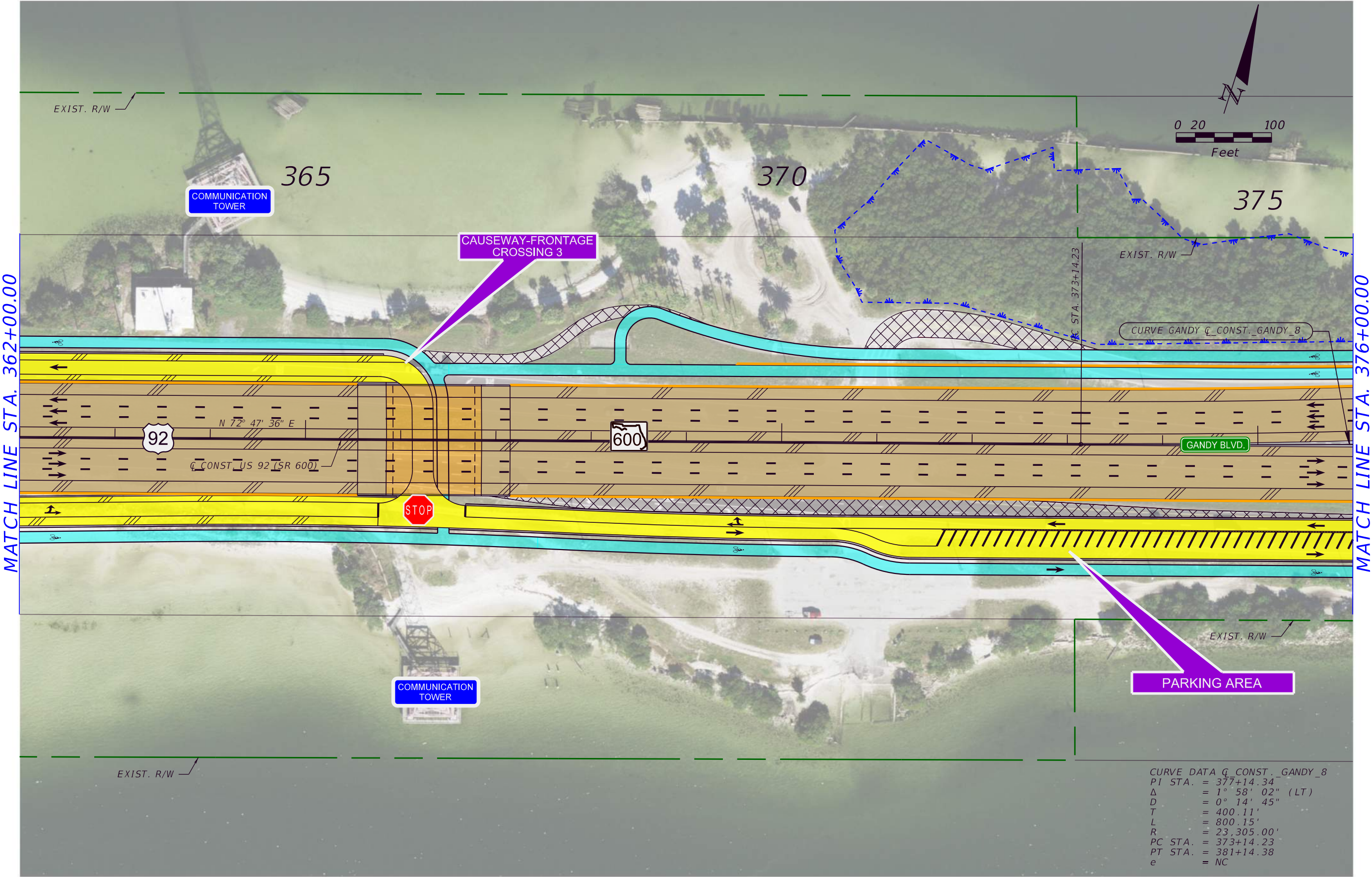
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MATCH LINE STA. 362+00.00

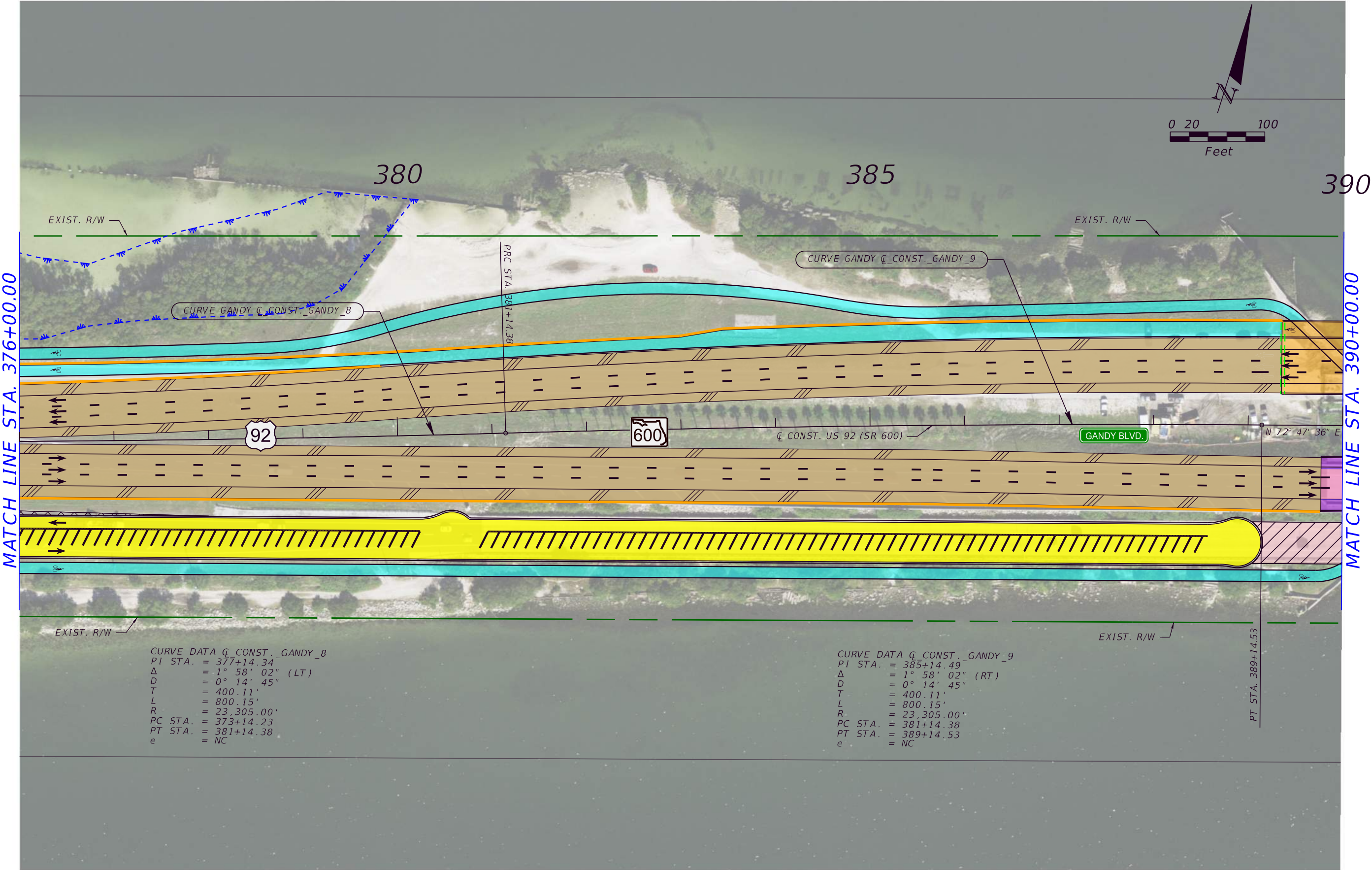
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LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (12)	12
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	PINELLAS	441250-1-22-01		
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		POTENTIAL CONTAMINATION SITE		PROPOSED PAVEMENT REMOVAL						
			PREFERRED POND SITES		POTENTIAL BUSINESS RELOCATION						

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



















LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.	
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY		FINANCIAL PROJECT ID
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	PINELLAS	441250-1-22-01	
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION					
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING					
	PROPOSED RETAINING WALL		POTENTIAL CONTAMINATION SITE		PROPOSED PAVEMENT REMOVAL					
			PREFERRED POND SITES		POTENTIAL BUSINESS RELOCATION					
									<i>CONCEPT PLANS (13)</i>	13

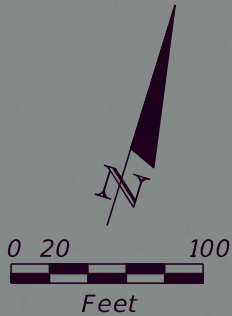


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R = 23,305.00'
PC STA. = 373+14.23
PT STA. = 381+14.38
e = NC

CURVE DATA Q CONST. GANDY_9
PI STA. = 385+14.49
Δ = 1° 58' 02" (RT)
D = 0° 14' 45"
T = 400.11'
L = 800.15'
R = 23,305.00'
PC STA. = 381+14.38
PT STA. = 389+14.53
e = NC

PREFERRED ALTERNATIVE

LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - PINELLAS SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (14)	14
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	PINELLAS	441250-1-22-01		
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		POTENTIAL CONTAMINATION SITE		PROPOSED PAVEMENT REMOVAL						
	POTENTIAL CONTAMINATION SITE		PREFERRED POND SITES		POTENTIAL BUSINESS RELOCATION						
											



390

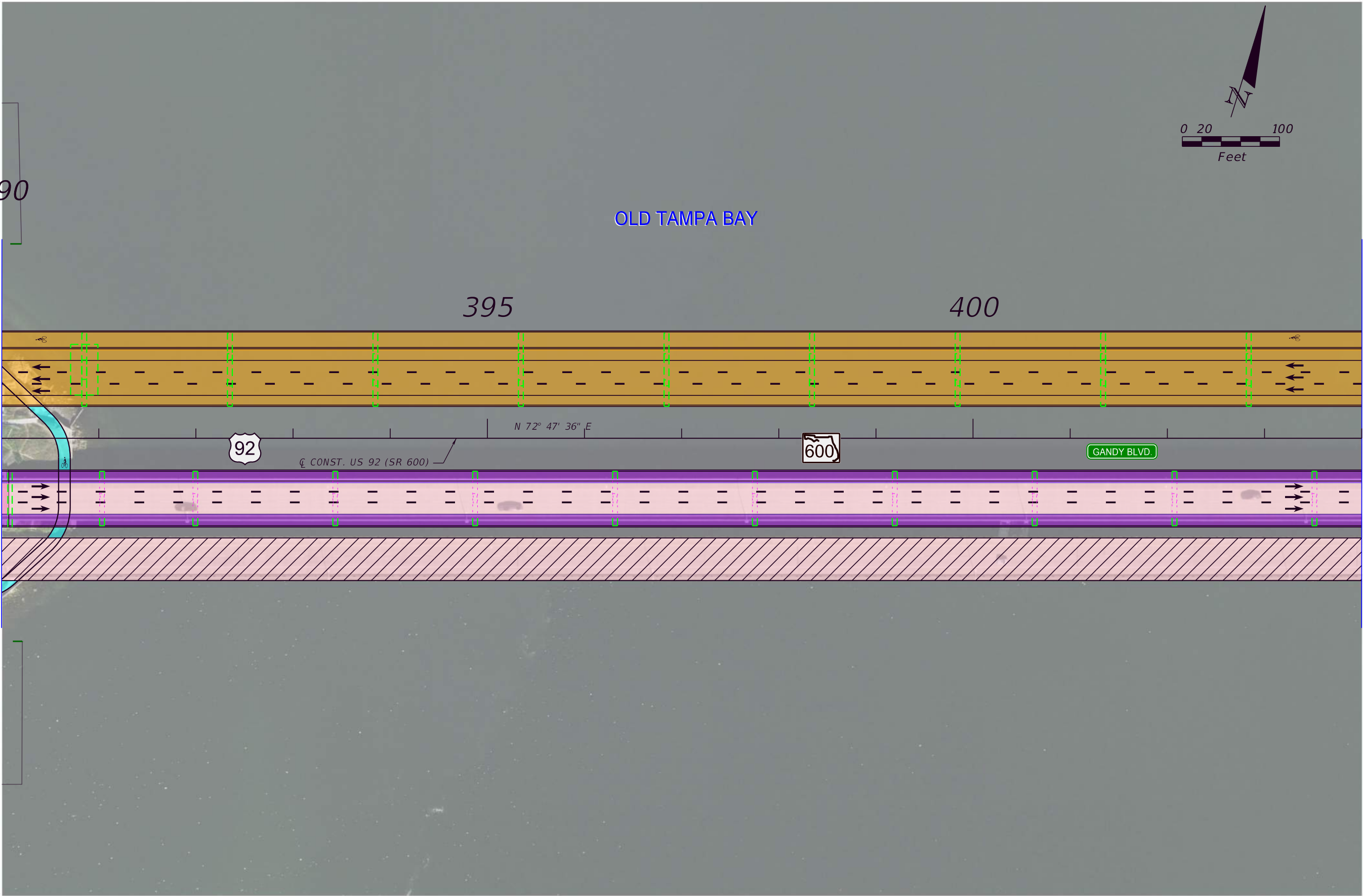
OLD TAMPA BAY

395

400

MATCH LINE STA. 390+00.00

MATCH LINE STA. 404+00.00



PREFERRED ALTERNATIVE

EXISTING PARCEL

EXISTING R/W LINE

EXISTING WETLAND

PROPOSED R/W LINE

PROPOSED RETAINING WALL

POTENTIAL CONTAMINATION SITE

PROPOSED ROADWAY

PROPOSED GRADE SEPARATION

PROPOSED BRIDGE

PROPOSED SIDEWALK/SHARED USE PATH

PREFERRED POND SITES

EXISTING BRIDGE

PROPOSED BRIDGE WIDENING

PROPOSED BRIDGE DEMOLITION

PROPOSED MILLING & RESURFACING

PROPOSED PAVEMENT REMOVAL

POTENTIAL BUSINESS RELOCATION

Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
Engineer of Record: Branan Anderson, P.E.
P.E. No.: 78438

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	PINELLAS	441250-1-22-01

GANDY BLVD. PD&E - BAY SEGMENT

CONCEPT PLANS (15)

SHEET NO.

15

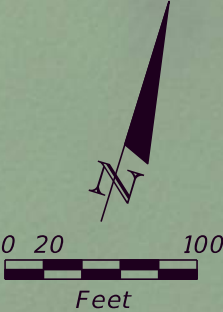
dgrumbach

7/14/2023

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THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



OLD TAMPA BAY

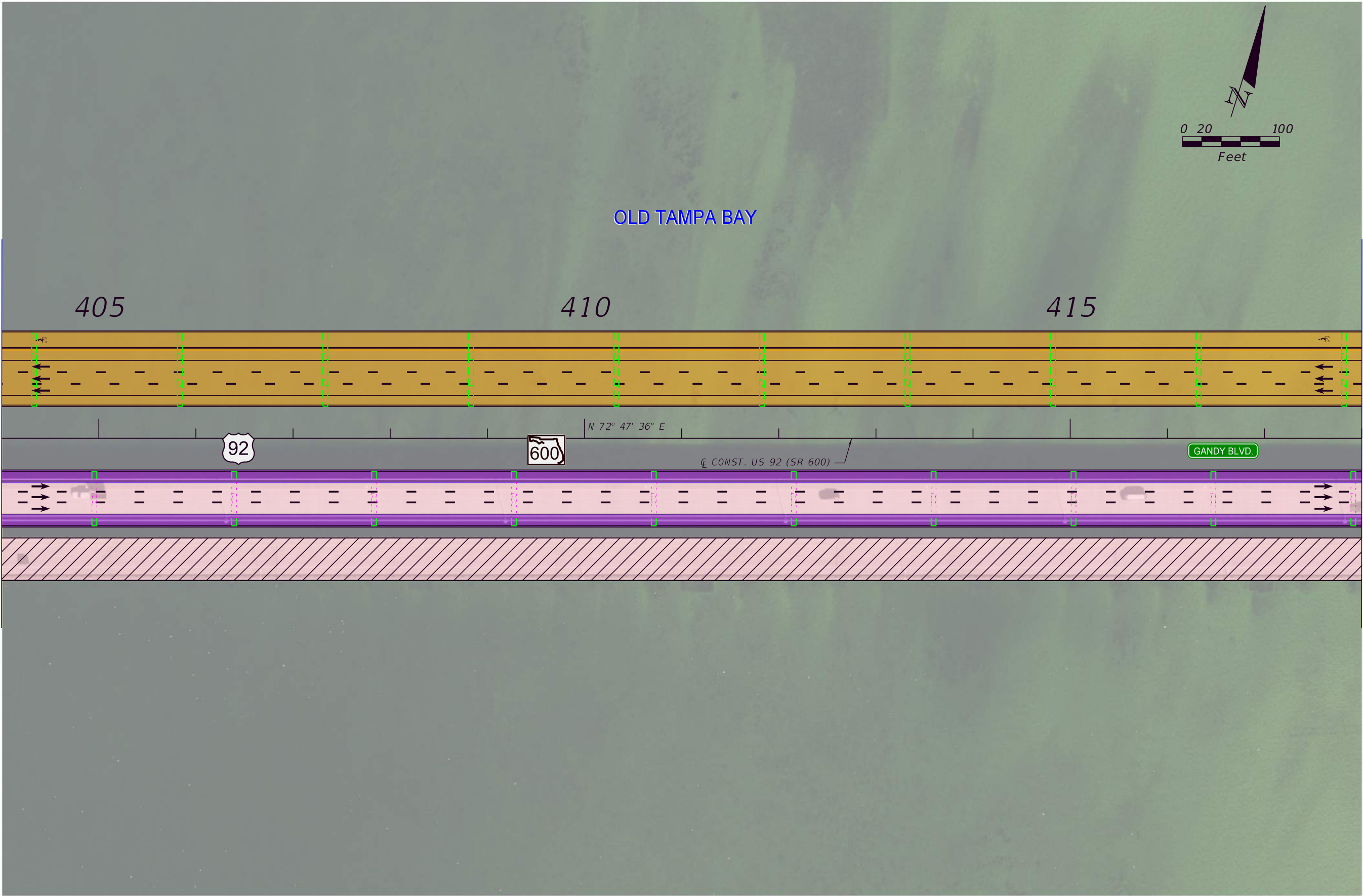
405

410

415

MATCH LINE STA. 404+00.00

MATCH LINE STA. 418+00.00



GANDY BLVD.

92

600

CONST. US 92 (SR 600)

N 72° 47' 36" E

PREFERRED ALTERNATIVE

EXISTING PARCEL

EXISTING R/W LINE

EXISTING WETLAND

PROPOSED R/W LINE

PROPOSED RETAINING WALL

POTENTIAL CONTAMINATION SITE

PROPOSED ROADWAY

PROPOSED GRADE SEPARATION

PROPOSED BRIDGE

PROPOSED SIDEWALK/ SHARED USE PATH

PREFERRED POND SITES

EXISTING BRIDGE

PROPOSED BRIDGE WIDENING

PROPOSED BRIDGE DEMOLITION

PROPOSED MILLING & RESURFACING

PROPOSED PAVEMENT REMOVAL

POTENTIAL BUSINESS RELOCATION

Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
Engineer of Record: Branan Anderson, P.E.
P.E. No.: 78438

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	PINELLAS	441250-1-22-01

GANDY BLVD. PD&E - BAY SEGMENT

CONCEPT PLANS (16)

SHEET NO.
16

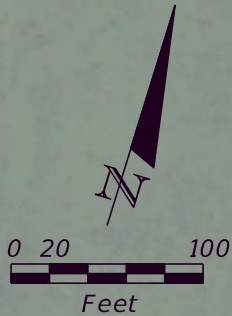
dgrumbach

7/14/2023

11:29:54 AM

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OLD TAMPA BAY

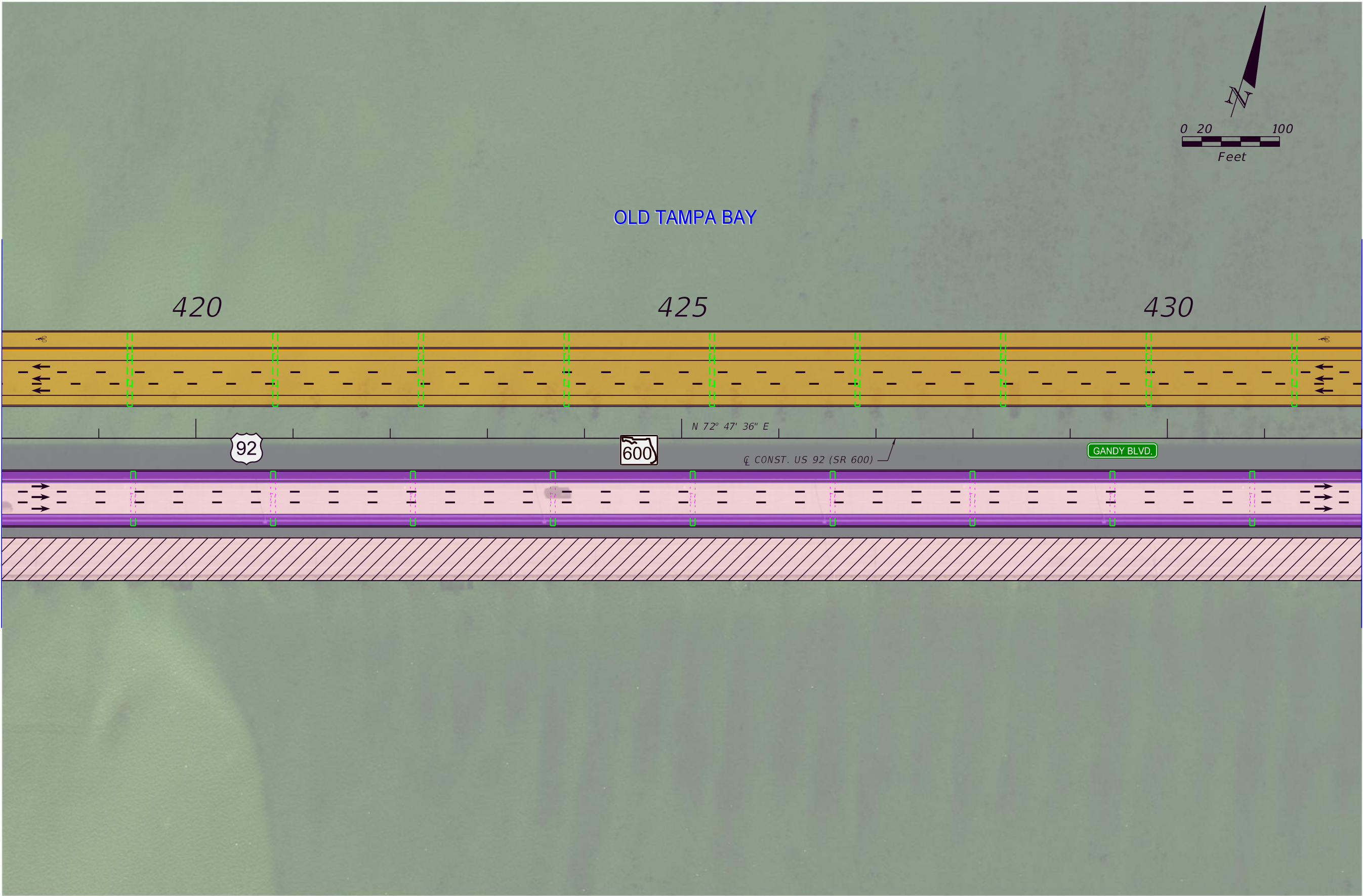
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425

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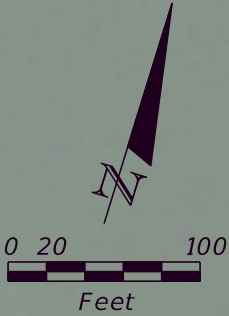
MATCH LINE STA. 418+00.00

MATCH LINE STA. 432+00.00



PREFERRED ALTERNATIVE

LEGEND			Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - BAY SEGMENT	SHEET NO.
EXISTING PARCEL	PROPOSED ROADWAY	EXISTING BRIDGE		ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (17)	17
EXISTING R/W LINE	PROPOSED GRADE SEPARATION	PROPOSED BRIDGE WIDENING		SR 600	PINELLAS	441250-1-22-01		
EXISTING WETLAND	PROPOSED BRIDGE	PROPOSED BRIDGE DEMOLITION						
PROPOSED R/W LINE	PROPOSED BRIDGE SEPARATION	PROPOSED MILLING & RESURFACING						
PROPOSED RETAINING WALL	PROPOSED SIDEWALK/SHARED USE PATH	PROPOSED PAVEMENT REMOVAL						
POTENTIAL CONTAMINATION SITE	PREFERRED POND SITES	POTENTIAL BUSINESS RELOCATION						



OLD TAMPA BAY

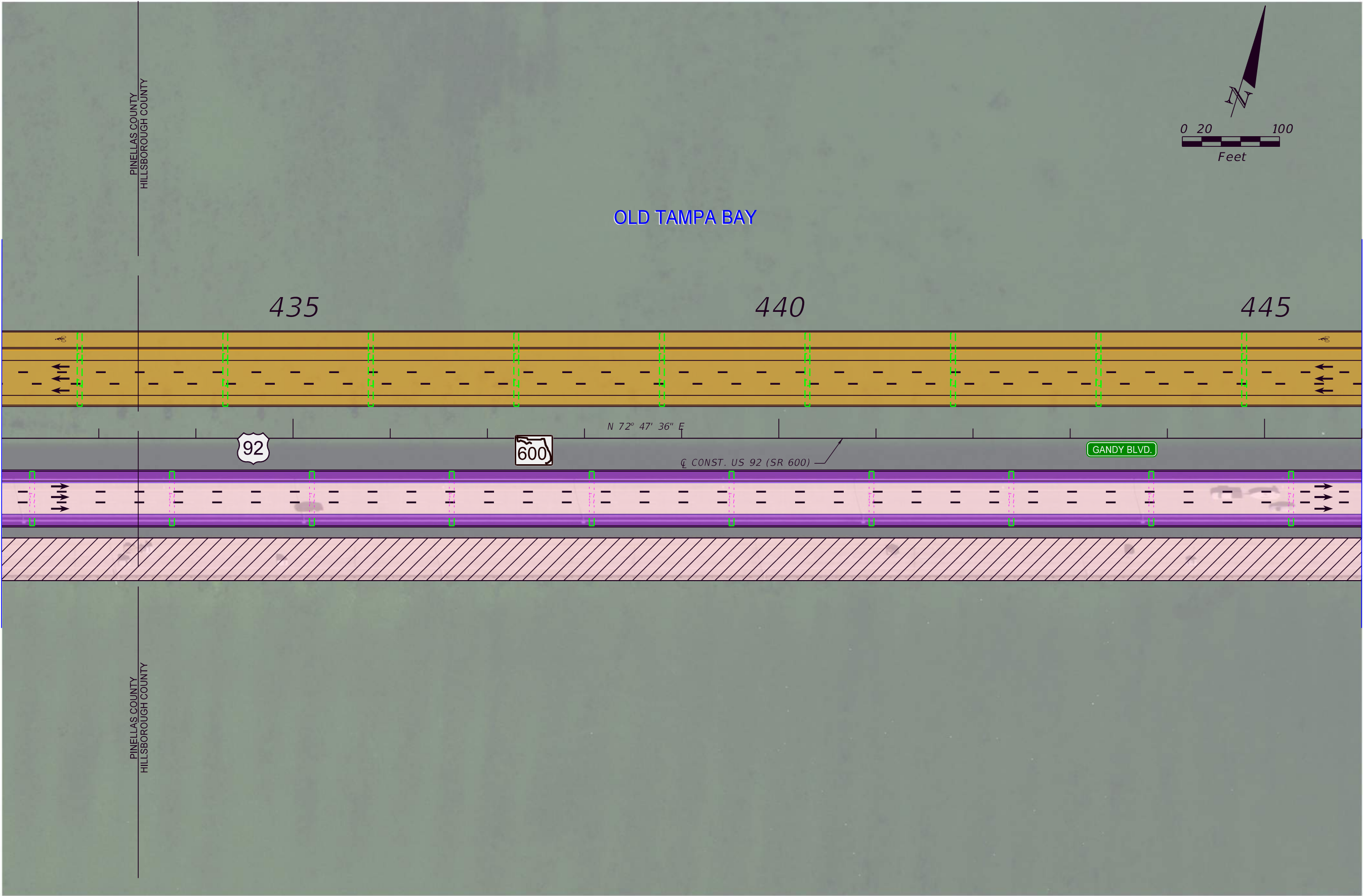
435

440














445

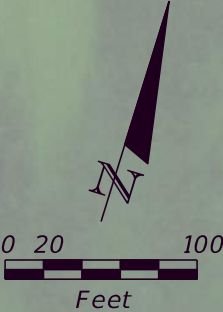
MATCH LINE STA. 432+00.00

MATCH LINE STA. 446+00.00



PREFERRED ALTERNATIVE

LEGEND					Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT	SHEET NO.	
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (18)	18
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING					
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		PREFERRED POND SITES		PROPOSED PAVEMENT REMOVAL						
	POTENTIAL CONTAMINATION SITE				POTENTIAL BUSINESS RELOCATION						



OLD TAMPA BAY

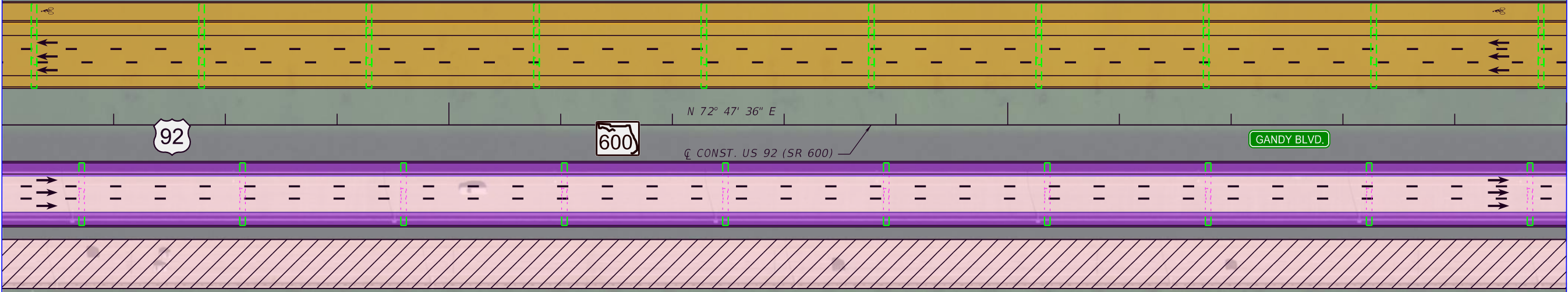
460

450

455

MATCH LINE STA. 446+00.00

MATCH LINE STA. 460+00.00



PREFERRED ALTERNATIVE

EXISTING PARCEL
EXISTING R/W LINE
EXISTING WETLAND
PROPOSED R/W LINE
PROPOSED RETAINING WALL
POTENTIAL CONTAMINATION SITE

PROPOSED ROADWAY
PROPOSED GRADE SEPARATION
PROPOSED BRIDGE
PROPOSED SIDEWALK/SHARED USE PATH
PREFERRED POND SITES

EXISTING BRIDGE
PROPOSED BRIDGE WIDENING
PROPOSED BRIDGE DEMOLITION
PROPOSED MILLING & RESURFACING
PROPOSED PAVEMENT REMOVAL
POTENTIAL BUSINESS RELOCATION

Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
Engineer of Record: Branan Anderson, P.E.
P.E. No.: 78438

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	HILLSBOROUGH	441250-1-22-01

GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT

CONCEPT PLANS (19)

SHEET NO.
19

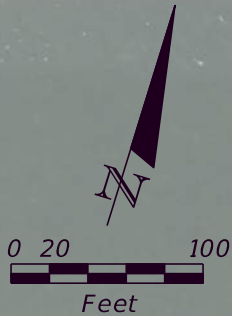
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460

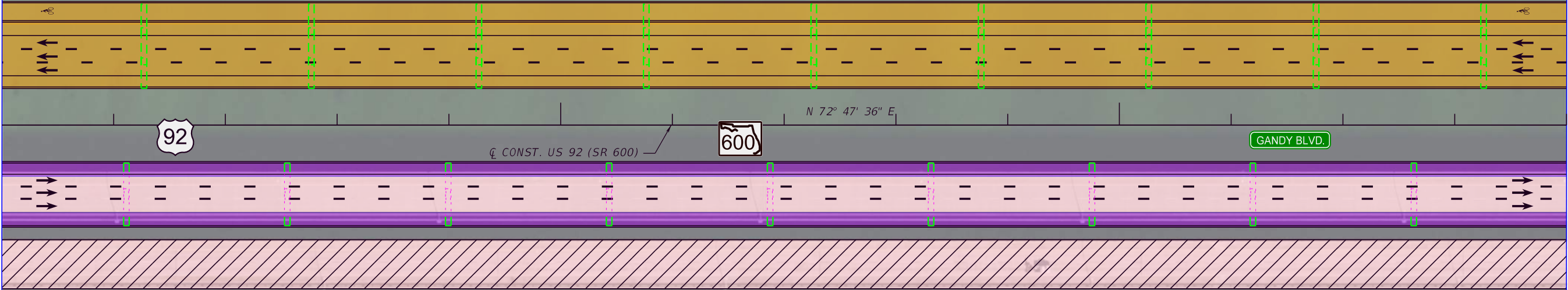
OLD TAMPA BAY

465

470

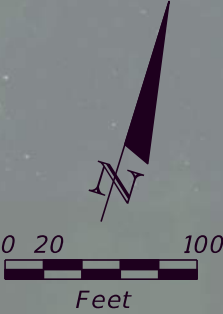
MATCH LINE STA. 460+00.00

MATCH LINE STA. 474+00.00



PREFERRED ALTERNATIVE

<div><div><div><div></div><div>EXISTING PARCEL</div></div><div><div></div><div>EXISTING R/W LINE</div></div><div><div></div><div>EXISTING WETLAND</div></div><div><div></div><div>PROPOSED R/W LINE</div></div><div><div></div><div>PROPOSED RETAINING WALL</div></div><div><div></div><div>POTENTIAL CONTAMINATION SITE</div></div></div><div><div><div></div><div>PROPOSED ROADWAY</div></div><div><div></div><div>PROPOSED GRADE SEPARATION</div></div><div><div></div><div>PROPOSED BRIDGE</div></div><div><div></div><div>PROPOSED SIDEWALK/SHARED USE PATH</div></div><div><div></div><div>PREFERRED POND SITES</div></div></div><div><div><div></div><div>EXISTING BRIDGE</div></div><div><div></div><div>PROPOSED BRIDGE WIDENING</div></div><div><div></div><div>PROPOSED BRIDGE DEMOLITION</div></div><div><div></div><div>PROPOSED MILLING & RESURFACING</div></div><div><div></div><div>PROPOSED PAVEMENT REMOVAL</div></div><div><div></div><div>POTENTIAL BUSINESS RELOCATION</div></div></div></div> <div><div><div><div><div>Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438</div></div></div></div><div><div><div>STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION</div><table><tr><th>ROAD NO.</th><th>COUNTY</th><th>FINANCIAL PROJECT ID</th></tr><tr><td>SR 600</td><td>HILLSBOROUGH</td><td>441250-1-22-01</td></tr></table></div></div><div><div><div>GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT</div><div>CONCEPT PLANS (20)</div></div><div><div>SHEET NO. 20</div></div></div></div>			ROAD NO.	COUNTY	FINANCIAL PROJECT ID	SR 600	HILLSBOROUGH	441250-1-22-01
ROAD NO.	COUNTY	FINANCIAL PROJECT ID						
SR 600	HILLSBOROUGH	441250-1-22-01						



OLD TAMPA BAY

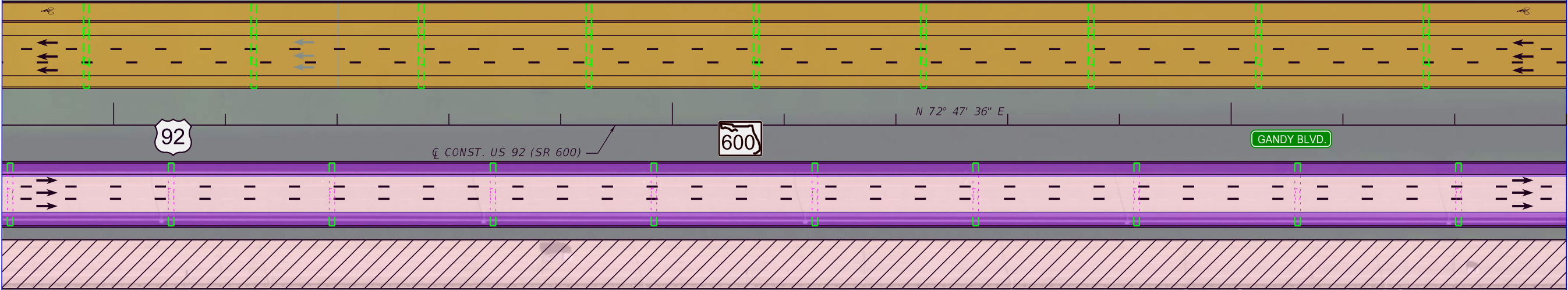
475

480

485

MATCH LINE STA. 474+00.00

MATCH LINE STA. 488+00.00



PREFERRED ALTERNATIVE

EXISTING PARCEL
EXISTING R/W LINE
EXISTING WETLAND
PROPOSED R/W LINE
PROPOSED RETAINING WALL
POTENTIAL CONTAMINATION SITE

PROPOSED ROADWAY
PROPOSED GRADE SEPARATION
PROPOSED BRIDGE
PROPOSED SIDEWALK/
SHARED USE PATH
PREFERRED POND SITES

EXISTING BRIDGE
PROPOSED BRIDGE WIDENING
PROPOSED BRIDGE DEMOLITION
PROPOSED MILLING & RESURFACING
PROPOSED PAVEMENT REMOVAL
POTENTIAL BUSINESS RELOCATION

Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
Engineer of Record: Branan Anderson, P.E.
P.E. No.: 78438

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	HILLSBOROUGH	441250-1-22-01

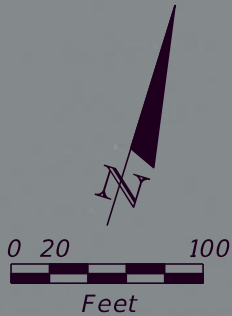
GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT

CONCEPT PLANS (21)

SHEET NO. 21

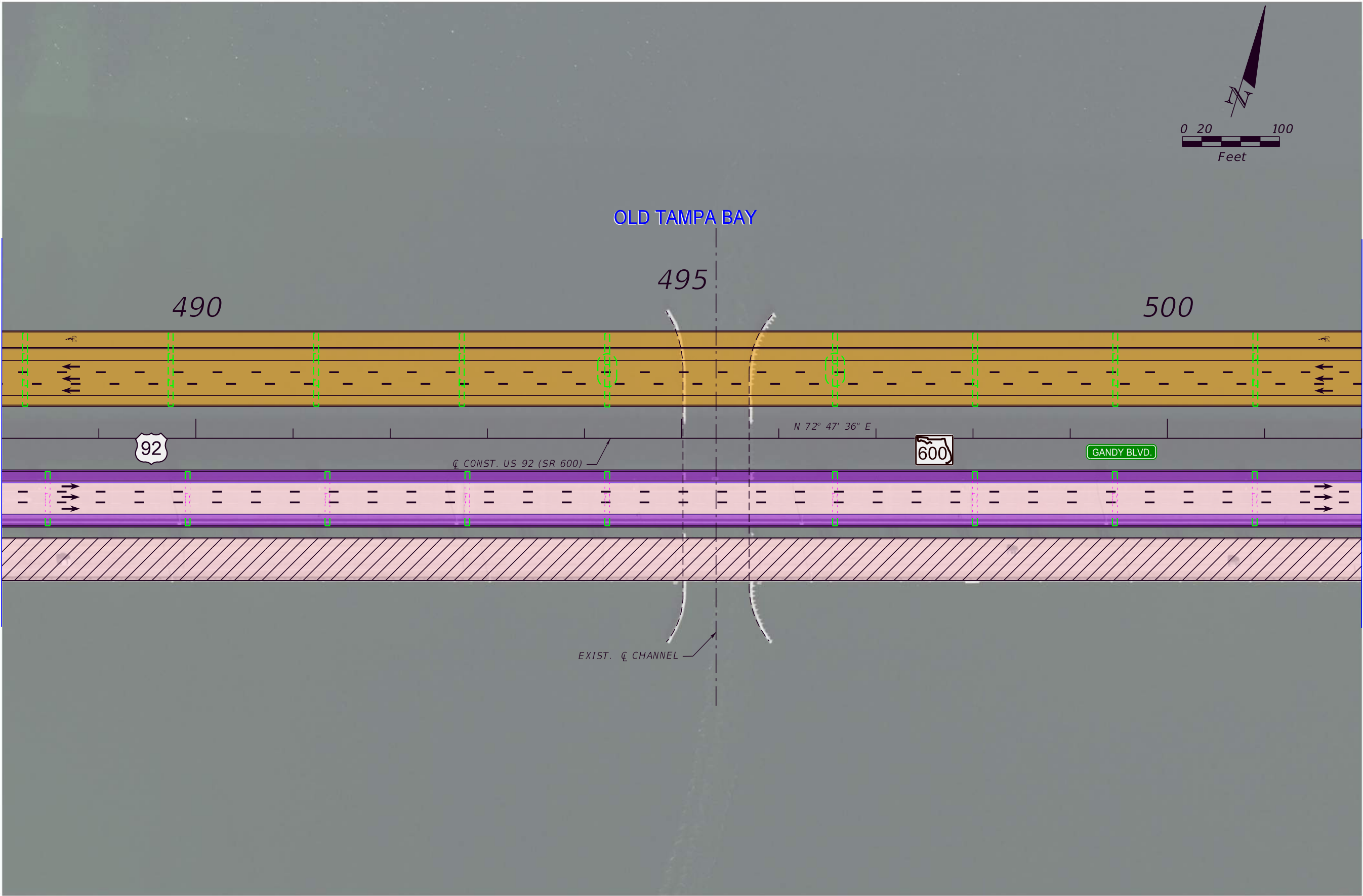
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MATCH LINE STA. 488+00.00

MATCH LINE STA. 502+00.00



PREFERRED ALTERNATIVE

LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (22)	22
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	HILLSBOROUGH	441250-1-22-01		
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		POTENTIAL CONTAMINATION SITE		POTENTIAL BUSINESS RELOCATION						
			PREFERRED POND SITES								

505

510

515

MATCH LINE STA. 502+00.00

MATCH LINE STA. 516+00.00



600

GANDY BLVD.

N 72° 47' 36" E

CONST. US 92 (SR 600)

Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
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P.E. No.: 78438

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT

SHEET
NO.

CONCEPT PLANS (23)

23

PREFERRED ALTERNATIVE

LEGEND			
	EXISTING PARCEL		PROPOSED ROADWAY
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION
	EXISTING WETLAND		PROPOSED BRIDGE
	PROPOSED R/W LINE		PROPOSED SIDEWALK/SHARED USE PATH
	PROPOSED RETAINING WALL		PREFERRED POND SITES
	POTENTIAL CONTAMINATION SITE		EXISTING BRIDGE
			PROPOSED BRIDGE WIDENING
			PROPOSED BRIDGE DEMOLITION
			PROPOSED MILLING & RESURFACING
			PROPOSED PAVEMENT REMOVAL
			POTENTIAL BUSINESS RELOCATION

dgrumbach

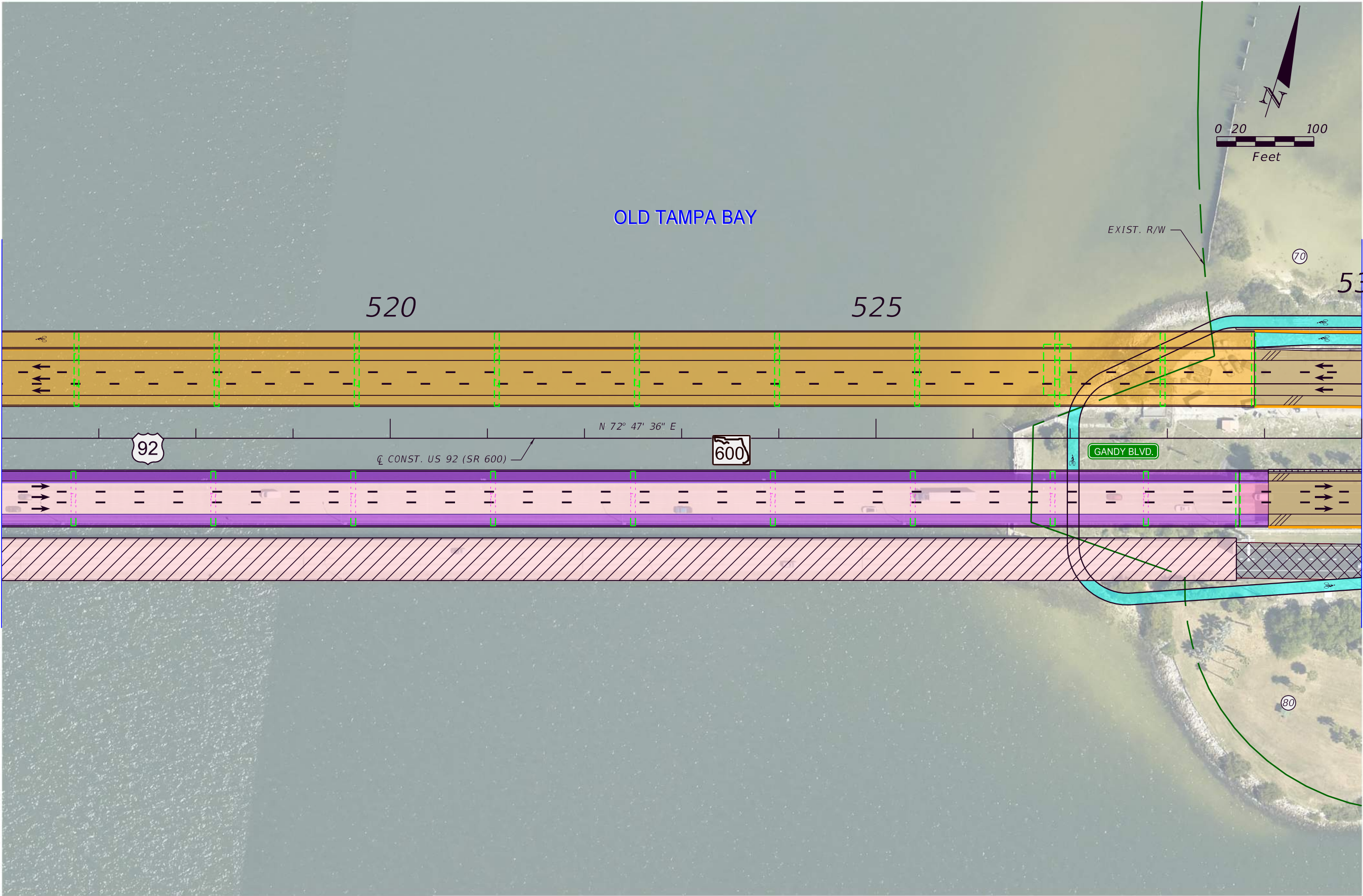
7/14/2023

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MATCH LINE STA. 516+00.00

MATCH LINE STA. 530+00.00



PREFERRED ALTERNATIVE

EXISTING PARCEL
EXISTING R/W LINE
EXISTING WETLAND
PROPOSED R/W LINE
PROPOSED RETAINING WALL
POTENTIAL CONTAMINATION SITE

LEGEND

PROPOSED ROADWAY
PROPOSED GRADE SEPARATION
PROPOSED BRIDGE
PROPOSED SIDEWALK/SHARED USE PATH
PREFERRED POND SITES

EXISTING BRIDGE
PROPOSED BRIDGE WIDENING
PROPOSED BRIDGE DEMOLITION
PROPOSED MILLING & RESURFACING
PROPOSED PAVEMENT REMOVAL
POTENTIAL BUSINESS RELOCATION

Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
Engineer of Record: Branan Anderson, P.E.
P.E. No.: 78438

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	HILLSBOROUGH	441250-1-22-01

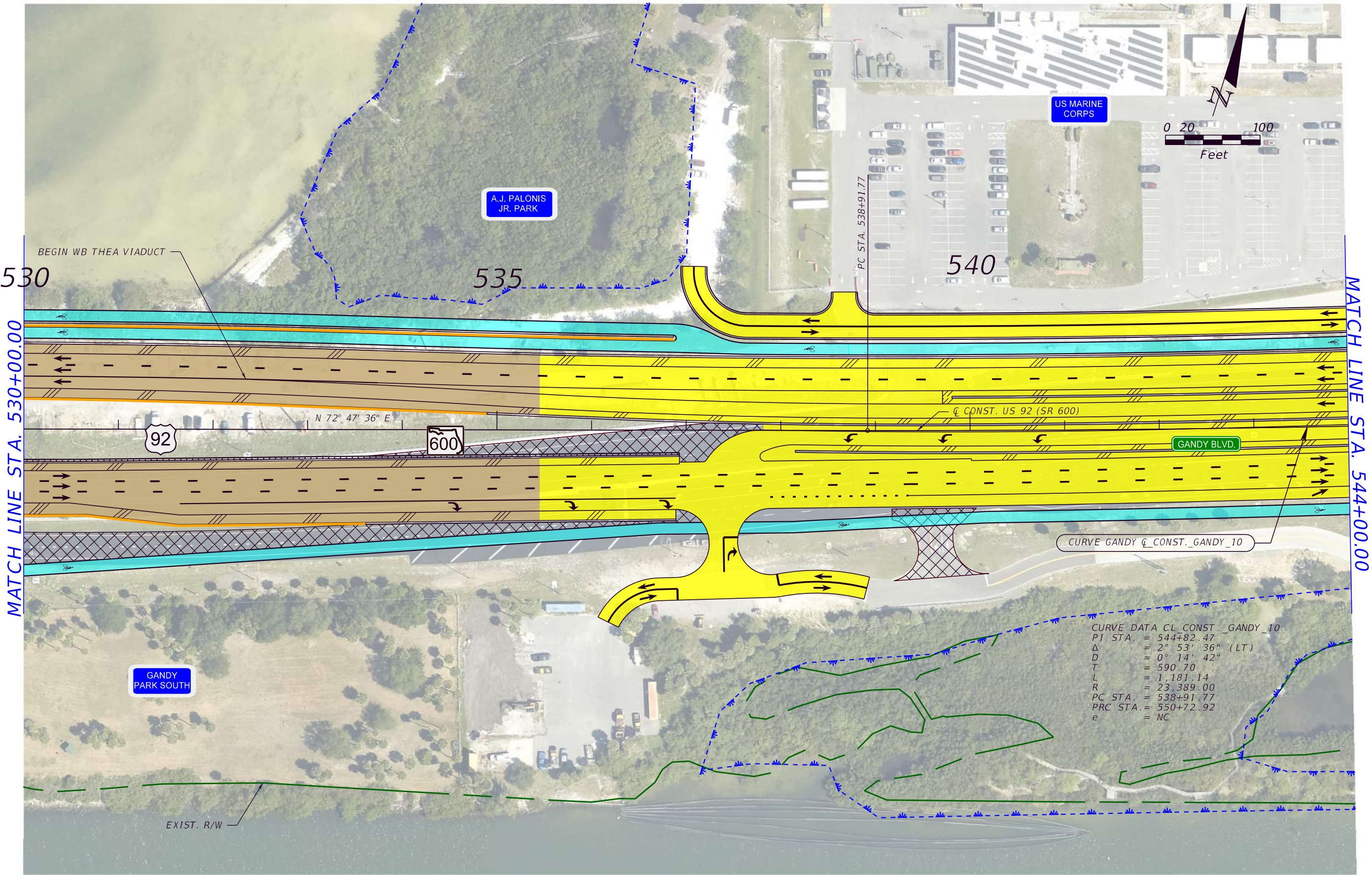
GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT

CONCEPT PLANS (24)

SHEET NO. 24

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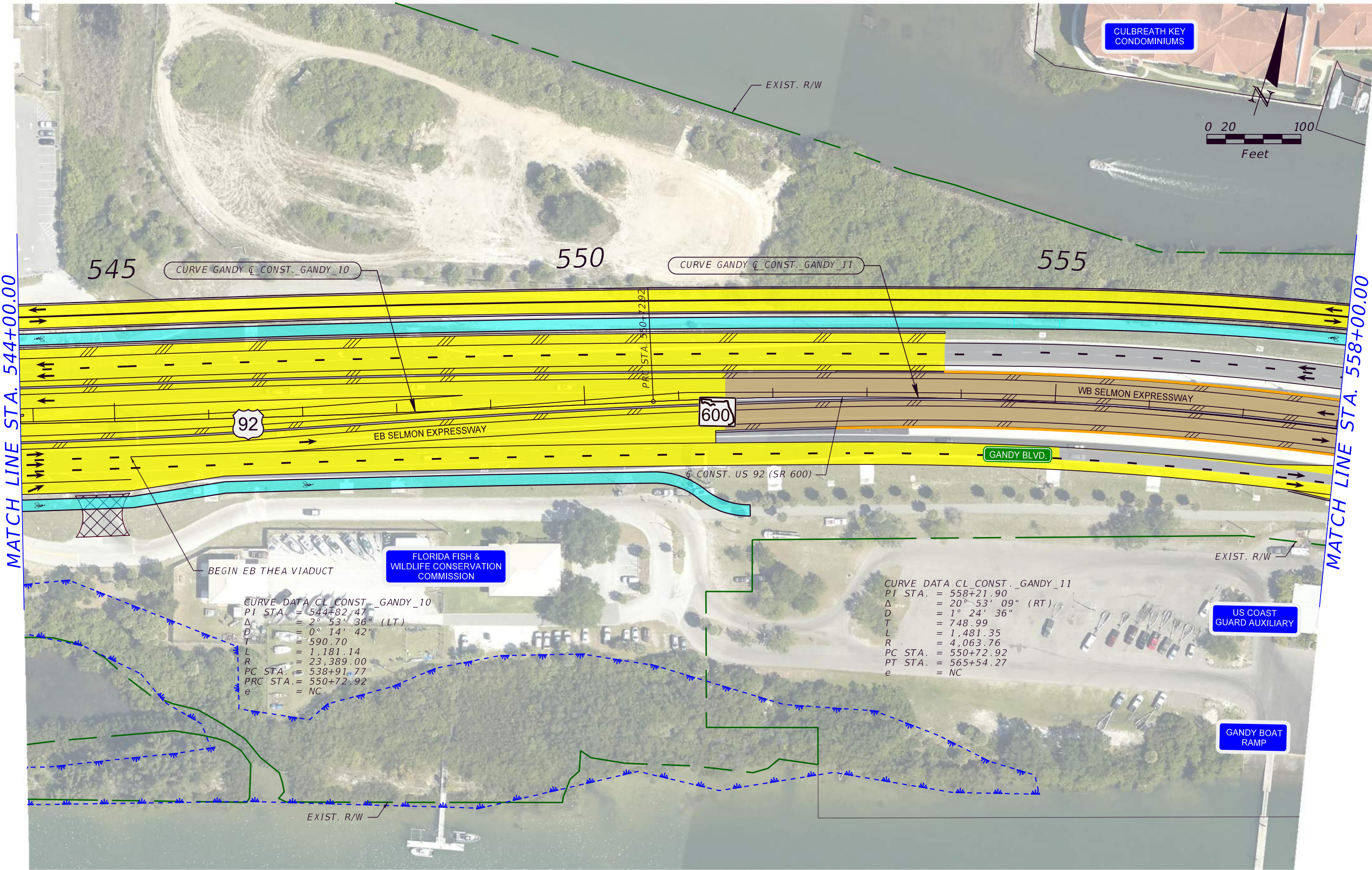
MATCH LINE STA. 530+00.00

MATCH LINE STA. 544+00.00














CURVE DATA CL_CONST_GANDY_10
PI STA. = 544+82.47
Δ = 2° 53' 36" (LT)
D = 0° 14' 42"
T = 590.70
L = 1,181.14
R = 23,389.00
PC STA. = 538+91.77
PRC STA. = 550+72.92
e = NC

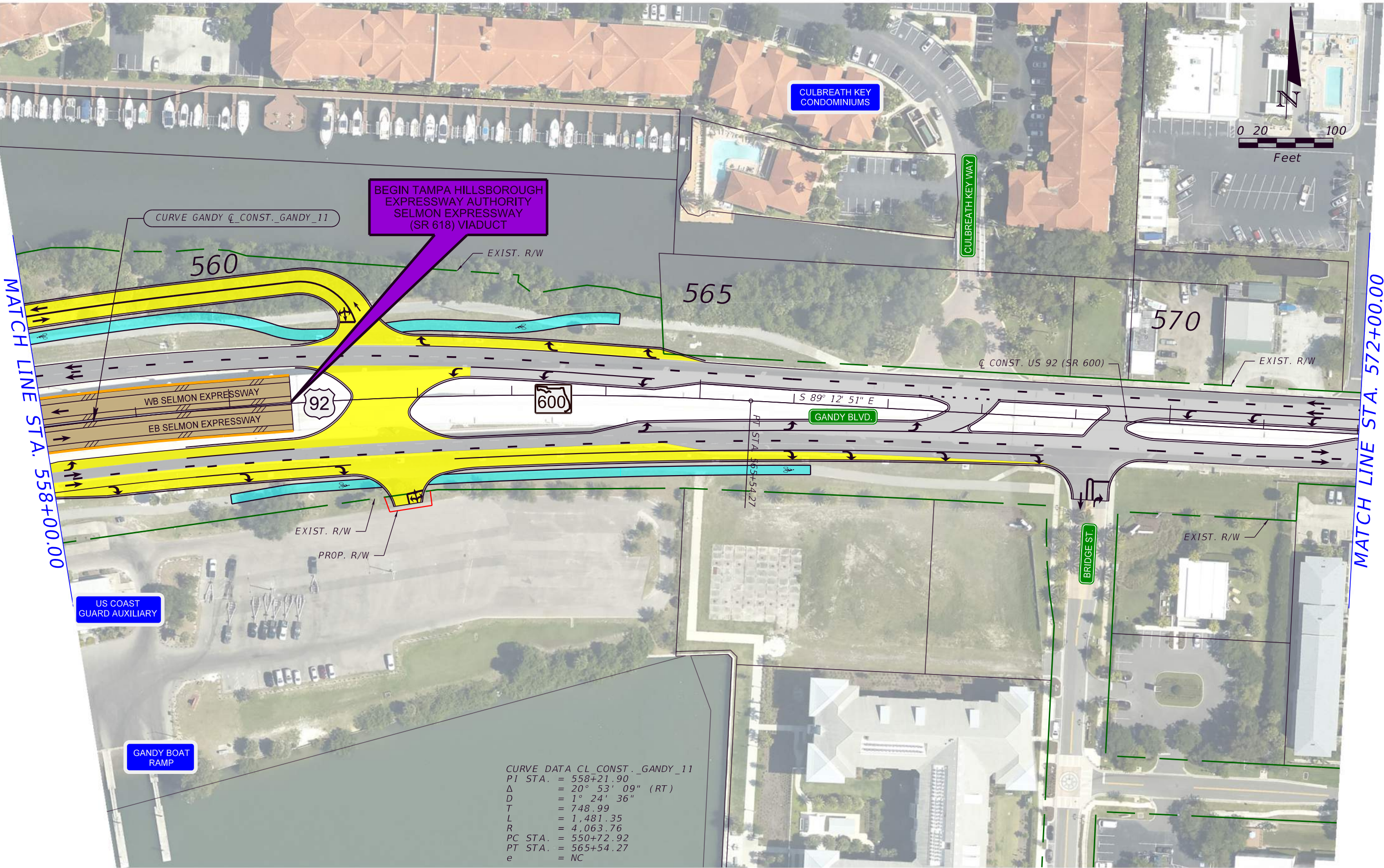
PREFERRED ALTERNATIVE

LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (25)	25
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	HILLSBOROUGH	441250-1-22-01		
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		POTENTIAL CONTAMINATION SITE		POTENTIAL BUSINESS RELOCATION						
			PREFERRED POND SITES								



PREFERRED ALTERNATIVE

LEGEND				Kisinger Campo & Associates Corp. 201 N. Franklin Street, Suite 400 Tampa, Florida 33602 Engineer of Record: Branan Anderson, P.E. P.E. No.: 78438	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT	SHEET NO.		
	EXISTING PARCEL		PROPOSED ROADWAY			EXISTING BRIDGE	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	CONCEPT PLANS (26)	26
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION			PROPOSED BRIDGE WIDENING	SR 600	HILLSBOROUGH	441250-1-22-01		
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION						
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING						
	PROPOSED RETAINING WALL		POTENTIAL CONTAMINATION SITE		PROPOSED PAVEMENT REMOVAL						
			PREFERRED POND SITES		POTENTIAL BUSINESS RELOCATION						



BEGIN TAMPA HILLSBOROUGH
EXPRESSWAY AUTHORITY
SELMON EXPRESSWAY
(SR 618) VIADUCT

CULBREATH KEY
CONDOMINIUMS

CULBREATH KEY WAY

0 20 100
Feet

CURVE GANDY CL CONST. GANDY_11

560

565

570

WB SELMON EXPRESSWAY
EB SELMON EXPRESSWAY

92

600

GANDY BLVD.

BRIDGE ST.

US COAST
GUARD AUXILIARY

GANDY BOAT
RAMP

CURVE DATA CL CONST. GANDY_11
PI STA. = 558+21.90
Δ = 20° 53' 09" (RT)
D = 1° 24' 36"
T = 748.99
L = 1,481.35
R = 4,063.76
PC STA. = 550+72.92
PT STA. = 565+54.27
e = NC

LEGEND					
	EXISTING PARCEL		PROPOSED ROADWAY		EXISTING BRIDGE
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION		PROPOSED BRIDGE WIDENING
	EXISTING WETLAND		PROPOSED BRIDGE		PROPOSED BRIDGE DEMOLITION
	PROPOSED R/W LINE		PROPOSED SIDEWALK/ SHARED USE PATH		PROPOSED MILLING & RESURFACING
	PROPOSED RETAINING WALL		PREFERRED POND SITES		PROPOSED PAVEMENT REMOVAL
	POTENTIAL CONTAMINATION SITE				POTENTIAL BUSINESS RELOCATION

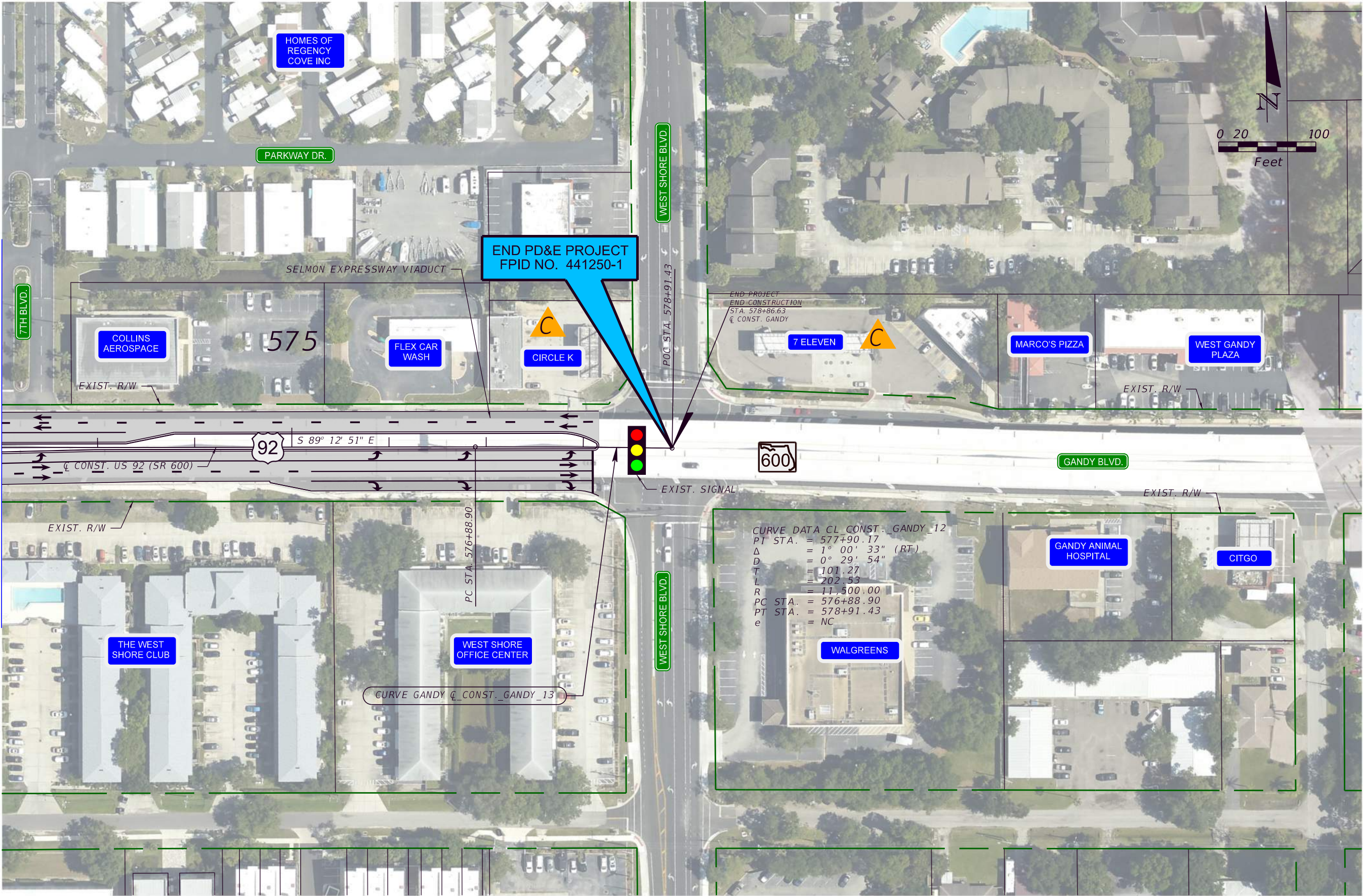
Kisinger Campo & Associates Corp.
201 N. Franklin Street, Suite 400
Tampa, Florida 33602
Engineer of Record: Branan Anderson, P.E.
P.E. No.: 78438

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	HILLSBOROUGH	441250-1-22-01

GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT	SHEET NO.
CONCEPT PLANS (27)	27

PREFERRED ALTERNATIVE

MATCH LINE STA. 572+00.00



LEGEND			
	EXISTING PARCEL		PROPOSED ROADWAY
	EXISTING R/W LINE		PROPOSED GRADE SEPARATION
	EXISTING WETLAND		PROPOSED BRIDGE
	PROPOSED R/W LINE		PROPOSED BRIDGE DEMOLITION
	PROPOSED RETAINING WALL		PROPOSED MILLING & RESURFACING
	POTENTIAL CONTAMINATION SITE		PROPOSED PAVEMENT REMOVAL
			POTENTIAL BUSINESS RELOCATION
			PREFERRED POND SITES

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Tampa, Florida 33602
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P.E. No.: 78438

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
SR 600	HILLSBOROUGH	441250-1-22-01

GANDY BLVD. PD&E - HILLSBOROUGH SEGMENT		SHEET NO.
CONCEPT PLANS (28)		28

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